

2.5 RESIDENTIAL DEVELOPMENT ZONE

The Residential Development Zone incorporates a number of key features, including parameters specific to this zone.

2.5.1 LOCATION

The Residential Development Zone occupies the southern area of the Main Site.

2.5.2 ACCESS

The residential site should be provided with pedestrian access via the Heatham Estate in order to integrate the new residential area with the existing neighbourhood, and vehicular access via the A316 to minimise the impact of traffic on the Heatham Estate. Access is illustrated in diagram 2.5.2, whilst Streets and Paths in the redevelopment are defined in detail in section 3 of this document.

2.5.2.1 PEDESTRIAN & CYCLE ACCESS

Pedestrian and cycle access to the Residential Development Zone should be possible from a number of directions via Egerton Road and Marsh Farm Lane. Pedestrian and cycle access to the Residential Site should be encouraged, and should take be designed to maximise the benefit of improved connections to the town centre.

2.5.2.2 VEHICULAR ACCESS

The Residential Development Zone should incorporate access to the A316 via Langhorn Drive and the upgraded Marsh Farm Lane. Vehicular access on the site should be through a coherent network of residential streets as described in Section 3.5.

2.5.2.3 CAR PARKING

The Residential Development Zone should incorporate on-street car parking distributed across the residential site. The development zone may also include areas of 'Podium' car parking as described in Section 2.5.3.2. The total number of parking places for the Residential Development Zone should not exceed 190 spaces. Detailed guidance on Car Parking is provided in section 3.6.

2.5.2.4 ACCESS WITHIN THE DEVELOPMENT ZONE

Hardstanding areas within the Residential Development Zone should allow for limited emergency, service and delivery access. These areas should be designed to prevent the connection of the street network to the south and east of the redevelopment site to the A316. Additional Emergency Access onto the site should be possible via Craneford Way and Marsh Farm Lane.

2.5.3 BUILDING ZONES

The Residential Development Zone incorporates four Building Zones. These are defined in Parameter Plan PL-13, with key setbacks indicated in Parameter Plan

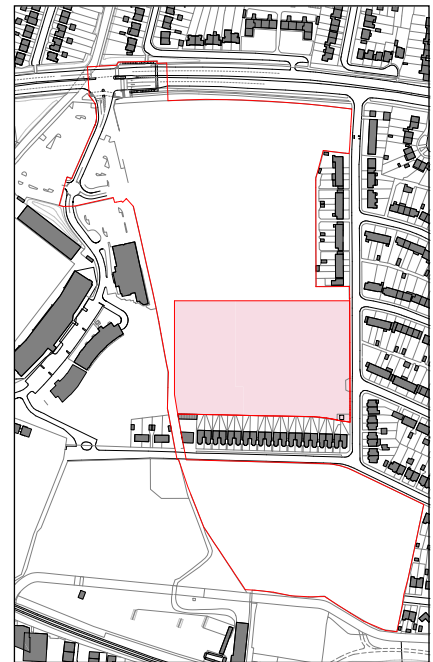


DIAGRAM 2.5.1
RESIDENTIAL DEVELOPMENT ZONE

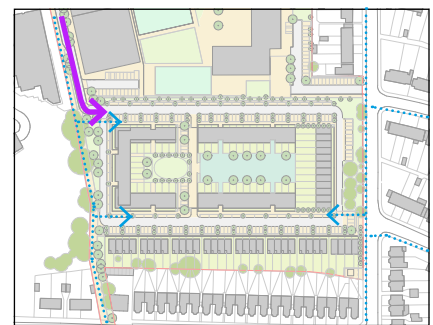


DIAGRAM 2.5.2
ACCESS

PL-04. These building zones are anticipated to be delivered in two phases, with Residential Building Zones 1 & 2 delivered before Building Zones 3 & 4. A detailed description of intended phasing is provided in the Development Specification, as are maximum building areas of each building zone.

2.5.3.1 BUILDING ALIGNMENT

Whilst it is expected that any buildings in the Residential Building Zones will be predominantly orthogonal in line with the geometry indicated in the Illustrative Scheme, variation from this geometry should be allowed.

However, the alignment of the facades of the Residential Zone should be coordinated with the adjoining streetscape and should follow a related geometry. This is illustrated in diagram 2.5.3, and should emphasise the relationship between the buildings and provide a clear boundary to the residential site.

2.5.3.2 PODIUM CAR PARKING

The development zone may also include *Podium Car Parking* where the car parking is provided beneath a solid deck that provides shared or private residential amenity spaces above. 'Podium' Car parking areas may be integrated within Residential Building Zones 1 & 3, as indicated on Parameter Plan PL-06, and illustrated in diagram 2.5.4.

The Podium Car Parking may be provided as one or more separate areas, but access points should be minimised to ensure an attractive, safe and pedestrian friendly streetscape. Podium Car Parking may be at surface level or partially below grade, and must be contained within the maximum building envelope as indicated in Parameter Plans PL-05, PL-14 and PL-15. Detailed guidance on Podium Car Parking is provided in section 3.6.

2.5.3.3 RESIDENTIAL BUILDING ZONE 1

The minimum setbacks required for the Residential Building Zone 1 are indicated in Parameter Plan PL-04. The minimum setback to the east of the zone is measured from the street-side face of the existing boundary wall in order to preserve the existing mature trees and existing street character along Egerton Road. A setback is provided between Building Zones 1 and 2, in order to comply with the requirements set out in the *LBRuT Small & Medium Housing Sites SPG*. A reduced setback is indicated between Residential Building Zones 1 and 3 to allow flexibility in planning of these zones, as facing windows may not be required in these facades.

The permitted extents, including maximum and minimum heights, of Residential Building Zone 1 are indicated on Parameter Plan PL-14. The permitted height facing Egerton Road is to accommodate a maximum of 3 storeys of residential development, in keeping with the existing College buildings in this location. The building height should step-up to a maximum of 4 and 5 storeys to the west and north to mediate between the greater height of the existing and proposed adjoining development in these directions with lower development to the south and east. A podium car parking area may be incorporated into this zone as described in section 2.5.3.2.

Residential Building Zone 1 is illustrated in diagram 2.5.5.

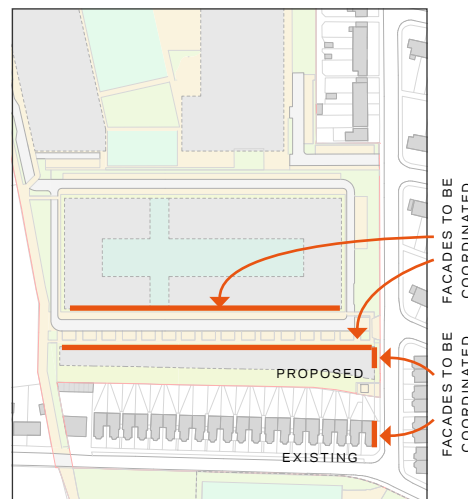


DIAGRAM 2.5.3
BUILDING ALIGNMENT

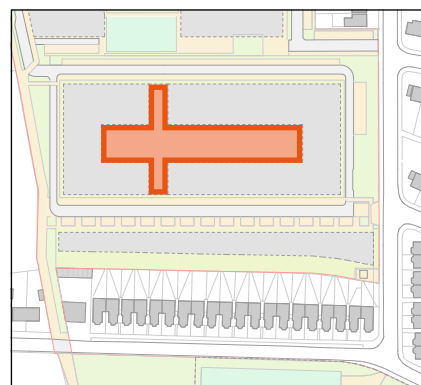


DIAGRAM 2.5.4
PODIUM CAR PARKING

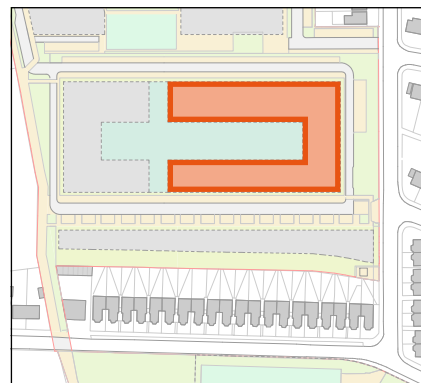


DIAGRAM 2.5.5
BUILDING ZONE 1

2.5.3.4 RESIDENTIAL BUILDING ZONE 2

The minimum setbacks required for the Residential Building Zone 2 are indicated in Parameter Plan PL-04. The minimum setback to the east of the zone is measured from the street-side face of the existing boundary wall and the new buildings should be no closer to the boundary than a line drawn parallel to Egerton Road from the row of existing semi-detached houses along Craneford Way in order to integrate the development with the existing urban grain. The minimum setback from the south is measured from the existing boundary wall, and is sized to ensure adequate private gardens can be provided to these dwellings in accordance with the standards set out in the *LBRuT Development Management Plan*. A setback is provided between Building Zones 1 and 2, in order to comply with the requirements set out in the *LBRuT Small & Medium Housing Sites SPG*.

The permitted extents, including maximum and minimum heights, of Residential Building Zone 2 are indicated on Parameter Plan PL-14. The permitted height of 2.5 storeys is to accommodate a maximum of 2 storeys of residential development, with an additional part-storey (or “loft”) above eaves level, in keeping with the existing residential buildings near this location. The building height is constrained to relate to the scale of the existing development to the south and east. The buildings in Residential Building Zone 2 & 4 should be similar in scale and design to each other to maintain a coherent urban fabric.

Residential Building Zone 2 is illustrated in diagram 2.5.6.

2.5.3.5 RESIDENTIAL BUILDING ZONE 3

The minimum setbacks required for the Residential Building Zone 3 are indicated in Parameter Plan PL-04. The minimum setback to the west of the zone measured from the development zone boundary is set to accommodate an access route and open space between the building and Marsh Farm Lane. A setback is provided between Building Zones 3 and 4, in order to comply with the requirements set out in the *LBRuT Small & Medium Housing Sites SPG*. A reduced setback is indicated between Residential Building Zones 1 and 3 to allow flexibility in planning of these zones, as facing windows may not be required in these facades.

The permitted extents, including maximum and minimum heights, of Residential Building Zone 3 are indicated on Parameter Plan PL-14. The permitted height is to accommodate a maximum of 5 storeys of residential development, stepping-up to the west and north to mediate between the greater height of the existing and proposed adjoining development in these directions with lower development to the south and east. A podium car parking area may be incorporated into this zone as described in section 2.5.3.2.

Residential Building Zone 3 is illustrated in diagram 2.5.7.

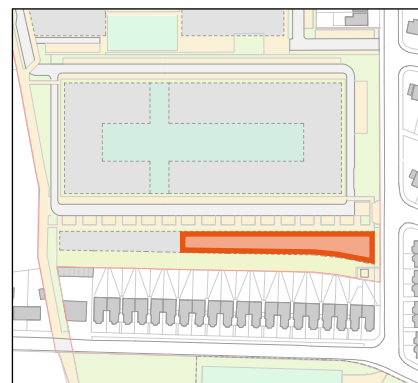


DIAGRAM 2.5.6
BUILDING ZONE 2

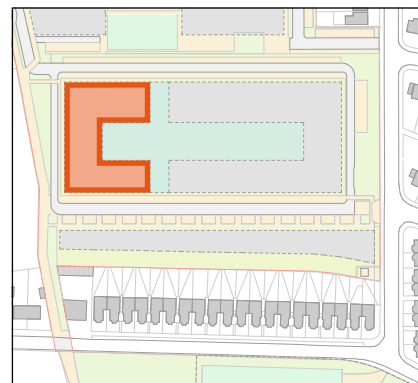


DIAGRAM 2.5.7
BUILDING ZONE 3

2.5.3.6 RESIDENTIAL BUILDING ZONE 4

The minimum setbacks required for the Residential Building Zone 4 are indicated in Parameter Plan PL-04. The minimum setback to the west of the zone is measured from the edge of the Residential Development Zone and the new buildings should be no closer to the existing wall bounding Marsh Farm Lane to the east than the existing garages accessed off of Craneford Way in this area to avoid overconstraining this approach. The minimum setback from the south is measured from the existing boundary wall, and is sized to ensure adequate private gardens can be provided to these dwellings in accordance with the standards set out in the *LBRuT Development Management Plan*. A setback is provided between Building Zones 3 and 4, in order to comply with the requirements set out in the *LBRuT Small & Medium Housing Sites SPG*.

The permitted extents, including maximum and minimum heights, of Residential Building Zone 4 are indicated on Parameter Plan PL-15. The permitted height of 2.5 storeys is to accommodate a maximum of 2 storeys of residential development, with an additional part-storey (or “loft”) above eaves level, in keeping with the existing residential buildings near this location. The building height is constrained to relate to the scale of the existing development to the south and east. The buildings in Residential Building Zone 2 & 4 should be similar in scale and design to each other to maintain a coherent urban fabric.

Residential Building Zone 4 is illustrated in diagram 2.5.8.

2.5.4 EXTERNAL AREAS

The Residential Development Zone should incorporate a number of Private Gardens as well as area(s) of Shared Amenity Space, including area(s) providing play space for children and young people. This provision should take into account the existing open spaces in the area, as well as the spaces being provided in the other Development Zones.

2.5.4.1 OPEN SPACES & HABITAT AREAS

The Residential Development Zone should also incorporate an Open Space protecting the existing mature trees and habitat along Egerton Road, as illustrated in diagram 2.5.9. Design Guidance on this space is provided in section 4.8 and 4.9.

2.5.4.2 SHARED AMENITY SPACES

Residential Building Zone 1 and 3 should incorporate meaningful and appropriate Shared Amenity Space(s), as illustrated in diagram 2.5.10. The Reserved Matters Application(s) should demonstrate that suitable management arrangements are in place to ensure that the space(s) will be appropriately managed and maintained. Design Guidance on Shared Amenity Spaces is provided in section 4.6.

2.5.4.3 PRIVATE AMENITY SPACES

All Dwellings should be provided with Private Amenity Space in accordance with the *Mayor of London's Housing Design Standards* and the *LBRuT DMP*.

Ground floor units should be provided with Private Gardens wherever possible. Where the residential site abuts existing Private Gardens, the adjoining space should preferably be used for Private Gardens. Insofar as is practical, Private Gardens should not adjoin unsecured parts of the Public Realm. Where private dwellings front onto the Public Realm, these should be designed with private

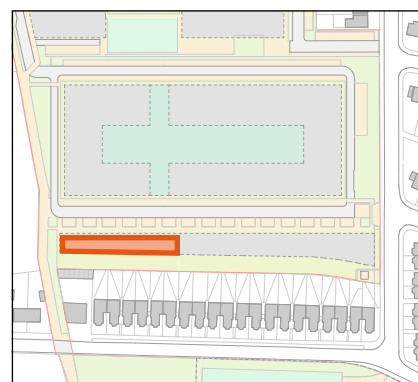


DIAGRAM 2.5.8
BUILDING ZONE 4

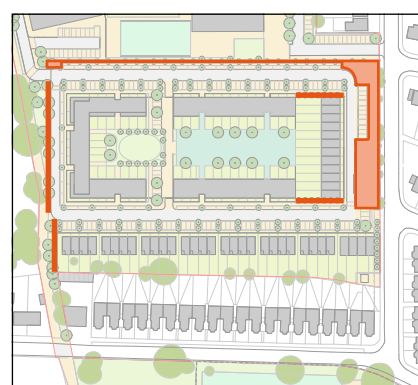


DIAGRAM 2.5.9
OPEN SPACES & HABITAT AREAS

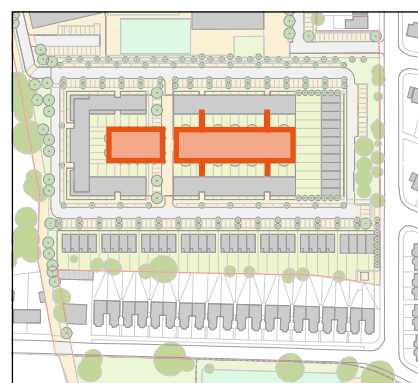


DIAGRAM 2.5.10
SHARED AMENITY AREAS

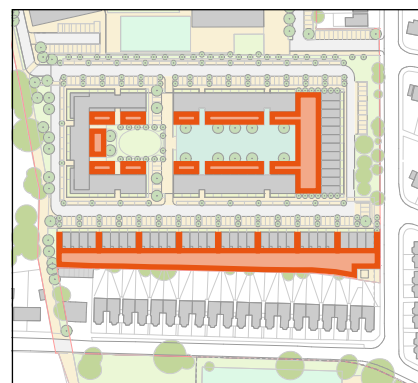


DIAGRAM 2.5.11
PRIVATE AMENITY AREAS

Defensible Spaces. Upper level units should be provided with private amenity spaces as balconies (whether recessed or not) or as setbacks in the building form.

Locations which should be provided with Private Gardens are illustrated in diagram 2.5.11. Design Guidance on Private Amenity Spaces is provided in section 4.7. Detailed Guidance on balconies is provided in section 5.7.

2.5.4.4 ACTIVE FRONTAGES & SECURE BOUNDARIES

Ground floor facades that face onto the Public Realm should, with limited exceptions, be designed as Active Frontages wherever there are non-private uses. In particular, common entrances to the buildings and communal spaces should be located along these facades and should be designed to engage with the Public Realm. Wherever practical ground floor units should be provided with private external entrances and defensible spaces.

Where active frontages cannot be provided, boundaries should be clear, continuous, overlooked and secure.

Locations which should be provided with Active Frontages & Secure boundaries are illustrated in diagram 2.5.12. Design Guidance on Entrances, Active Frontages & Defensible Spaces is provided in section 5.

2.5.5 ZONE-SPECIFIC GUIDANCE

2.5.5.1 OVERLOOKING

Dwellings should be designed to minimise overlooking of adjacent dwellings.

Windows in habitable rooms facing each other should have a minimum horizontal separation of 20m. Where windows are obscured, are at high level only, or are only from ancillary spaces this dimension may be reduced.

Overlooking of habitable rooms in neighbouring buildings should be kept to a minimum and the privacy for the individual unit respected. In particular, the Reserved Matters Application(s) should demonstrate an adequate level of privacy between bedrooms and neighbouring properties, streets and public spaces.

2.5.5.2 VIEWS

Views from habitable rooms and external amenity areas should be maximised.

2.5.5.3 DAYLIGHT & OVERSHADOWING

The massing of residential buildings should ensure good light penetration to all dwellings and should minimise overshadowing of external amenity areas. Living spaces should receive direct sunlight during a portion of the day. All habitable rooms should have windows no smaller than 20% of their floor area.

2.5.5.4 NOISE

Dwellings should be laid out to minimise the transmission of noises to sound sensitive rooms within neighbouring dwellings, and in particular to bedrooms, by ensuring that the sound insulation exceeds the requirements of Building Regulations Part E by at least 3dB. Measures should also be undertaken to limit noise levels due to external sources in accordance with BS8233:2004.

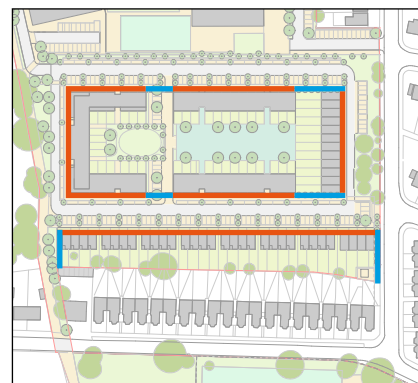


DIAGRAM 2.5.12
ACTIVE FRONTAGES & SECURE
BOUNDARIES



2.6 COLLEGE PLAYING FIELDS DEVELOPMENT ZONE

The College Playing Fields Development Zone incorporates a number of key features, including parameters specific to this zone.

2.6.1 OVERVIEW

The College Playing Field Development Zone occupies the entirety of the Redevelopment Site to the south of Craneford Way. The zone is designated as Metropolitan Open Land (MOL), and any redevelopment of the site should be compatible with this designation. The College Playing Fields Development Zone is illustrated in diagram 2.6.1.

2.6.1.1 MARSH FARM LANE

The College Playing Field Development Zone includes the existing and improved areas of Marsh Farm Lane (south of Craneford Way) and its associated landscaping, as illustrated in diagram 2.6.2. Design Guidance on this area is provided in section 3.3.

2.6.1.2 VEHICULAR ACCESS

There should only be vehicular access onto the College Playing Fields site for construction, maintenance, service and emergency purposes. There should be no car parking in the College Playing Field Development Zone.

2.6.1.3 ENVIRONMENT AGENCY SETBACK

A minimum 8m setback to the River Crane should be provided, in accordance with Environment Agency requirements and standards.

2.6.1.4 FUTURE RIVER CRANE PATH

The redevelopment of the College Playing Fields should allow room for a footpath along the River Crane to be provided in the future at the southern end of the Playing Field Site, as described in the RuTC Planning Brief SPG.

2.6.1.5 SPORTS PITCHES & OUTDOOR SPACE

The College Playing Field Development Zone should incorporate two formal sports pitches as well as areas of open space, including open areas for informal sport, areas with public use and access, landscape areas, and habitat area, as illustrated in diagram 2.6.2.

The areas of open space to the south and east of the Sports Pitches should prioritise the provision of additional scrub habitats and native species-rich hedgerows around the periphery for breeding birds and hedgehogs and unmanaged grassland areas to enhance the potential for habitat for invertebrates and improve the existing foraging resource for bats. An informal path through this area with access off of Marsh Farm Lane and Craneford Way should be included as part of the detailed proposals.

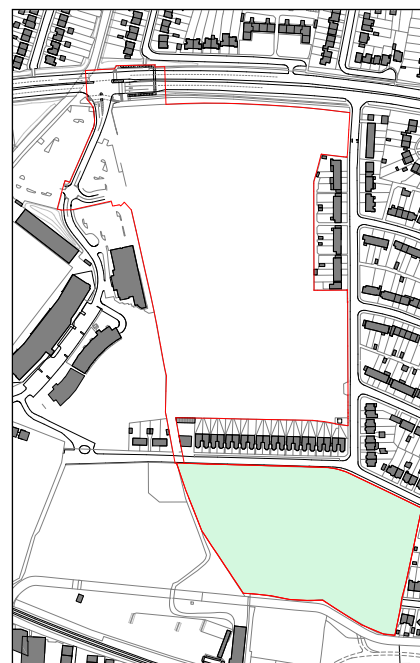


DIAGRAM 2.6.1
COLLEGE PLAYING FIELDS
DEVELOPMENT ZONE



DIAGRAM 2.6.2
OPEN SPACE WITH PUBLIC ACCESS
AROUND SPORTS PITCHES

The area to the west of the Sports Pitch Zone should be flexible in use, to provide for additional sporting and non-sporting activities. Refer to section 4.8 for detailed guidance on landscape areas.

2.6.1.6 EXISTING TREES & HABITAT AREAS

Existing trees and habitat areas to the perimeter of the College Playing Fields Development Zone should be retained unless these are unhealthy or unsafe. Refer to section 4.9 for detailed guidance on trees and habitat areas.

2.6.2 SPORTS PITCH ZONE

The College Playing Field Development Zone incorporates one Sports Pitch Zone. This is illustrated in Parameter Plan PL-16 and diagram 2.6.3.

2.6.2.1 SPORTS PITCH ZONE SETBACKS

The setbacks required for the Sports Pitch Zone is indicated in Parameter Plan PL-04, and reflect the minimum distance to any enclosure around the sports pitches. The minimum setback to the west of the site is measured from the existing boundary wall, while to the south the setback is to the top of the existing flood defence wall along the River Crane. The setback to the east is measured to the site boundary.

2.6.2.2 PITCH ENCLOSURE

Fences should be provided around the formal sports pitches. Refer to diagram 2.6.3. Internal fencing within the Sports Pitch Zone may also be provided around or between sports pitches.

Fences should be of a high quality and should be resistant to vandalism and should not be climbable. The fences should be designed to protect the character and openness of the College Playing Field Development Zone, and to maintain the ability to see across the site in order to preserve safety and visual amenity. Fence design should also accommodate the formal demands of the sports that the pitches are designed for.

Access points to the enclosure should be provided for safe use and escape from the playing fields. These should be designed in keeping with the overall enclosure, and where they are from an all-weather surface should be provided with exit across hardstanding areas that are connected to the surrounding path network to ensure accessibility and safe exit.

2.6.2.3 PITCH ALIGNMENT & ORIENTATION

The pitches should be oriented with their long axis on a northwest-southeast direction to optimise their use from late morning to early evening. Refer to diagram 2.6.4.

The illustrative scheme aligns the pitches with the site boundary along Craneform Way which corresponds very closely with the optimum pitch orientation.

2.6.2.4 PITCH STANDARDS

At least one of the redeveloped pitches should be all-weather, and all pitches should be designed to be porous and of a high standard in accordance with current best-practice. The pitches should be designed to maintain the character and openness of the College Playing Field Development Zone. Pitches should be designed in accordance with Sport England standards, except where this would

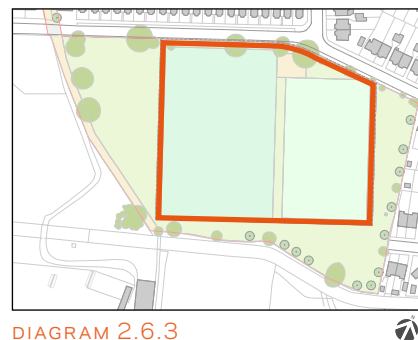


DIAGRAM 2.6.3
SPORTS PITCH ZONE

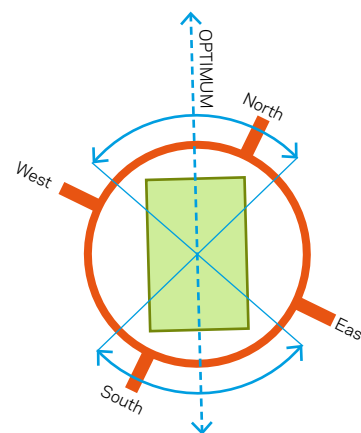


DIAGRAM 2.6.4
PITCH ORIENTATION

not accord with the available site area or MOL designation. Retractable ball-catch nets should be provided behind goals.

2.6.2.5 LIGHTING

No floodlighting to the Pitches on the College Playing Field Development Zone should be provided.

2.6.2.6 HARD LANDSCAPING

Areas of hard landscaping should be provided within the College Playing Field Development Zone to accommodate arrivals, gathering, briefing and teaching of those using the pitches. Large areas of hardstanding should be avoided, and if unavoidable these should be designed to be porous. All access and exit routes to all-weather surfaces should be via hardstanding areas to ensure accessibility and safe exit.

2.6.2.7 MINOR STRUCTURES

Goals and similar structures should be permitted within the Sports Pitch Zone.

No changing rooms or other permanent structures should be proposed as part of the redevelopment, unless required for essential utility infrastructure.

