



Proposed Elevation 1-1'



Proposed Elevation 2-2'

DATE: _____
 PROJECT: _____
 DRAWING NO.: _____
 SCALE: _____
 SHEET NO.: _____



NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

MATERIALS LEGEND:

1. Heavy textured stone light color
2. Heavy textured stone dark
3. Smooth stone with natural veining light color
4. 1/2" x 1" brick light color
5. Brick light color
6. Brick light color with dark mortar
7. Brick light color with dark mortar and dark grout
8. Brick light color with dark mortar and dark grout
9. Brick light color with dark mortar and dark grout
10. Brick light color with dark mortar and dark grout
11. Brick light color with dark mortar and dark grout
12. Brick light color with dark mortar and dark grout
13. Brick light color with dark mortar and dark grout
14. Brick light color with dark mortar and dark grout
15. Brick light color with dark mortar and dark grout
16. Brick light color with dark mortar and dark grout
17. Brick light color with dark mortar and dark grout

TP BENNETT ARCHITECTURE & PLANNING
 ARCHITECTURE
 INTERIORS
 PLANNING

Teddington Riverside
 Proposed Residential Redevelopment
 Broom Road, Teddington

Proposed Elevation 1-1' (Broom Rd)
 Proposed Elevation 2-2' (Riverside)

DATE: _____
 SCALE: _____
 SHEET NO.: _____

A9991 D 0200 P1



Proposed Elevation 3-3'



Proposed Elevation 4-4'

PROJECT: Teddington Riverside
 LOCATION: Teddington
 DATE: 10/20/2011
 DRAWING NO: A9991
 SHEET NO: D 0201
 OF: P1

ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
 ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE MATERIALS LEGEND.
 ALL MATERIALS AND FINISHES ARE TO BE APPROVED BY THE ARCHITECT.

MATERIALS LEGEND:

- 1 Heavy textured masonry (light color)
- 2 Heavy textured masonry (dark)
- 3 Smooth finish of brick, horizontal courses (dark color) and dark glass (on dark color) (dark color)
- 4 1/2" x 1" horizontal masonry
- 5 White painted masonry (dark)
- 6 White painted masonry (light)
- 7 White painted masonry (medium)
- 8 White painted masonry (dark)
- 9 White painted masonry (medium)
- 10 White painted masonry (light)
- 11 White painted masonry (dark)
- 12 White painted masonry (medium)
- 13 White painted masonry (light)
- 14 White painted masonry (dark)
- 15 White painted masonry (medium)
- 16 White painted masonry (light)
- 17 White painted masonry (dark)

tp bennett
 ARCHITECTURE
 INTERIORS
 PLANNING

Teddington Riverside
 Proposed Residential Redevelopment
 Brook Road, Teddington

Proposed Elevation 3-3'
 Proposed Elevation 4-4'

A9991 D 0201 P1



Proposed Elevation 5-5'



Proposed Elevation 6-6'

DATE:
PROJECT NAME:
PROJECT NUMBER:
PROJECT DATE:
SCALE:
DATE:

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

MATERIALS LEGEND:

1. Heavy textured masonry light color
2. Heavy textured masonry dark
3. Smooth finish and the exterior window frame panel which has glass on the inside of the panel (1/2")
4. 1/2" x 1" horizontal masonry courses
5. White polished concrete tile
6. White polished concrete masonry block (1/2" x 1/2")
7. White polished concrete masonry block (1/2" x 1/2")
8. White polished concrete masonry block (1/2" x 1/2")
9. White polished concrete masonry block (1/2" x 1/2")
10. White polished concrete masonry block (1/2" x 1/2")
11. White polished concrete masonry block (1/2" x 1/2")
12. White polished concrete masonry block (1/2" x 1/2")
13. White polished concrete masonry block (1/2" x 1/2")
14. White polished concrete masonry block (1/2" x 1/2")
15. White polished concrete masonry block (1/2" x 1/2")
16. White polished concrete masonry block (1/2" x 1/2")
17. Heavy textured masonry dark

TP BENNETT ARCHITECTURE PLANNING
 ARCHITECTURE
 PLANNING

**Teddington Riverside
 Proposed Residential Redevelopment
 Broom Road, Teddington**

**Proposed Elevation 5-5'
 Proposed Elevation 6-6'**

A9991 D 0202 P1



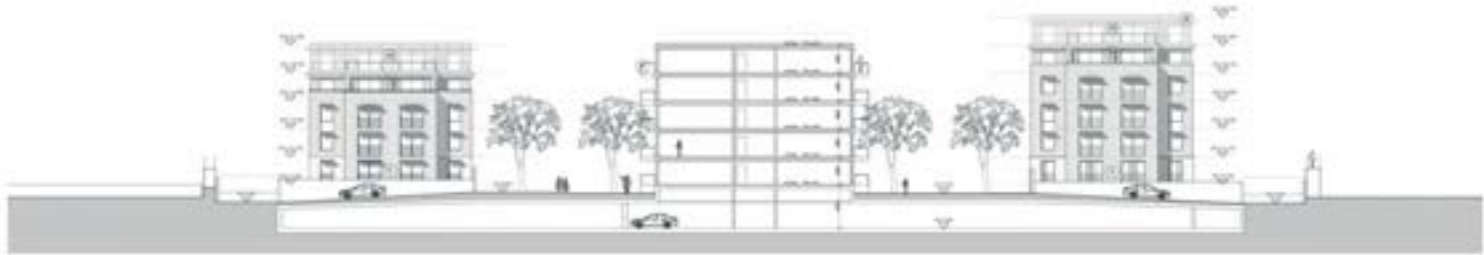
Proposed Elevation 7-7



Proposed Elevation 8-8

DATE:
PROJECT NAME:
PROJECT NUMBER:
CLIENT NAME:
REV NO.:

NOTES:
MATERIALS LEGEND:
1. [Symbol] [Material description]
2. [Symbol] [Material description]
3. [Symbol] [Material description]
4. [Symbol] [Material description]
5. [Symbol] [Material description]
6. [Symbol] [Material description]
7. [Symbol] [Material description]
8. [Symbol] [Material description]
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15. [Symbol] [Material description]
16. [Symbol] [Material description]
17. [Symbol] [Material description]
PROJECT PLANNING ARCHITECT
PLANNING
tp bennett
architects interiors planning
100 TOTTENHAM COURT SW 10TH FL WASHINGTON DC 20007 Phone: 202-638-1000 Fax: 202-638-1001
Project: Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington
Drawn by: Proposed Elevation 7-7 (Broom Rd) Proposed Elevation 8-8 (Riverside)
Date: 01/11/2011
Scale: 1/8" = 1'-0"
Sheet Number: A9991 Sheet Count: D 0203 Sheet Type: P1



Proposed Elevation 9-9'



Proposed Elevation 10-10''

DATE:	
PROJECT NAME:	
ARCHITECT:	
CLIENT:	
SCALE:	
<p>NOTES:</p> <p>1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.</p> <p>2. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT.</p> <p>3. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT.</p> <p>4. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT.</p>	
MATERIALS LEGEND:	
1	Heavy textured red brick
2	Heavy textured red brick
3	Light textured red brick
4	Light textured red brick
5	Light textured red brick
6	Light textured red brick
7	Light textured red brick
8	Light textured red brick
9	Light textured red brick
10	Light textured red brick
11	Light textured red brick
12	Light textured red brick
13	Light textured red brick
14	Light textured red brick
15	Light textured red brick
16	Light textured red brick
17	Light textured red brick
<p>TP BENNETT ARCHITECTURE</p> <p>PLANNING</p> <p>tp bennett</p> <p>architects interiors planning</p> <p>1000 BROADWAY, SUITE 2000, NEW YORK, NY 10018 PHONE: 212.512.5000 WWW.TPBENNETT.COM</p> <p>Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington</p> <p>Scale: 1/8" = 1'-0" Proposed Elevation 9-9' Proposed Elevation 10-10'</p> <p>DATE: 11/11/2011 DRAWN BY: [Name] CHECKED BY: [Name]</p> <p>A9991 D 0204 P1</p>	



Proposed Section 1-1'

PROJECT NUMBER: _____
 PROJECT NAME: _____
 SHEET NO.: _____
 DATE: _____




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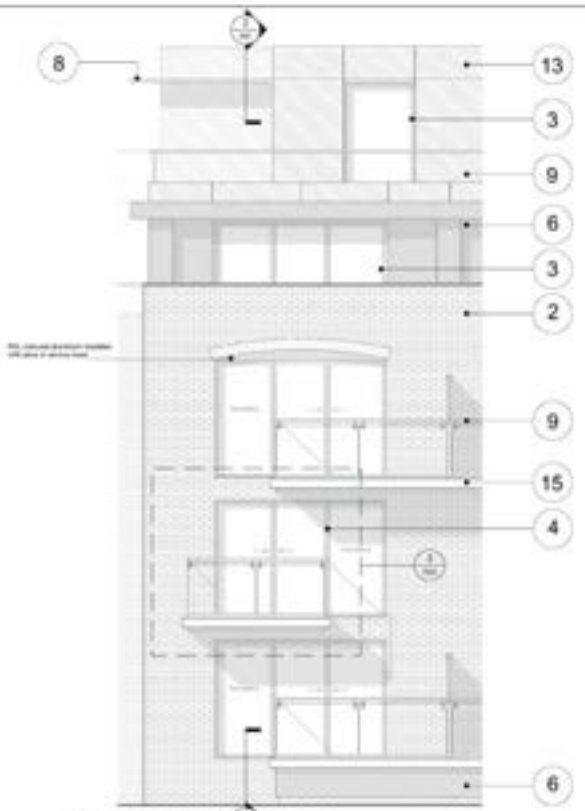
TP BENNETT ARCHITECTURAL ARCHITECTURE INC.
 1000 15th Street NW
 Suite 100
 Washington, DC 20005
 Phone: (202) 462-1000
 Fax: (202) 462-1001
 www.tpbenett.com

PLANNING
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 architects
 interior
 planning

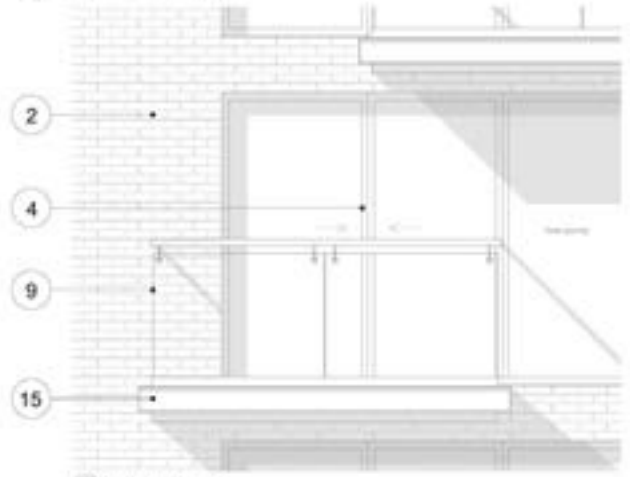
Teddington Riverside
 Proposed Residential Redevelopment
 Broom Road, Teddington

Name: _____
 Title: _____
 Date: _____

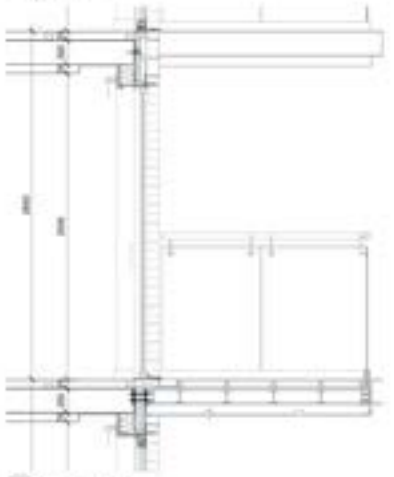
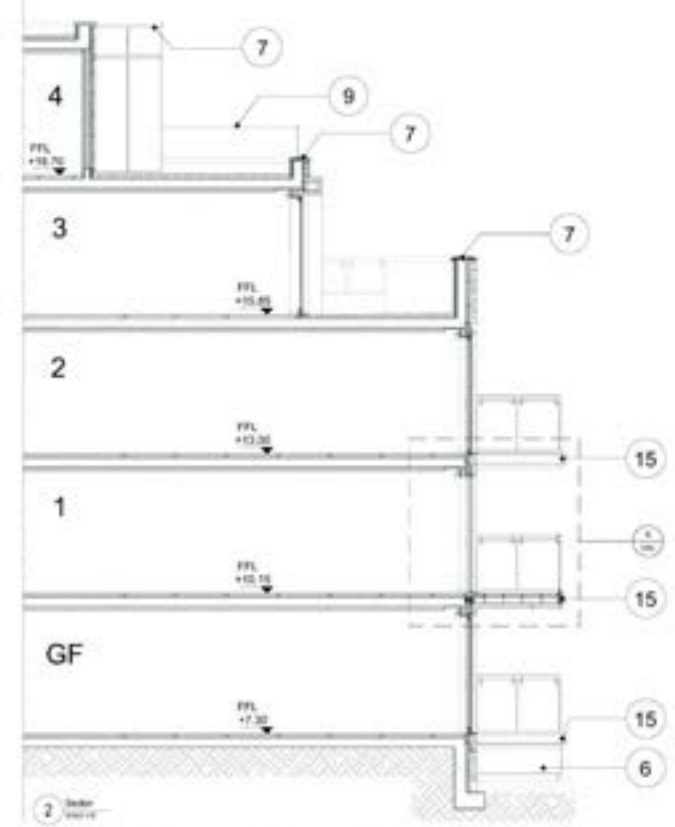
A9991 D 0300 P1



1 Brick & Windows Full Section



3 Typical window detail section



4 Typical window detail section

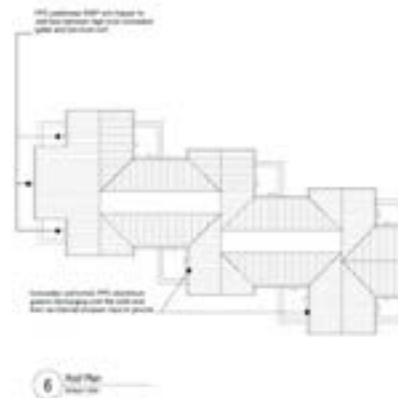
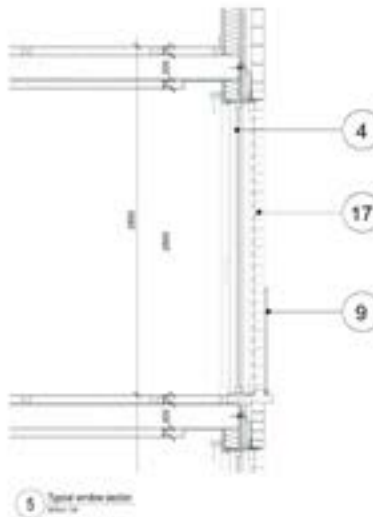
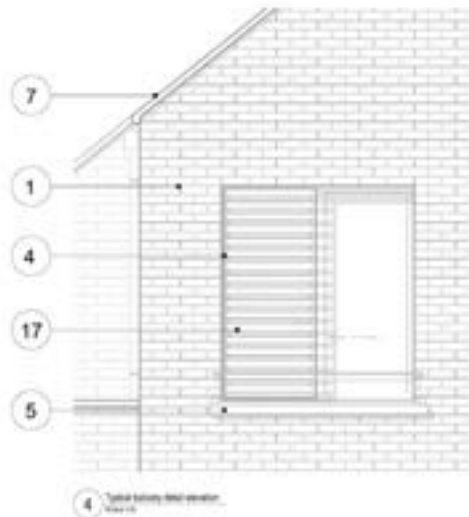
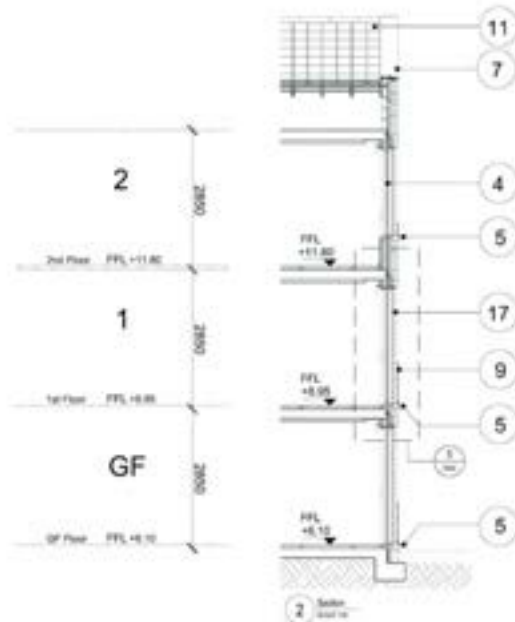
NOTES
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 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.



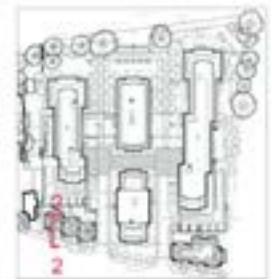
- MATERIALS LEGEND:**
- 1 Heavy structural reinforced concrete
 - 2 Heavy structural concrete slab
 - 3 Concrete structure for floor, walls, columns, beams and stairs
 - 4 100mm concrete screed
 - 5 100mm concrete screed
 - 6 Brickwork
 - 7 100mm concrete screed
 - 8 100mm concrete screed
 - 9 100mm concrete screed
 - 10 100mm concrete screed
 - 11 100mm concrete screed
 - 12 100mm concrete screed
 - 13 100mm concrete screed
 - 14 100mm concrete screed
 - 15 100mm concrete screed
 - 16 100mm concrete screed
 - 17 100mm concrete screed

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 ARCHITECTS
 Teddington Riverside
 Proposed Residential Redevelopment
 Broom Road, Teddington
 Wall section 1-1

A9991 D 0301 P1



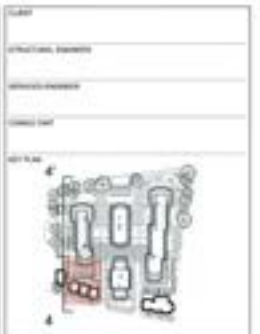
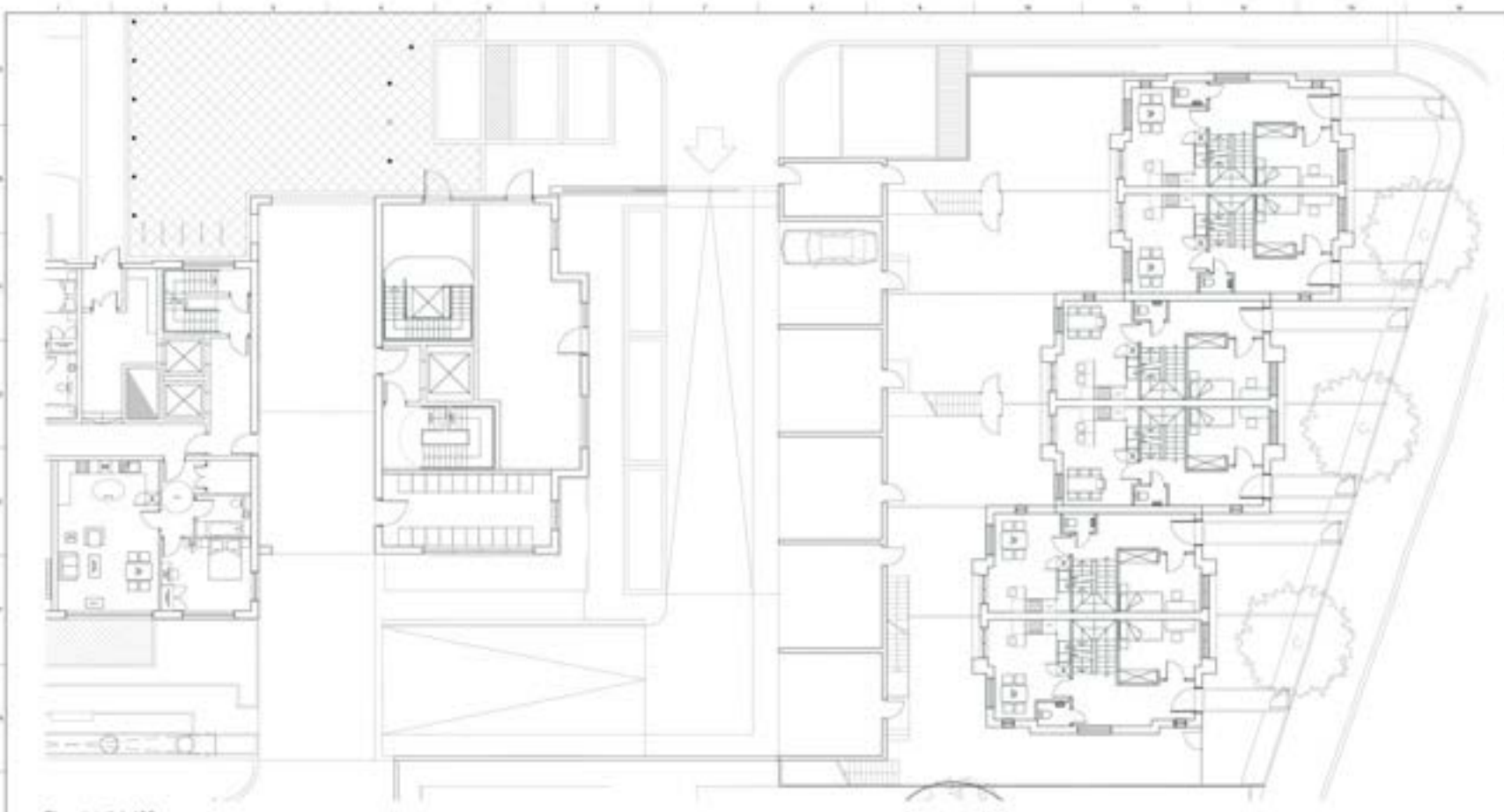
NOTES:
1. All work to be carried out in accordance with the relevant British Standards and other applicable codes of practice.
2. All work to be carried out in accordance with the relevant British Standards and other applicable codes of practice.
3. All work to be carried out in accordance with the relevant British Standards and other applicable codes of practice.



- MATERIALS LEGEND:**
- 1. Brickwork
 - 2. Concrete
 - 3. Steel
 - 4. Glass
 - 5. Timber
 - 6. Insulation
 - 7. Roofing
 - 8. Floor
 - 9. Wall
 - 10. Staircase
 - 11. Staircase
 - 12. Staircase
 - 13. Staircase
 - 14. Staircase
 - 15. Staircase
 - 16. Staircase
 - 17. Staircase

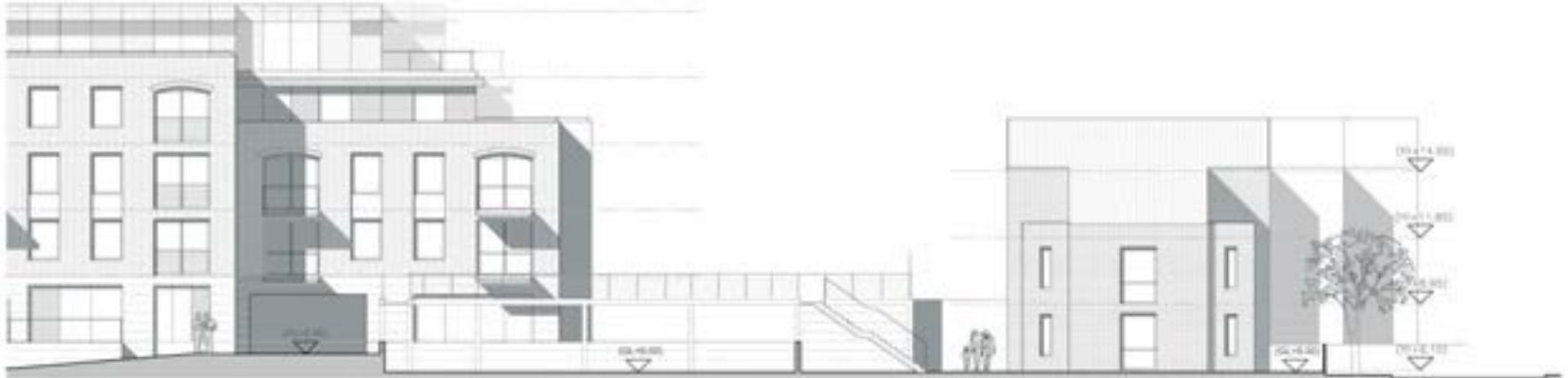
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Planning
Teddington Riverside
Proposed Residential Redevelopment
Brook Road, Teddington
Wall section 2-2

A9991 D 0302 P1



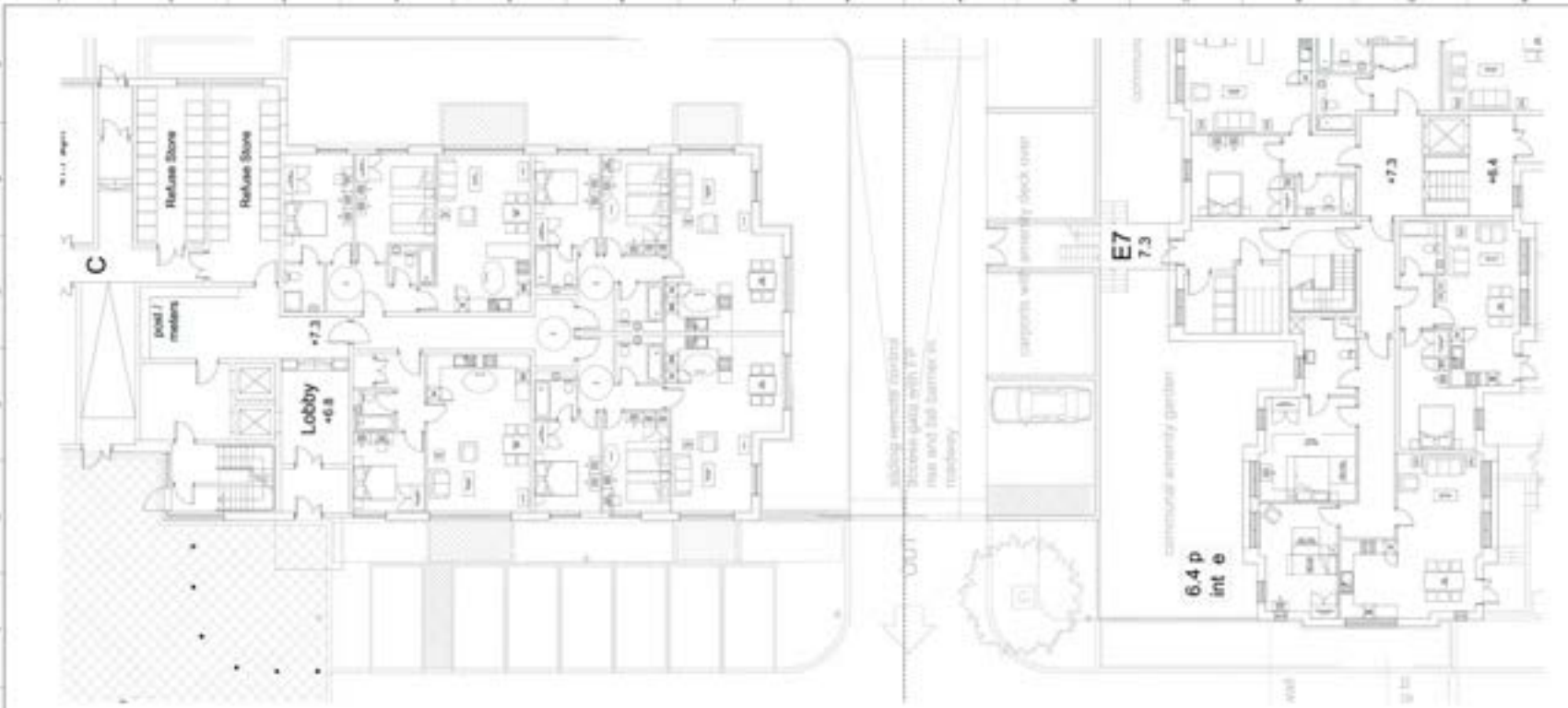
NOTES
 1. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) STANDARDS.
 4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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Plan detail 1:100



Proposed Elevation 4-4' detail 1:100

TP BENNETT ARCHITECTURE tp bennett architects interior planning	
Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington	
Proposed Elevation Car Park Ramp N	
Date: 15/10/2024 Scale: 1:100	Drawing No: A9991 Revision: D 0500 Page: P1

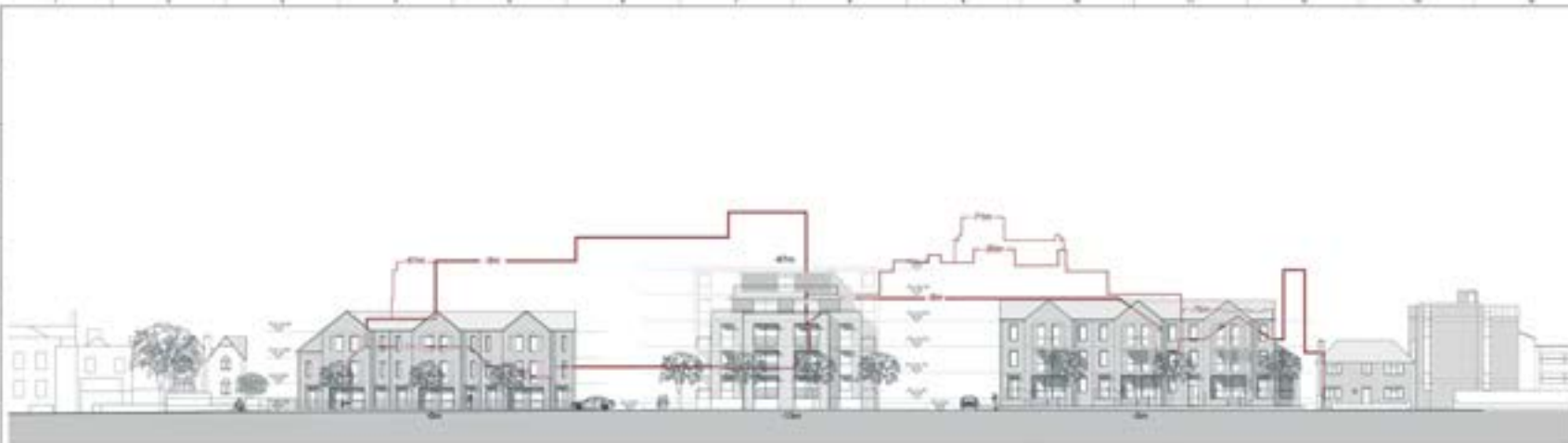


Plan detail 1:100



Proposed Elevation 8-8' _detail 1:100

DATE	
PRELIMINARY DRAWING	
REVISIONS	
DATE	
BY	
<p>NOTES</p> <p>1. CONSULT WITH THE ARCHITECT FOR ANY CHANGES TO THE DRAWING FROM THE PRELIMINARY DRAWING. ANY CHANGES SHOULD BE APPROVED BY THE ARCHITECT AND THE CLIENT.</p> <p>2. THE DRAWING IS NOT VALID FOR CONSTRUCTION.</p> <p>3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND ALL OTHER APPLICABLE LAWS AND REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.</p>	
<p>PLANNING</p> <p>tp bennett</p> <p>architects interiors planning</p>	
<p>PROJECT NAME: Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington</p> <p>PROJECT NO: Proposed Elevation Car Park Ramp OUT</p>	
SCALE	DATE
A9991	D 0501 P1



Elevation 1-1' (figured dimensions are the distance an existing or proposed plane is away from its relevant boundary)



Elevation 2-2' (figured dimensions are the distance an existing or proposed plane is away from its relevant boundary)

DATE: _____

PROJECT NUMBER: _____

REVISION NUMBER: _____

PROJECT NAME: _____

DATE PLOTTED: _____

SCALE: _____

NOTES:
 1. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

PROJECT: _____
 DRAWING: _____
 DATE: _____

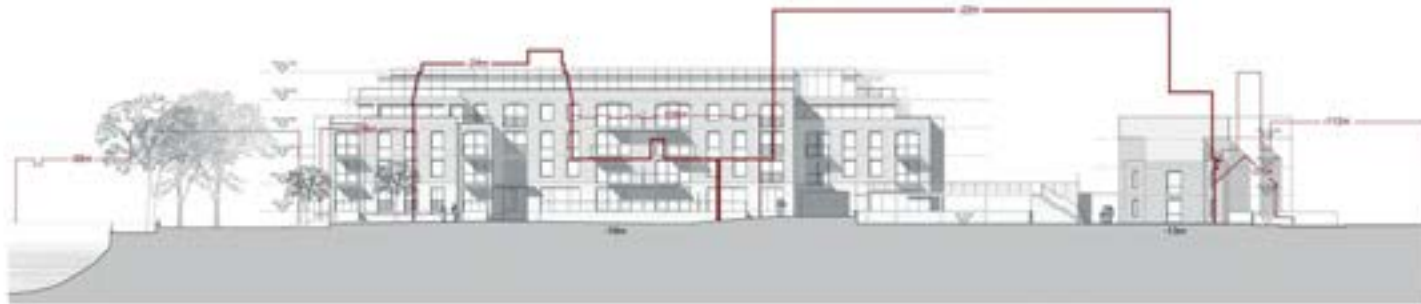
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Teddington Riverside
 Proposed Residential Redevelopment
 Broom Road, Teddington

Existing and proposed elevations -
 comparative distances from relevant boundary
 Elevation 1-1' / 2-2'

DATE	SCALE	PROJECT	DATE
2013.02.20	1:100	A9991	2013.02.20

A9991 D 0210 P1



Elevation 3-3' (figured dimensions are the distance an existing or proposed plane is away from its relevant boundary)

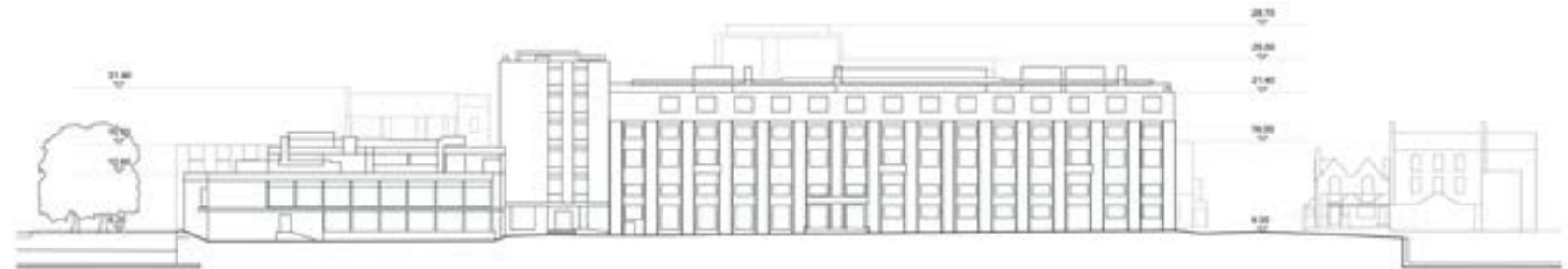


Elevation 4-4' (figured dimensions are the distance an existing or proposed plane is away from its relevant boundary)

CLIENT	
Client Name	
Client Address	
Client Contact	
Client Date	
PROJECT	
Project Name	
Project Location	
Project Description	
SCALE	
Scale	
<p>NOTES</p> <p>1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.</p> <p>2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.</p> <p>3. ALL DIMENSIONS ARE TO BE MAINTAINED AT ALL TIMES.</p> <p>4. ALL DIMENSIONS ARE TO BE MAINTAINED AT ALL TIMES.</p>	
<p>Project No. _____</p> <p>Sheet No. _____</p> <p>Project Name</p> <p>PLANNING</p> <p>tp bennett</p> <p>architects</p> <p>interiors</p> <p>planning</p> <p>100 Riverside Quay, Suite 101, 100 Riverside Quay, Teddington, Surrey TW20 9EX</p> <p>Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington</p> <p>Scale for: Existing and proposed elevations - comparative distances from relevant boundary Elevation 3-3' / 4-4'</p> <p>Scale: 1:100 (A3)</p>	
<p>Project No.</p> <p>100</p>	<p>Sheet No.</p> <p>100</p>
<p>Project Name</p> <p>A9991</p>	<p>Sheet Name</p> <p>D 0211</p>
<p>Project Location</p> <p>P1</p>	<p>Project Description</p> <p>P1</p>



Elevation 1-1'



Elevation 2-2'

DATE	
PROJECT NUMBER	
PROJECT NAME	
PROJECT LOCATION	
SCALE	
DATE	
BY	
CHECKED BY	
DATE	
PROJECT	
DESCRIPTION	
NOTES	
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<p>TP BENNETT ARCHITECTURE</p> <p>PLANNING</p> <p>tp bennett</p> <p>architecture interiors planning</p> <p>1000 BROADWAY, SUITE 2000, NEW YORK, NY 10018 PHONE: (212) 512-1000 FAX: (212) 512-1001 WWW.TPBENNETT.COM</p> <p>Project: Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington</p> <p>Drawing No: Existing elevations Elevation 1-1 / 2-2</p> <p>Scale: Date: Sheet No: Total Sheets:</p> <p>A9991 F 0200 P1</p>	



Elevation 3-3'



Elevation 4-4'

DATE	
PROJECT NAME	
PROJECT LOCATION	
CLIENT NAME	
SCALE	
<p>NOTES:</p> <p>1. ALL ELEVATIONS ARE BASED ON THE FINISHED GRADE UNLESS OTHERWISE NOTED.</p> <p>2. ALL ELEVATIONS ARE BASED ON THE FINISHED GRADE UNLESS OTHERWISE NOTED.</p> <p>3. ALL ELEVATIONS ARE BASED ON THE FINISHED GRADE UNLESS OTHERWISE NOTED.</p> <p>4. ALL ELEVATIONS ARE BASED ON THE FINISHED GRADE UNLESS OTHERWISE NOTED.</p>	
<p>TP BENNETT ARCHITECTURAL ARCHITECTS INC. 2025 2025</p> <p>PLANNING</p> <p>tp bennett</p> <p>architectural interiors planning</p> <p>1000 Riverside Center Blvd. Suite 200, Teddington, VA 22179</p> <p>Phone: 703.441.1111 Fax: 703.441.1112</p> <p>Project: Teddington Riverside Proposed Residential Redevelopment Brook Road, Teddington</p> <p>Drawn by: [Name]</p> <p>Existing elevations: Elevation 3-3 / 4-4'</p> <p>Sheet: A9991 F 0201 P1</p>	



View 2

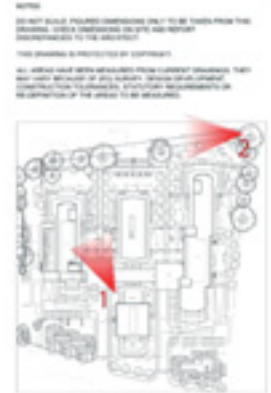


View 1

1. ALL VIEWS OF PROPOSED DEVELOPMENT ARE TO BE DEVELOPED FROM EXISTING, LOCAL, UNIMPAIRED PUBLIC HIGHWAYS ADJACENT TO THE DEVELOPMENT	
2. THIS DEVELOPMENT IS PROPOSED ON THE SITE	
3. ALL VIEWS OF PROPOSED DEVELOPMENT FROM EXISTING, LOCAL, UNIMPAIRED PUBLIC HIGHWAYS ADJACENT TO THE DEVELOPMENT ARE TO BE DEVELOPED FROM EXISTING, LOCAL, UNIMPAIRED PUBLIC HIGHWAYS ADJACENT TO THE DEVELOPMENT	
PLANNING	
tp bennett architects interiors planning	
Project Name Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington	
Drawing No. Perspective 1 of 2	
Date 18.02.2014	Scale 1:500
Drawing No. A9991	Drawing No. D 0212
Page No. P 1	

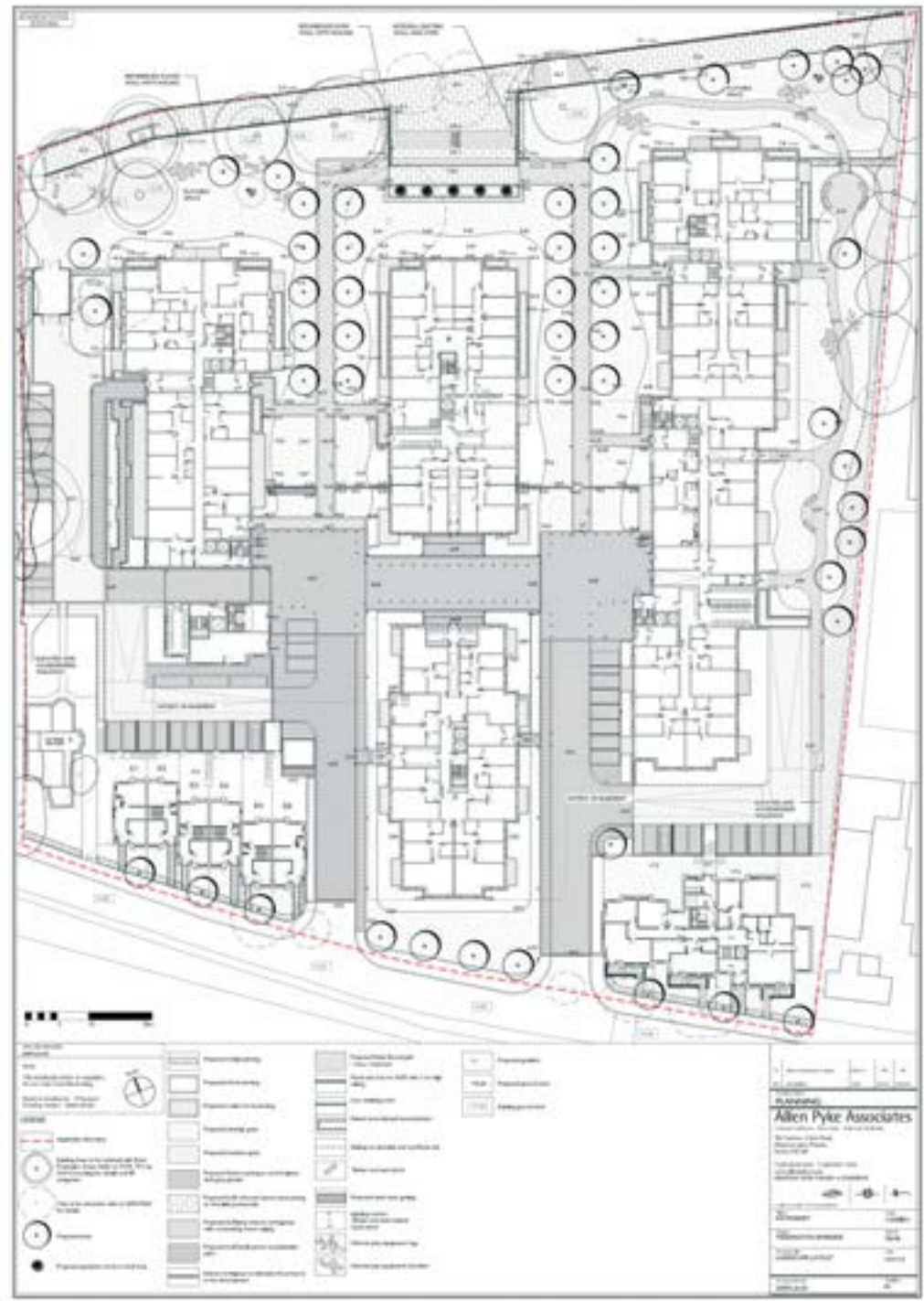
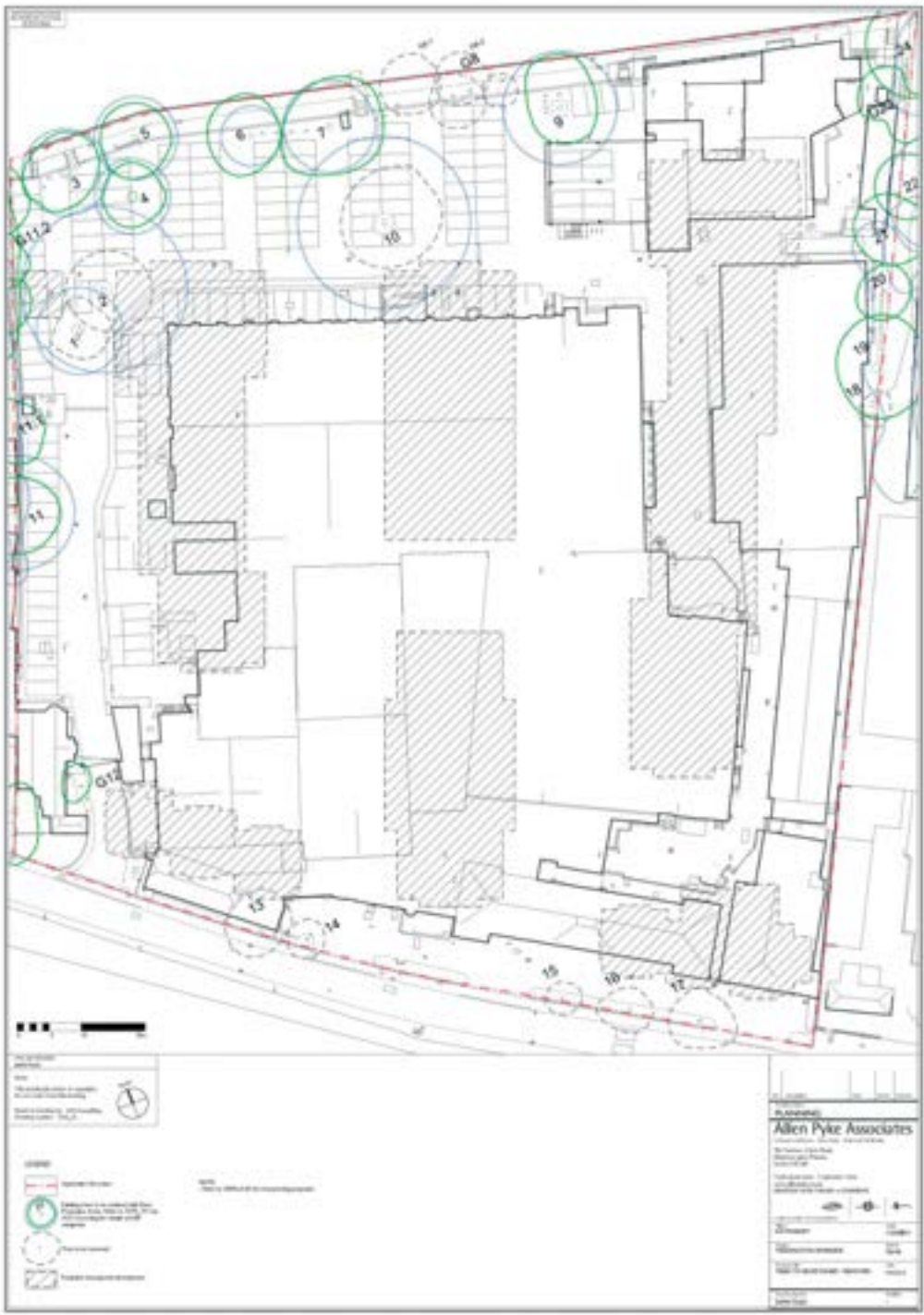


View 2



View 1

TOWN OF TOTTENHAM PLANNING APPLICATION No. 2024/00000 Date: 15/01/2024	
PLANNING tp bennett architects interior planning	
The Development is located on the site of the former TOTTENHAM RIVERSIDE 100m ² 100m ² 100m ² 100m ²	
Title: Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington	
Drawing No: Perspective 1 of 2	
Date: 15/01/2024	Scale: 1:100
Project No: A9991	Drawing No: D 0213
	Page: P 1





- Legend**
- Application boundary
 - Existing trees to be retained
 - Proposed tree planting
 - Proposed specimen small trees / shrub planting
 - Street green hedge planting
 - Street shrub and hedge planting (specification for shade and screening to be defined within the landscape plan)
 - Proposed specimen planters with raised deck planting
 - Accessible form
 - Area of access to be provided with wheelchair ramped access as a standard
 - Tree garden
 - Deciduous specimen planters to include benches and steps
 - Lighting
 - Timber and metal benches
 - Benches
 - Cycle racks
 - Sign
 - Permeable paved parking to connect areas
 - Permeable paved parking to shared office areas
 - Permeable gravel or public walk ways of soft drainage
 - Paved areas parking for residents
 - Street lighting to connect major roads with walk ways
 - Soft paving and green walkways
 - Water

Allen Pyke Associates
 www.allenpyke.co.uk
 100-102, The Quadrant, London, EC4A 3DF
 Tel: 020 7493 3300 Fax: 020 7493 3301
 Email: info@allenpyke.co.uk

Teddington Emerade
Illustrative Landscape Master Plan



Client: Emerade
Project Number: 2008-04-02
Date: 07/12/15
Scale: 1:200 @ A1
Revision: 01
Drawn by: J. Lee



Proposed Elevation 1-1'

SCALE

PROFESSIONAL ENGINEER

REGISTERED ARCHITECT

CONSULTANT

DATE

20'

1"

NOTES

1. ALL VIEWS SHOWN ASSUME THE BUILDING IS TO BE TAKEN FROM THE SIDE AND FRONT OF THE BUILDING.

2. THE DRAWING IS PROTECTED BY COPYRIGHT.

3. ALL AREAS SHOWN HAVE BEEN REVIEWED FROM CURRENT DRAWINGS. THEY MAY VARY BECAUSE OF ANY SUBSEQUENT DEVELOPMENT.

4. THE DRAWING IS FOR INFORMATION ONLY. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FOR THE DEVELOPMENT OF THE AREAS TO BE DEVELOPED.

MATERIALS LEGEND:



Proposed Elevation 2-2'

PROJECT: Teddington Riverside Residential Redevelopment
 DATE: 01/2024

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100 Broom Road, London SE10 8JF, UK | 020 7886 5000 | www.tp-bennett.com

Project: Teddington Riverside Proposed Residential Redevelopment Broom Road, Teddington

Project No: A9991
 Proposed Elevation 1-1' (Broom Rd)
 Proposed Elevation 2-2' (Riverside)

DATE	BY	REVISION
01/2024	TPB	ISSUE FOR PERMIT

Sheet No: A9991 / D 0205 / P 1



Proposed Elevation 3-3'



Proposed Elevation 4-4'

DATE: _____
 PROJECT NUMBER: _____
 DRAWING NUMBER: _____
 SHEET TITLE: _____



NOTES:
 1. ALL VIEWS HAVE BEEN DEVELOPED FROM CURRENT INFORMATION. THEY ARE NOT GUARANTEED TO BE ACCURATE. DESIGN DEVELOPMENT CONCEPTS WILL BE SUBJECT TO A LATER REVISIONS OR AS A RESULT OF THE AREA TO BE DEVELOPED.

- MATERIALS LEGEND:**
- 1 Facing brickwork medium light color
 - 2 Facing brickwork medium buff
 - 3 Composite brick and tile, maximum visibility of the glass units (dark glass and white units of 100 units)
 - 4 Air 1" air filling glass window
 - 5 White polished concrete slab
 - 6 White polished concrete coping (brick facing)
 - 7 Red unglazed perforated brickwork coping
 - 8 Red unglazed perforated brickwork coping
 - 9 Tinted glass balcony with white treated in a material
 - 10 Red unglazed brickwork coping with horizontal louvers to screen for balconies
 - 11 Red brick coping (see note 10)
 - 12 Glazed window doors in this facade (maximum glass area to be used in a row of 100 units)
 - 13 Red unglazed perforated brickwork coping with horizontal louvers
 - 14 Glass window in elevation section in this block
 - 15 Red unglazed brickwork
 - 16 Clear glass panel
 - 17 Facing brickwork medium

1/1/2024 10:00 AM PLANNING APPLICATION 10/1/2024 10:00 AM
 No. 10/1/2024 10:00 AM No. 10/1/2024 10:00 AM

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10/1/2024 10:00 AM 10/1/2024 10:00 AM 10/1/2024 10:00 AM 10/1/2024 10:00 AM

Teddington Riverside
 Proposed Residential Redevelopment
 Broom Road, Teddington
 Proposed Elevation 3-3'
 Proposed Elevation 4-4'

Sheet No.	Date	Scale	Author
A9991	10/1/2024	1:1000	TPB
D 0206			
P1			



Proposed Elevation 5-5'



Proposed Elevation 6-6'

PLAN

PROFESSIONAL ENGINEER

ARCHITECT

GENERAL NOTES

NOTES

1. ALL WORK SHALL BE ACCORDING TO THE CITY OF TULLAH PLANNING DEPARTMENT'S DESIGN STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED TO THE CONTRARY.

2. THIS DRAWING IS PROTECTED BY COPYRIGHT.

3. ALL AREAS HAVE BEEN MEASURED FROM CURRENT CONDITIONS. THEY MAY VARY BECAUSE OF ANY SURVEY, DESIGN DEVELOPMENT, OR OTHER FACTORS. THE DESIGNER'S FIELD SURVEY REQUIREMENTS FOR ALL DIMENSIONS OF THE AREAS TO BE MEASURED.

MATERIALS LEGEND:

- 1 Facing brickwork medium light color
- 2 Facing brickwork medium buff
- 3 Concrete brick and tile, medium color, double glazed window with glass and color film at 100 mils thick
- 4 No. 1" x 1" x 1/2" facing brick window
- 5 White polished concrete tile
- 6 White polished concrete coping, double facing
- 7 White polished concrete parapet coping
- 8 White polished concrete parapet coping
- 9 Polished granite parapet with metal handrail (to be finished)
- 10 Solid finished 1/2" x 1/2" x 1/2" granite with decorative handrail to suit and be finished
- 11 Solid steel coping tile
- 12 Glass window pane in this building facade with panel with screen to match all at 100 mils thick
- 13 White painted aluminum composite cladding with concealed frame
- 14 White painted aluminum siding in this area
- 15 White painted steel beam
- 16 Polished glass panel
- 17 Solid steel window pane

BY: [Signature] TITLE: PLANNING APPLICATION DATE: 04/20/2024
 No. [Number] SHEET: [Number] OF: [Number]

PLANNING

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1000 [Address] TULLAH, MS 38801 TEL: [Phone] FAX: [Phone] WEBSITE: [Website]

Project:
**Teddington Riverside
 Proposed Residential Redevelopment
 Broom Road, Teddington**

Project No:
**Proposed Elevation 5-5'
 Proposed Elevation 6-6'**

Sheet No.	Scale	Date	By
A9991	D 0207	P1	



Proposed Elevation 7-7'



Proposed Elevation 8-8'

GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS AND ORDINANCES.

2. THE DESIGN IS PROTECTED BY COPYRIGHT.

3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO ORDERING. THEY SHALL BE SUBMITTED TO THE ARCHITECT WITH SAMPLES AND A LETTER OF SUBMITTAL.



- MATERIALS LEGEND:**
1. Facing brickwork (white light color)
 2. Facing brickwork (dark red)
 3. Concrete block and brick, aluminum extruded double glazed window (dark glass with color tint at 100 opacity @)
 4. 1/2" x 12" horizontal side window
 5. White painted concrete slab
 6. White painted concrete coping (brick facing)
 7. Brick, colored perforated aluminum coping
 8. Brick, colored aluminum base wall
 9. Transparent glass infill with bronze tinted (100 opacity @)
 10. Dark finished brick (brickwork) with perforated aluminum (100 opacity @)
 11. Reddish-brown coping brick
 12. Clear window frame in brick, colored concrete with glass (100 opacity @)
 13. Brick, colored aluminum composite railing with stainless steel
 14. Steel infill of aluminum system in brick frame
 15. Brick, colored steel frame
 16. Concrete glass panel
 17. Facing brickwork (dark red)

17' x 12' 10" SCALE AS PLANNING APPLICATION

DATE: 01/20/2024

PROJECT: PLANNING

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17' x 12' 10" SCALE AS PLANNING APPLICATION

Teddington Riverside
Proposed Riverside Redevelopment
Broom Road, Teddington

Proposed Elevation 7-7' (Broom Rd)
Proposed Elevation 8-8' (Riverside)

Sheet No.	Scale	Date	By
A9991	D 0208	01/20/24	TP

Schedules & Accommodation

86

Residential Buildings															
Floor	GIA (SQ.M)	GIA (SQ.ft)	GIA (SQ.M)	GIA (SQ.ft)	GIA (SQ.M)	GIA (SQ.ft)	GIA (SQ.M)	GIA (SQ.ft)	GIA (SQ.M)	GIA (SQ.ft)	GIA (SQ.M)	GIA (SQ.ft)	GIA (SQ.M)	GIA (SQ.ft)	
	building A	building A	building B	building B	building C	building C	building D	building D	building E7	building E7	House (x6)	House (x6)	Total	Total	
Ground floor	1002	10786	825	8880	1665	17922	739	7955	385	4144	281	3025	4897	52711	
First floor	1098	11819	838	9020	1665	17922	750	8073	394	4241	291	3132	5036	54208	
Second floor	1098	11819	838	9020	1665	17922	750	8073	377	4058	282	3035	5010	53928	
Third floor	915	9849	838	9020	1665	17922	651	7007	0	0	0	0	4069	43799	
Fourth floor	600	6458	838	9020	1481	15941	506	5447	0	0	0	0	3425	36867	
Fifth floor	0	0	838	9020	1192	12831	0	0	0	0	0	0	2030	21851	
Sixth floor	0	0	551	5931	0	0	0	0	0	0	0	0	551	5931	
	4,713	50,731	5,566	59,912	9,333	100,460	3,396	36,555	1,156	12,443	854	9,192	25,018	269,294	

Teddington Riverside - Net Sales Area

	Building A		Building B		Building C		Building D		Building E7		House E		Total	
	NSA (sq.m)	NSA (sq.ft)	NSA (sq.m)	NSA (sq.ft)	NSA (sq.m)	NSA (sq.ft)	NSA (sq.m)	NSA (sq.ft)	NSA (sq.m)	NSA (sq.ft)	NSA (sq.m)	NSA (sq.ft)	NSA (sq.m)	NSA (sq.ft)
Ground	643	6,921	637	6,857	1,112	11,970	542	5,834	296	3,186	267	2,874	3,497	37,642
First	917	9,871	740	7,965	1,371	14,757	646	6,954	349	3,757	276	2,971	4,299	46,274
Second	917	9,871	740	7,965	1,371	14,757	646	6,954	332	3,574	267	2,874	4,273	45,995
Third	761	8,191	740	7,965	1,371	14,757	551	5,931	0	0	0	0	3,423	36,845
Fourth	505	5,436	740	7,965	1,201	12,928	406	4,370	0	0	0	0	2,852	30,699
Fifth	0	0	740	7,965	974	10,484	0	0	0	0	0	0	1,714	18,449
Sixth	0	0	464	4,994	0	0	0	0	0	0	0	0	464	4,994
	3,743	40,290	4,801	51,678	7,400	79,654	2,791	30,042	977	10,516	810	8,719	20,522	220,899

SITE AREA	sq.m	sq.ft
	18600	200210.4

DENSITY	Unit/Ha	HBR/Ha
	118	409

These areas are approximate. They relate to areas of the building at the current state of design and are reliant upon the information available.

They may vary because of survey, design development, construction tolerances, statutory requirements or re-definition of the areas to be measured.

Any decisions to be made on the basis of these predictions should include due allowance for variation inherent in both the design development, building survey, rights to light survey and the building process.

**Proposed New Build - Schedule of Unit numbers.
Teddington Riverside**

Building 'A'	1 bed apartments		2 bed apartments		3 bed apartments		4 bed apartments	
		HR		HR		HR		HR
Ground	2	4	3	9	2	10	0	0
First	5	10	2	6	4	20	0	0
Second	5	10	2	6	4	20	0	0
Third	1	2	4	12	3	15	0	0
Fourth	2	4	0	0	3	15	0	0
Fifth	0	0	0	0	0	0	0	0
	15	30	11	33	16	80	0	0
Total units								42
Total Habitable Rooms								143
* includes Disabled Units								

Building 'B'	1 bed apartments		2 bed apartments		3 bed apartments		4 bed apartments	
		HR		HR		HR		HR
Ground	1	2	1	3	4	20	0	0
First	0	0	2	6	4	20	0	0
Second	0	0	2	6	4	20	0	0
Third	0	0	2	6	4	20	0	0
Fourth	0	0	2	6	4	20	0	0
Fifth	0	0	2	6	4	20	0	0
Sixth	0	0	0	0	4	20	0	0
	1	2	11	33	28	140	0	0
Total units*								40
Total Habitable Rooms								175

Building 'C'	1 bed apartments		2 bed apartments		3 bed apartments		4 bed apartments	
		HR		HR		HR		HR
Ground	4	8	9	27	1	5	0	0
First	1	2	10	30	4	20	0	0
Second	1	2	10	30	4	20	0	0
Third	1	2	10	30	4	20	0	0
Fourth	3	6	8	24	3	15	0	0
Fifth	4	8	3	9	4	20	0	0
Sixth	0	0	0	0	0	0	0	0
	14	28	50	150	20	100	0	0
Total units*								84
Total Habitable Rooms								278
* includes Disabled Units								

Building 'D'	1 bed apartments		2 bed apartments		3 bed apartments		4 bed apartments	
		HR		HR		HR		HR
Ground	3	6	3	9	1	5	0	0
First	2	4	6	18	0	0	0	0
Second	2	4	6	18	0	0	0	0
Third	2	4	5	15	0	0	0	0
Fourth	2	4	3	9	0	0	0	0
Fifth	0	0	0	0	0	0	0	0
	11	22	23	69	1	5	0	0
Total units								35
Total Habitable Rooms								96

Building 'E7'	1 bed apartments		2 bed apartments		3 bed apartments		4 bed apartments	
		HR		HR		HR		HR
Ground	2	4	2	6	0	0	0	0
First	1	2	3	9	0	0	0	0
Second	1	2	3	9	0	0	0	0
	4	8	8	24	0	0	0	0
Total units								12
Total Habitable Rooms								32

House 'E'	4 bed villas
	6
Total units	
6	
Total Habitable Rooms	
36	

1 bed unit	2 bed unit	3/4 bed unit
45	103	71
21%	47%	32%

TOTAL UNITS	219
including Disabled	
TOTAL HABITABLE ROOMS	760

NB. Any floor sub-division will reduce NIA.
All areas are subject to confirmation from survey.
NIA Excludes: Basement, Substation (At Ground Floor Level)

These areas are approximate. They relate to areas of the building at the current state of design and are reliant upon the information available.
They may vary because of (e.g.) survey, design development, construction tolerances, statutory requirements or re-definition of the areas to be measured.
Any decisions to be made on the basis of these predictions should include due allowance for variation inherent in both the design development, building survey, rights to light survey and the building process.

Summary & CGIs

A carefully crafted proposal for residential redevelopment of this former studio site is being brought forward after extensive consultation and collaboration with local planning officers and administrators at both local and regional level.

Public consultation has been extensive as befits this important site and a full EIA prepared in support of the design. The proposal has been carefully arranged above an entirely concealed underground carpark, which like all the residences is fully flood proofed and EA policy compliant.

The client, **The Haymarket Media Group**, has assembled a comprehensive team of consultants to ensure a most thorough and considered proposal is put forward. The scheme is just one “cog in the wheel” that is intended to see the client operation which employs over a thousand personnel consolidate its traditionally two borough wide operation onto one site elsewhere in the Borough of Richmond upon Thames. This would be on a site, better located for business purposes, than this, the application site. Redevelopment of the Broom Road site as proposed in this application would lead to a substantial reduction in car journeys to and from the site.

The proposal would make more effective use of previously developed land, while enhancing local character, heritage setting and established amenity. It has been designed to the highest standards and would be a major benefit to the wider community in providing a variety of homes, both open market and affordable, in a range of sizes and types.

In addition the scheme would provide extensive new public access to the riverside, one of the key aspirations of the Council for any waters edge site that comes forward for redevelopment.

The proposal is low slung, low rise, horizontally characterised in high quality materials to reflect a riverside wharfage ambience in a parkland like setting with two central pavilions of more contrasting aesthetic. It has a deliberately limited palette and a recessive subordinate quality, disciplined and “quiet”, so as to enhance local character at this sensitive locality of considerable heritage merit. A high quality public realm, “Sense of Place” character is integral to the concept and reflected in the overall design of buildings and landscaping, that has always placed wider community interest, public realm and place making at its heart.

tp bennett

February 2014

Right: View towards the proposed new development as seen from the ait.









Above: View looking west along the riverside promenade with the weir beyond.

Left: One of the two sunlit boulevards leading to the waterside promenade above.

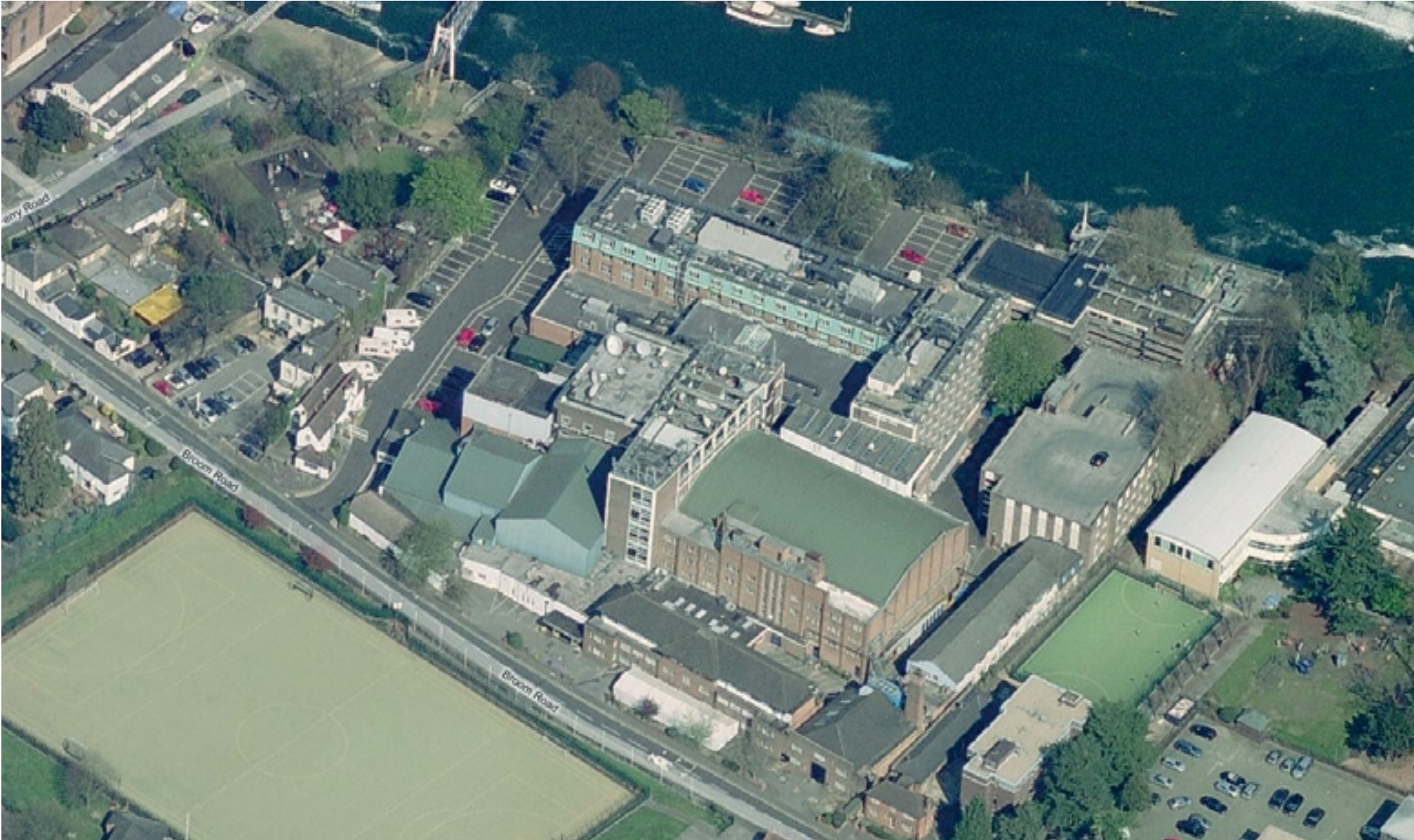


Above: View of the proposed development from the nearby footbridge.
Right: View looking east towards the group of locks beyond the footbridge.

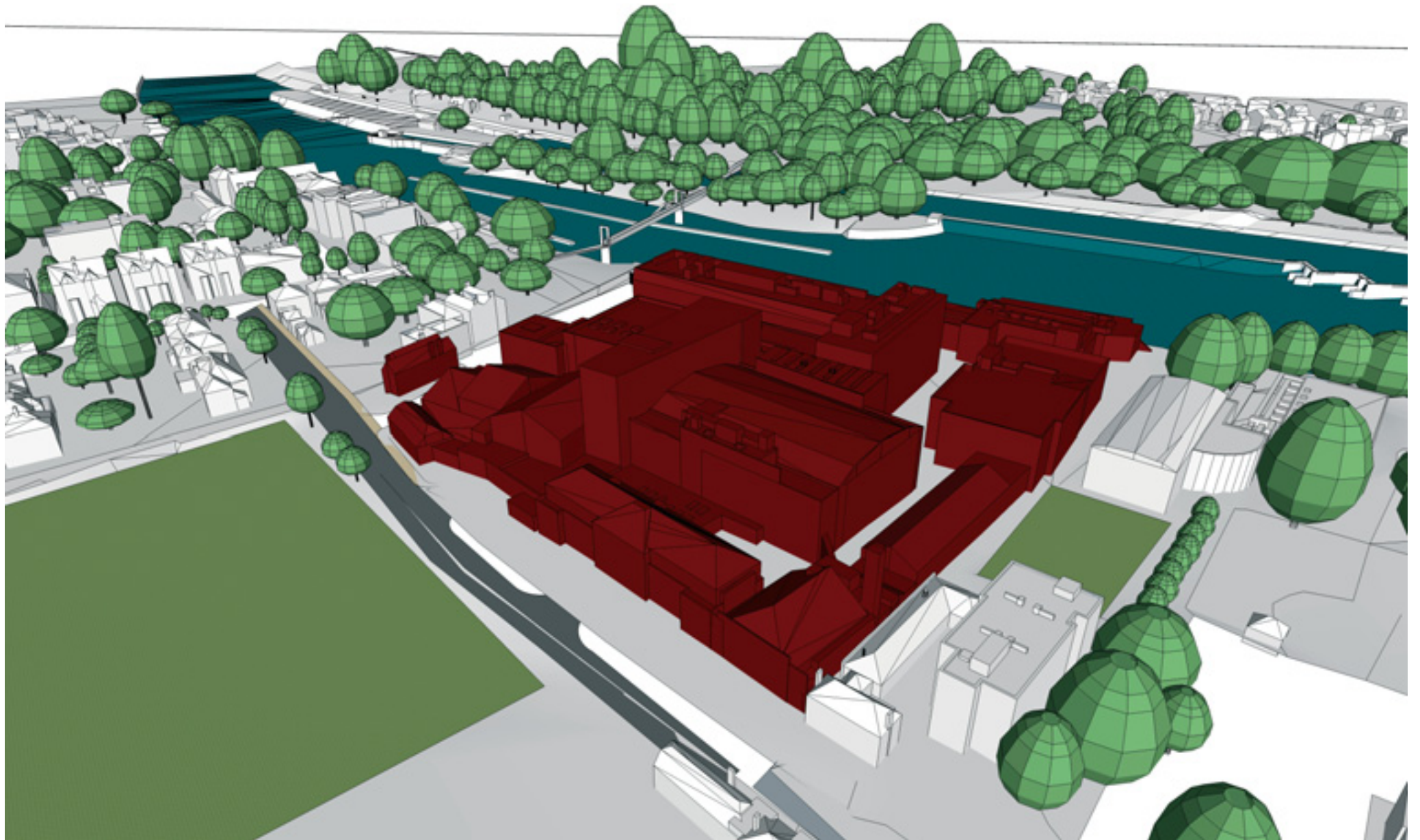
Appendix – as existing & as proposed massing superimposed each on the other.....



View looking North – Photographic image



View looking North – Photographic image converted to graphic image

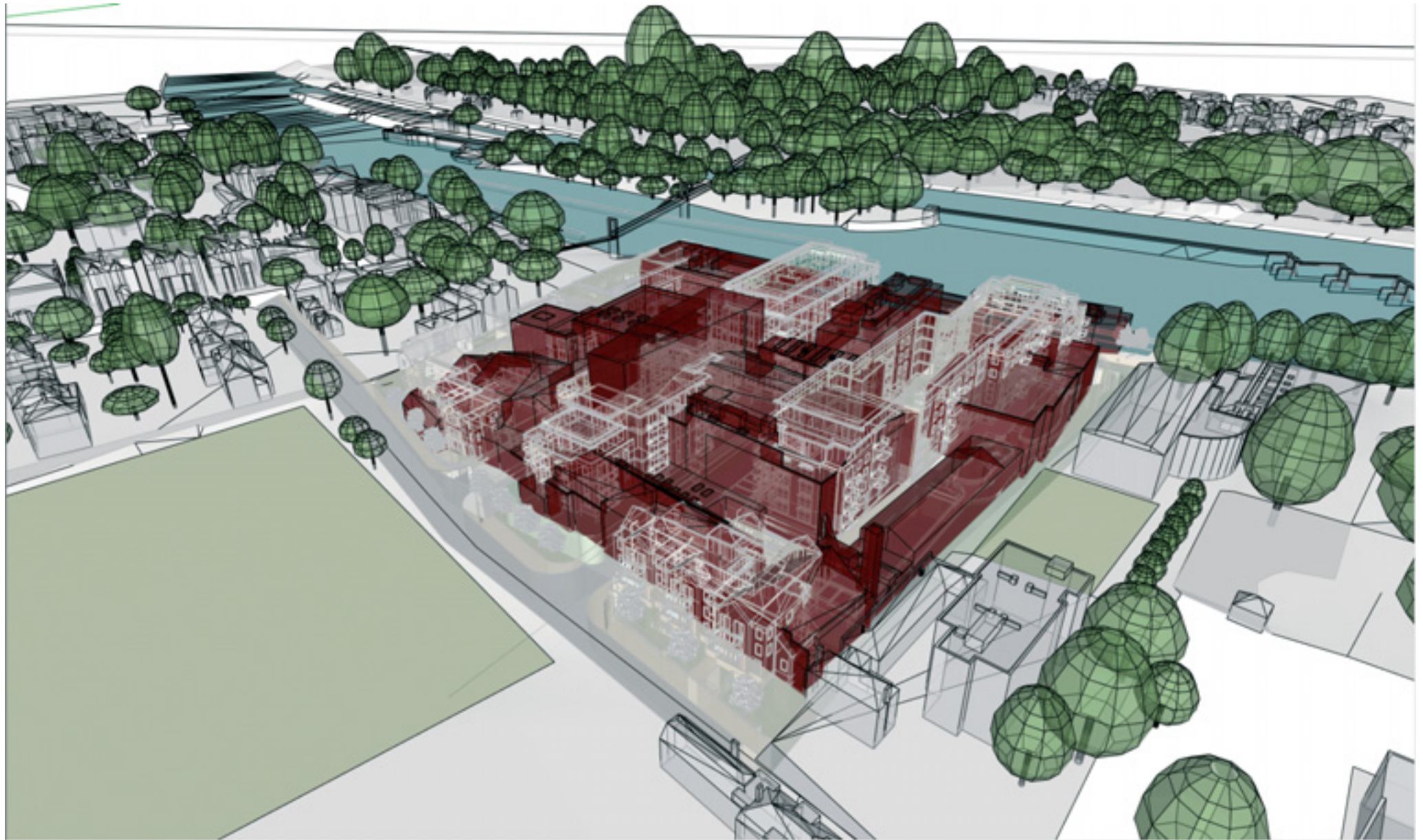


View looking North – As existing and as proposed graphic images superimposed

96



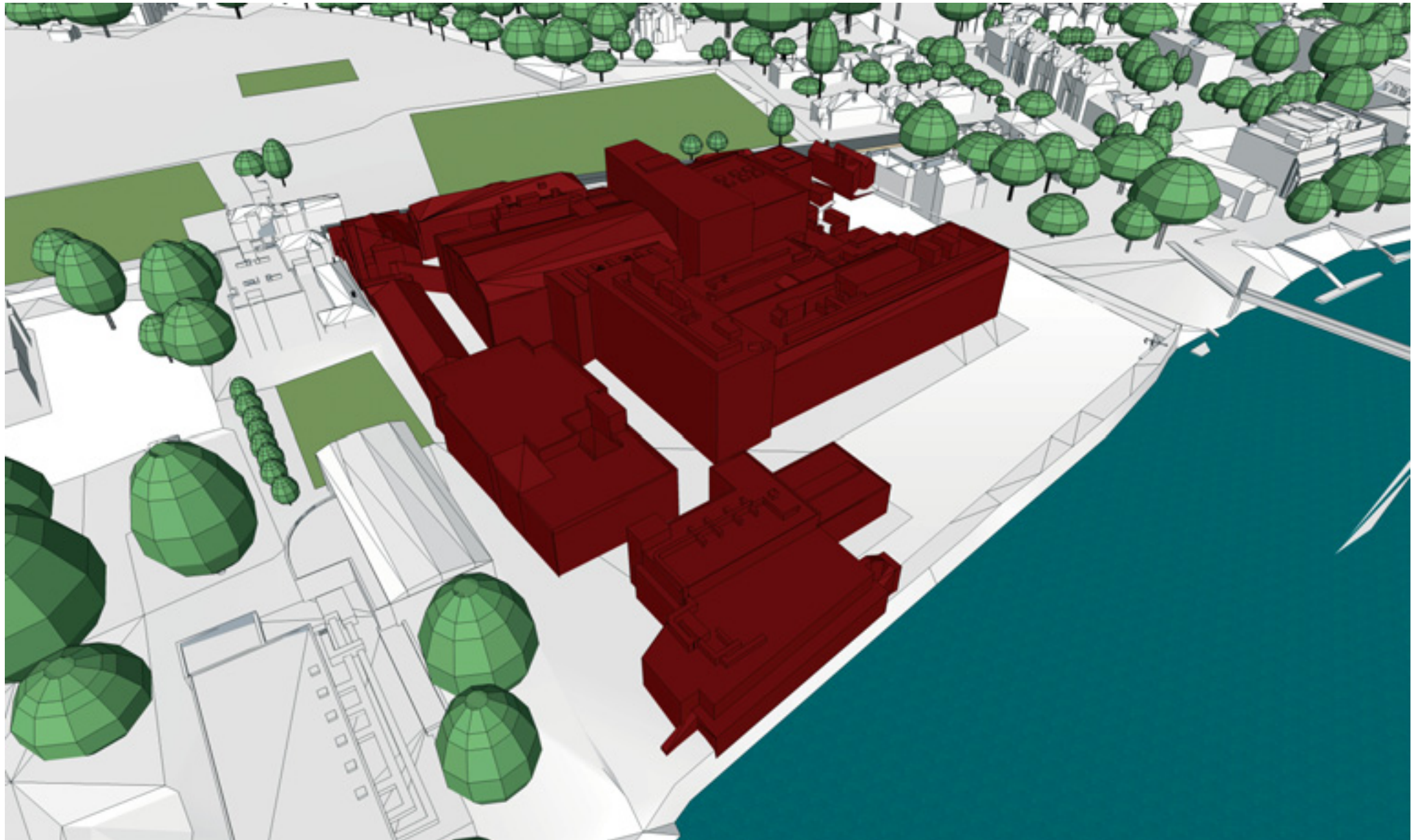
View looking North – As opposite but in skeletal form



View looking West – Photographic image



View looking West – Photographic image converted to graphic image

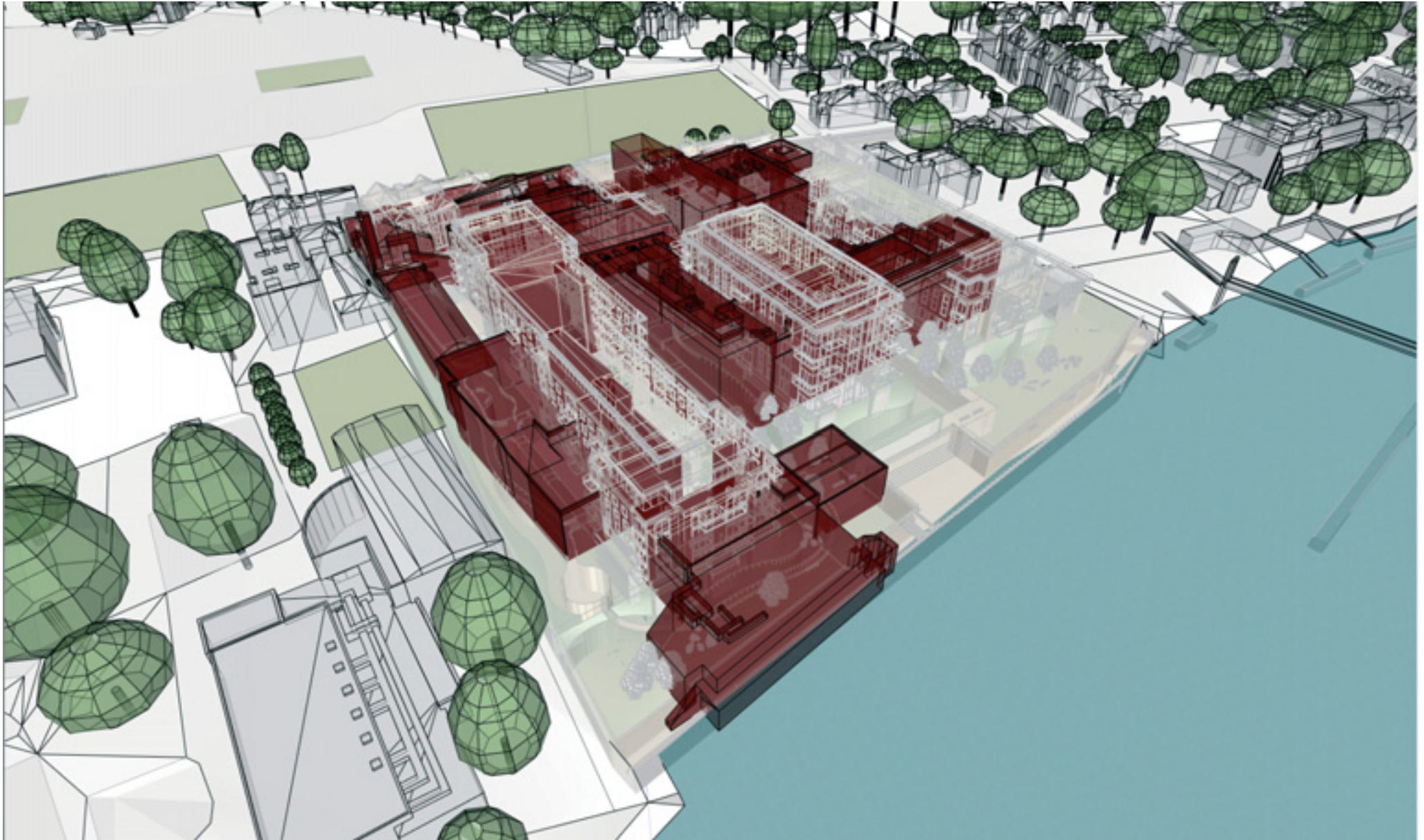


View looking West – As existing and as proposed graphic images superimposed

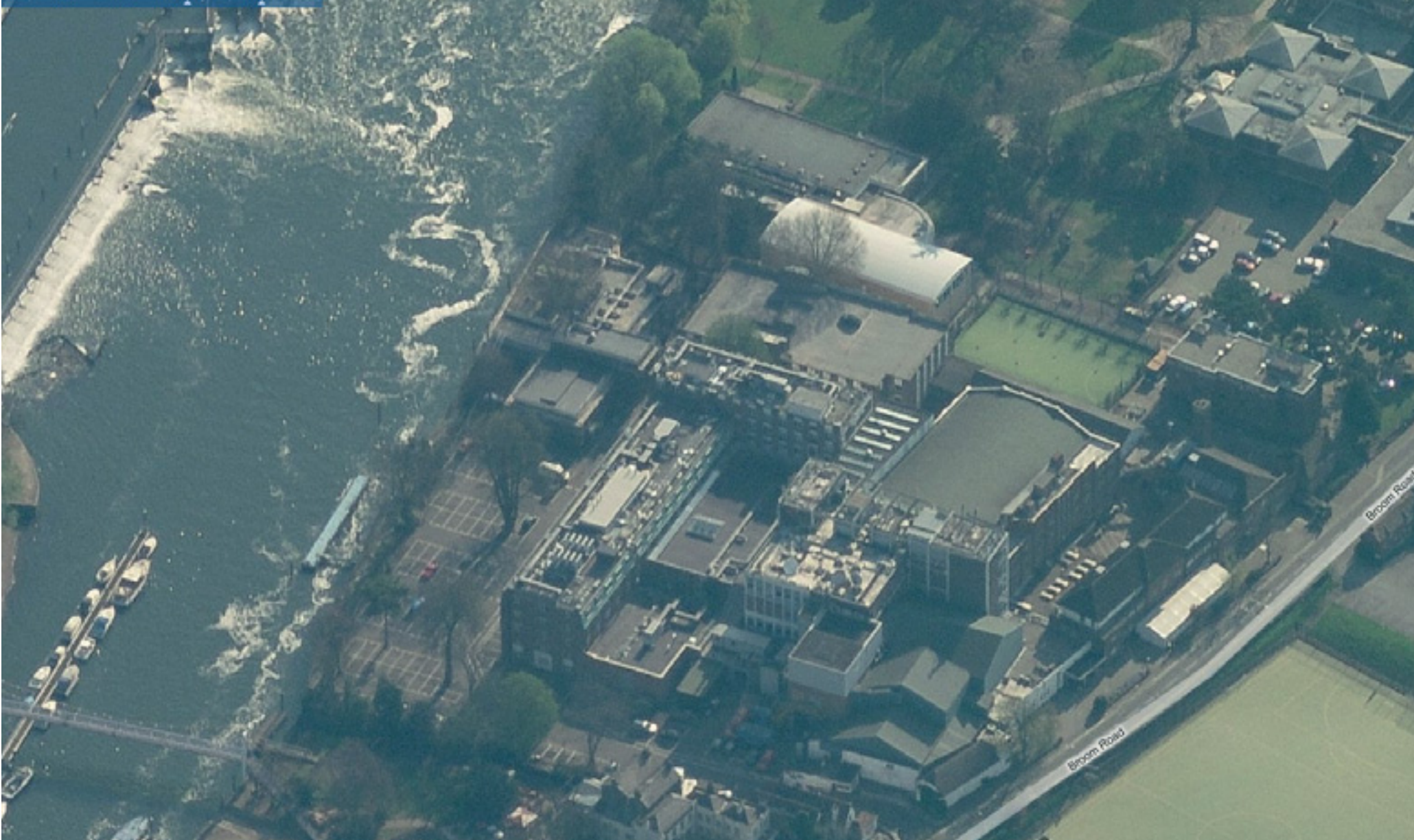
100



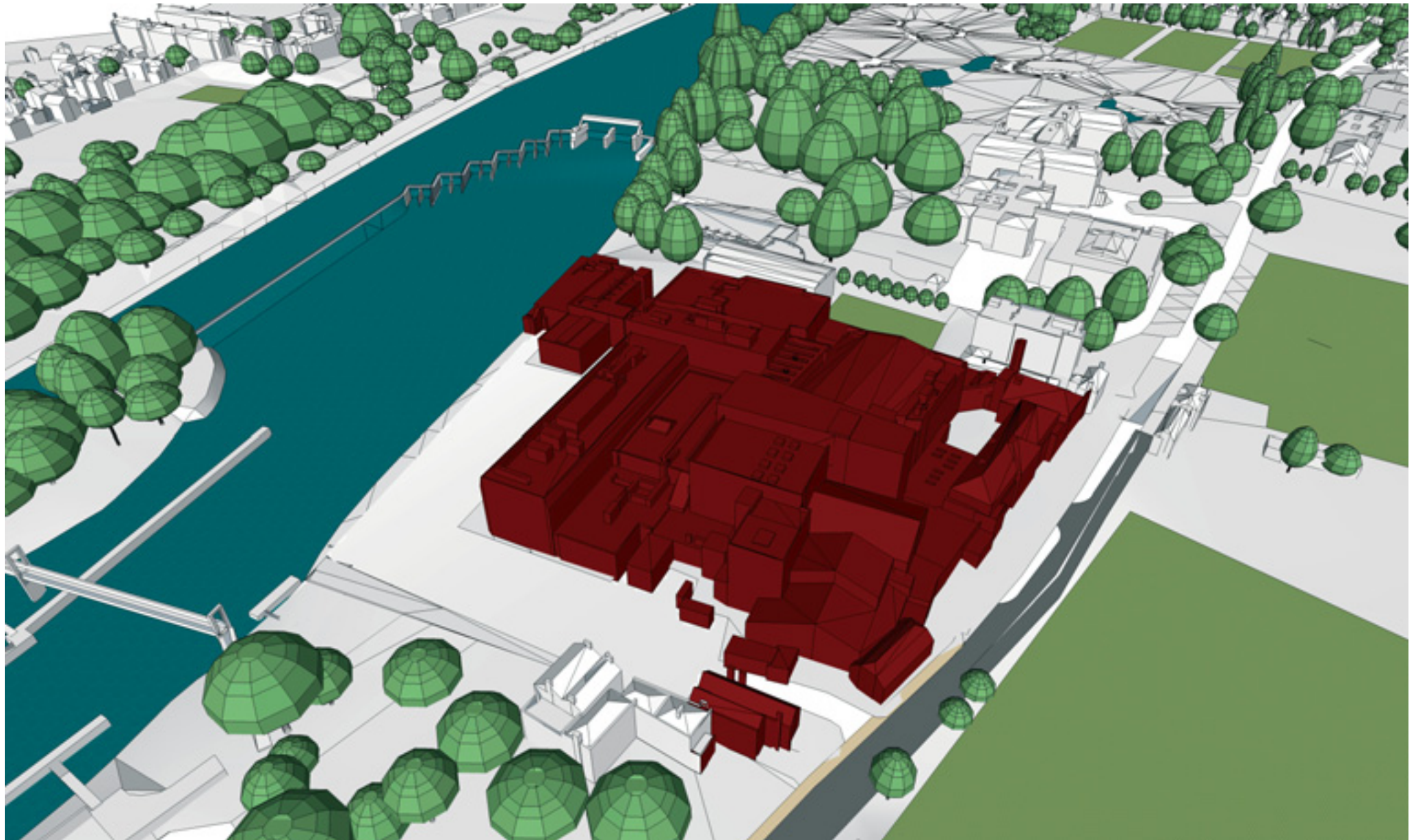
View looking West – As opposite but in skeletal form



View looking East – Photographic image



View looking East – Photographic image converted to graphic image



View looking East – As existing and as proposed graphic images superimposed



View looking East – As opposite but in skeletal form



View looking South – Photographic image

