

2.4.5 BUILDING ZONES

The Schools Building Zone is defined in Parameter Plans PL-11 and PL-12, and illustrated in diagram 2.4.6. It should be designed to accommodate both the SEN and Secondary School in an inter-connected facility with distinct entrances.

2.4.5.1 SCHOOLS BUILDING ZONE

The minimum setbacks required for the Schools Building Zone are indicated in Parameter Plan PL-04. The minimum setback to the east is measured from the existing boundary wall between the School site and the adjoining residential properties. This setback will ensure that the School is set back further from the boundary than the existing buildings in this area. The minimum setback to the south is to the Schools Development Zone boundary and should ensure that the School is adequately setback from Residential Building Zone 1 and to ensure usable open space within the Schools Development Zone. The minimum setback to the north is to College Building Zone 1.

The maximum permitted extents, including maximum and minimum heights, of the Schools Building Zone are indicated on Parameter Plan PL-10. The permitted height is to accommodate a maximum of 3 storeys of educational development. The maximum area of building(s) in the Schools Building Zone is indicated in the Development Specification.

2.4.5.2 BUILDING ALIGNMENT

Whilst it is expected that any buildings in the Schools Building Zones should be predominantly in line with the geometry indicated in the Parameter Plans, variation from this geometry should be allowed, provided the building(s) do not exceed the boundaries of its Building Zone.

2.4.5.3 ENTRANCES

Insofar as is practical the entrances to the Secondary and SEN schools should be visible from the site entrance in order to ensure intuitive access to the buildings and to promote passive supervision and security of the site and its approaches. Where this is not possible, alternatives should be provided to mitigate this shortcoming. Refer to diagram 2.4.7.

2.4.5.4 ACTIVE FRONTAGES

By virtue of the location of the Schools Building Zone within the Schools Development Zone, it is not anticipated that there will be any facades fronting directly onto the Public Realm. Nevertheless, as at times the entrance areas may function similarly to practical extensions of the public realm, active facades facing these entrances areas should be encouraged, to encourage passive supervision of these areas at such times. Refer to diagram 2.4.8.

Design Guidance on Entrances and Active Frontages is provided in section 5.

2.4.6 ZONE-SPECIFIC GUIDANCE

2.4.6.1 DESIGN STANDARDS

The schools should be designed to meet the Education Funding Agencies Facilities Output Specification, and the design of the schools buildings should be based on EFA exemplars.

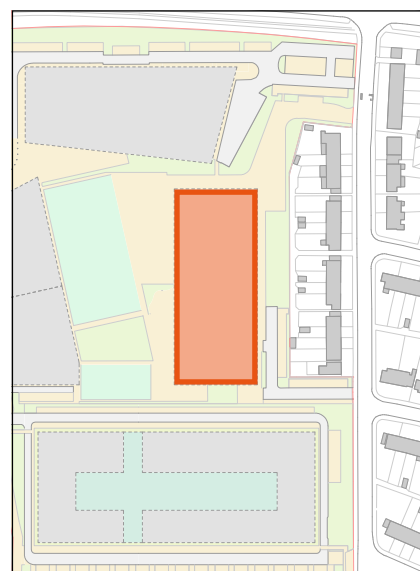


DIAGRAM 2.4.6
SCHOOLS BUILDING ZONE

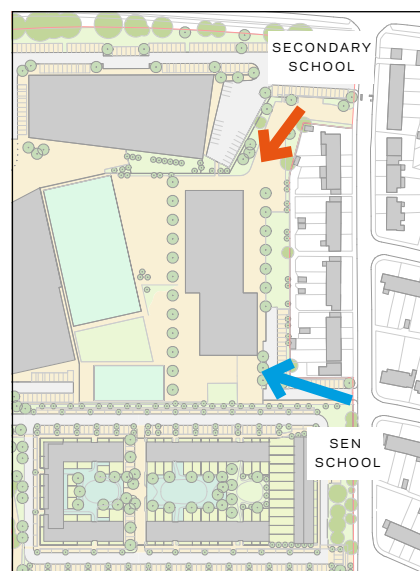


DIAGRAM 2.4.7
SCHOOLS ENTRANCES

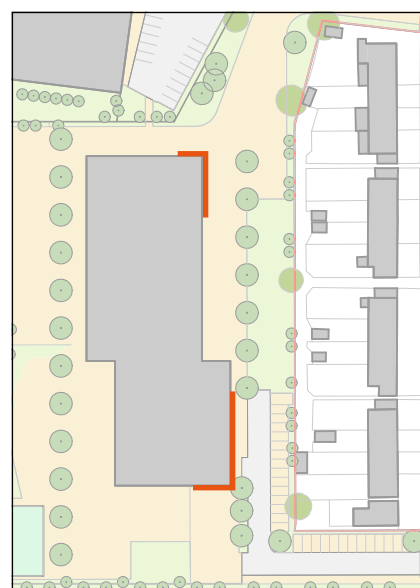


DIAGRAM 2.4.8
ACTIVE FRONTAGES

2.5 RESIDENTIAL DEVELOPMENT ZONE

The Residential Development Zone incorporates a number of key features, including parameters specific to this zone.

2.5.1 LOCATION

The Residential Development Zone occupies the southern area of the Main Site.

2.5.2 ACCESS

The residential site should be provided with pedestrian access via the Heatham Estate in order to integrate the new residential area with the existing neighbourhood, and vehicular access via the A316 to minimise the impact of traffic on the Heatham Estate. Access is illustrated in diagram 2.5.2, whilst Streets and Paths in the redevelopment are defined in detail in section 3 of this document.

2.5.2.1 PEDESTRIAN & CYCLE ACCESS

Pedestrian and cycle access to the Residential Development Zone should be possible from a number of directions via Egerton Road and Marsh Farm Lane. Pedestrian and cycle access to the Residential Site should be encouraged, and should take be designed to maximise the benefit of improved connections to the town centre.

2.5.2.2 VEHICULAR ACCESS

The Residential Development Zone should incorporate access to the A316 via Langhorn Drive and the upgraded Marsh Farm Lane. Vehicular access on the site should be through a coherent network of residential streets as described in Section 3.5.

2.5.2.3 CAR PARKING

The Residential Development Zone should incorporate on-street car parking distributed across the residential site. The development zone may also include areas of 'Podium' car parking as described in Section 2.5.3.2. The total number of parking places for the Residential Development Zone should not exceed 190 spaces. Detailed guidance on Car Parking is provided in section 3.6.

2.5.2.4 ACCESS WITHIN THE DEVELOPMENT ZONE

Hardstanding areas within the Residential Development Zone should allow for limited emergency, service and delivery access. These areas should be designed to prevent the connection of the street network to the south and east of the redevelopment site to the A316. Additional Emergency Access onto the site should be possible via Craneford Way and Marsh Farm Lane.

2.5.3 BUILDING ZONES

The Residential Development Zone incorporates four Building Zones. These are defined in Parameter Plan PL-13, with key setbacks indicated in Parameter Plan

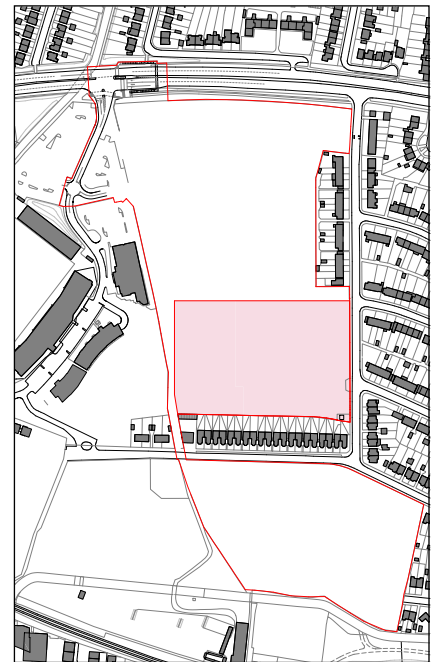


DIAGRAM 2.5.1
RESIDENTIAL DEVELOPMENT ZONE

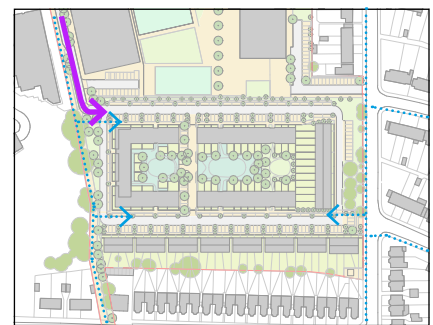


DIAGRAM 2.5.2
ACCESS

PL-04. These building zones are anticipated to be delivered in two phases, with Residential Building Zones 1 & 2 delivered before Building Zones 3 & 4. A detailed description of intended phasing is provided in the Development Specification, as are maximum building areas of each building zone.

2.5.3.1 BUILDING ALIGNMENT

Whilst it is expected that any buildings in the Residential Building Zones will be predominantly orthogonal in line with the geometry indicated in the Illustrative Scheme, variation from this geometry should be allowed.

However, the alignment of the facades of the Residential Zone should be coordinated with the adjoining streetscape and should follow a related geometry. This is illustrated in diagram 2.5.3, and should emphasise the relationship between the buildings and provide a clear boundary to the residential site.

2.5.3.2 PODIUM CAR PARKING

The development zone may also include *Podium Car Parking* where the car parking is provided beneath a solid deck that provides shared or private residential amenity spaces above. 'Podium' Car parking areas may be integrated within Residential Building Zones 1 & 3, as indicated on Parameter Plan PL-06, and illustrated in diagram 2.5.4.

The Podium Car Parking may be provided as one or more separate areas, but access points should be minimised to ensure an attractive, safe and pedestrian friendly streetscape. Podium Car Parking may be at surface level or partially below grade, and must be contained within the maximum building envelope as indicated in Parameter Plans PL-05, PL-14 and PL-15. Detailed guidance on Podium Car Parking is provided in section 3.6.

2.5.3.3 RESIDENTIAL BUILDING ZONE 1

The minimum setbacks required for the Residential Building Zone 1 are indicated in Parameter Plan PL-04. The minimum setback to the east of the zone is measured from the street-side face of the existing boundary wall in order to preserve the existing mature trees and existing street character along Egerton Road. A setback is provided between Building Zones 1 and 2, in order to comply with the requirements set out in the *LBRuT Small & Medium Housing Sites SPG*. A reduced setback is indicated between Residential Building Zones 1 and 3 to allow flexibility in planning of these zones, as facing windows may not be required in these facades.

The permitted extents, including maximum and minimum heights, of Residential Building Zone 1 are indicated on Parameter Plan PL-14. The permitted height facing Egerton Road is to accommodate a maximum of 3 storeys of residential development, in keeping with the existing College buildings in this location. The building height should step-up to a maximum of 4 and 5 storeys to the west and north to mediate between the greater height of the existing and proposed adjoining development in these directions with lower development to the south and east. A podium car parking area may be incorporated into this zone as described in section 2.5.3.2.

Residential Building Zone 1 is illustrated in diagram 2.5.5.

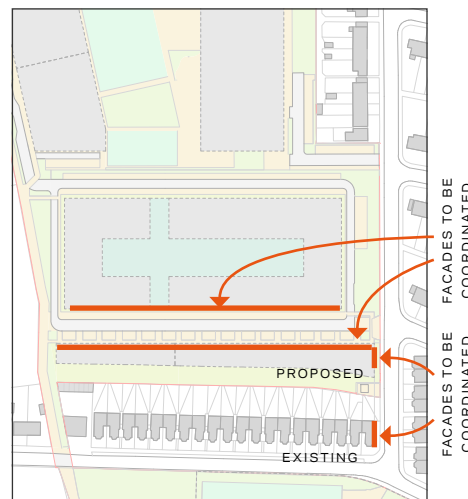


DIAGRAM 2.5.3
BUILDING ALIGNMENT

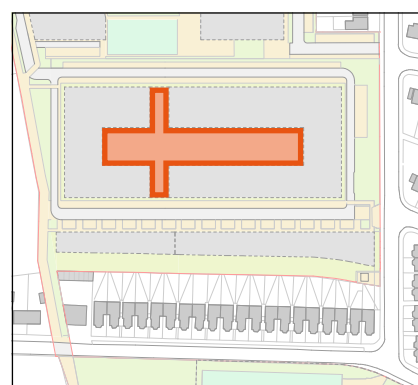


DIAGRAM 2.5.4
PODIUM CAR PARKING

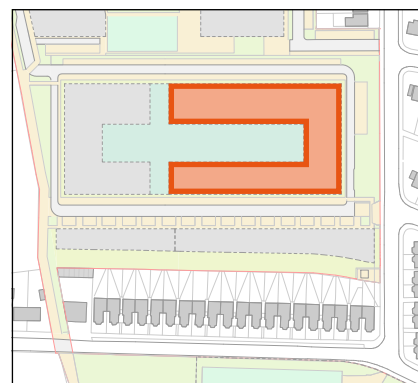


DIAGRAM 2.5.5
BUILDING ZONE 1

2.5.3.4 RESIDENTIAL BUILDING ZONE 2

The minimum setbacks required for the Residential Building Zone 2 are indicated in Parameter Plan PL-04. The minimum setback to the east of the zone is measured from the street-side face of the existing boundary wall and the new buildings should be no closer to the boundary than a line drawn parallel to Egerton Road from the row of existing semi-detached houses along Craneford Way in order to integrate the development with the existing urban grain. The minimum setback from the south is measured from the existing boundary wall, and is sized to ensure adequate private gardens can be provided to these dwellings in accordance with the standards set out in the *LBRuT Development Management Plan*. A setback is provided between Building Zones 1 and 2, in order to comply with the requirements set out in the *LBRuT Small & Medium Housing Sites SPG*.

The permitted extents, including maximum and minimum heights, of Residential Building Zone 2 are indicated on Parameter Plan PL-14. The permitted height of 2.5 storeys is to accommodate a maximum of 2 storeys of residential development, with an additional part-storey (or “loft”) above eaves level, in keeping with the existing residential buildings near this location. The building height is constrained to relate to the scale of the existing development to the south and east. The buildings in Residential Building Zone 2 & 4 should be similar in scale and design to each other to maintain a coherent urban fabric.

Residential Building Zone 2 is illustrated in diagram 2.5.6.

2.5.3.5 RESIDENTIAL BUILDING ZONE 3

The minimum setbacks required for the Residential Building Zone 3 are indicated in Parameter Plan PL-04. The minimum setback to the west of the zone measured from the development zone boundary is set to accommodate an access route and open space between the building and Marsh Farm Lane. A setback is provided between Building Zones 3 and 4, in order to comply with the requirements set out in the *LBRuT Small & Medium Housing Sites SPG*. A reduced setback is indicated between Residential Building Zones 1 and 3 to allow flexibility in planning of these zones, as facing windows may not be required in these facades.

The permitted extents, including maximum and minimum heights, of Residential Building Zone 3 are indicated on Parameter Plan PL-14. The permitted height is to accommodate a maximum of 5 storeys of residential development, stepping-up to the west and north to mediate between the greater height of the existing and proposed adjoining development in these directions with lower development to the south and east. A podium car parking area may be incorporated into this zone as described in section 2.5.3.2.

Residential Building Zone 3 is illustrated in diagram 2.5.7.

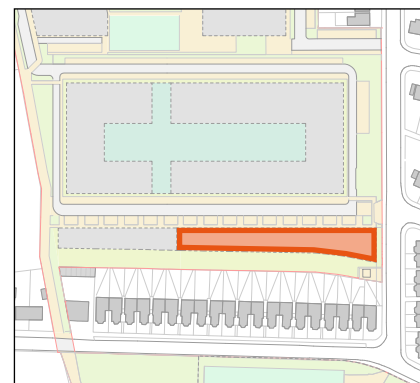


DIAGRAM 2.5.6
BUILDING ZONE 2

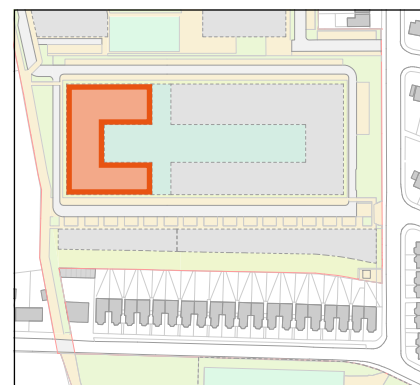


DIAGRAM 2.5.7
BUILDING ZONE 3

2.5.3.6 RESIDENTIAL BUILDING ZONE 4

The minimum setbacks required for the Residential Building Zone 4 are indicated in Parameter Plan PL-04. The minimum setback to the west of the zone is measured from the edge of the Residential Development Zone and the new buildings should be no closer to the existing wall bounding Marsh Farm Lane to the east than the existing garages accessed off of Craneford Way in this area to avoid overconstraining this approach. The minimum setback from the south is measured from the existing boundary wall, and is sized to ensure adequate private gardens can be provided to these dwellings in accordance with the standards set out in the *LBRuT Development Management Plan*. A setback is provided between Building Zones 3 and 4, in order to comply with the requirements set out in the *LBRuT Small & Medium Housing Sites SPG*.

The permitted extents, including maximum and minimum heights, of Residential Building Zone 4 are indicated on Parameter Plan PL-15. The permitted height of 2.5 storeys is to accommodate a maximum of 2 storeys of residential development, with an additional part-storey (or “loft”) above eaves level, in keeping with the existing residential buildings near this location. The building height is constrained to relate to the scale of the existing development to the south and east. The buildings in Residential Building Zone 2 & 4 should be similar in scale and design to each other to maintain a coherent urban fabric.

Residential Building Zone 4 is illustrated in diagram 2.5.8.

2.5.4 EXTERNAL AREAS

The Residential Development Zone should incorporate a number of Private Gardens as well as area(s) of Shared Amenity Space, including area(s) providing play space for children and young people. This provision should take into account the existing open spaces in the area, as well as the spaces being provided in the other Development Zones.

2.5.4.1 OPEN SPACES & HABITAT AREAS

The Residential Development Zone should also incorporate an Open Space protecting the existing mature trees and habitat along Egerton Road, as illustrated in diagram 2.5.9. Design Guidance on this space is provided in section 4.8 and 4.9.

2.5.4.2 SHARED AMENITY SPACES

Residential Building Zone 1 and 3 should incorporate meaningful and appropriate Shared Amenity Space(s), as illustrated in diagram 2.5.10. The Reserved Matters Application(s) should demonstrate that suitable management arrangements are in place to ensure that the space(s) will be appropriately managed and maintained. Design Guidance on Shared Amenity Spaces is provided in section 4.6.

2.5.4.3 PRIVATE AMENITY SPACES

All Dwellings should be provided with Private Amenity Space in accordance with the *Mayor of London's Housing Design Standards* and the *LBRuT DMP*.

Ground floor units should be provided with Private Gardens wherever possible. Where the residential site abuts existing Private Gardens, the adjoining space should preferably be used for Private Gardens. Insofar as is practical, Private Gardens should not adjoin unsecured parts of the Public Realm. Where private dwellings front onto the Public Realm, these should be designed with private

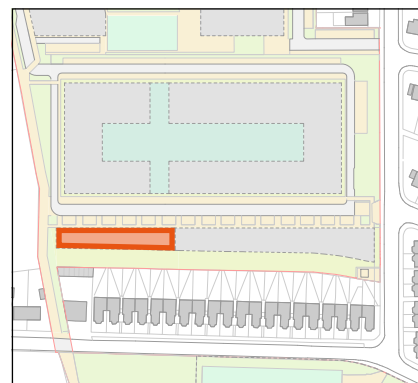


DIAGRAM 2.5.8
BUILDING ZONE 4



DIAGRAM 2.5.9
OPEN SPACES & HABITAT AREAS

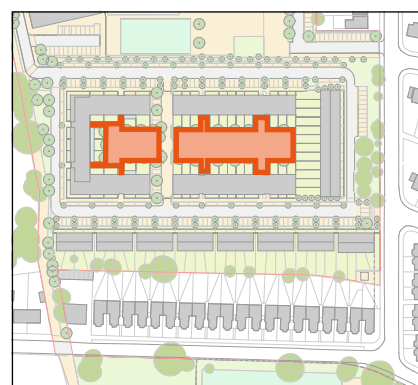


DIAGRAM 2.5.10
SHARED AMENITY AREAS

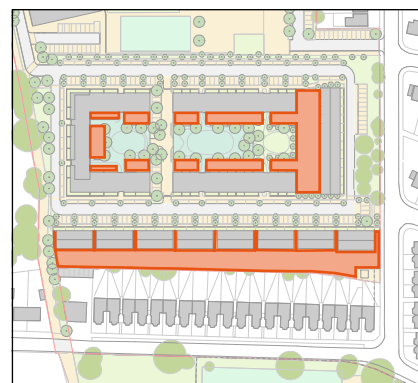


DIAGRAM 2.5.11
PRIVATE AMENITY AREAS

Defensible Spaces. Upper level units should be provided with private amenity spaces as balconies (whether recessed or not) or as setbacks in the building form.

Locations which should be provided with Private Gardens are illustrated in diagram 2.5.11. Design Guidance on Private Amenity Spaces is provided in section 4.7. Detailed Guidance on balconies is provided in section 5.7.

2.5.4.4 ACTIVE FRONTAGES & SECURE BOUNDARIES

Ground floor facades that face onto the Public Realm should, with limited exceptions, be designed as Active Frontages wherever there are non-private uses. In particular, common entrances to the buildings and communal spaces should be located along these facades and should be designed to engage with the Public Realm. Wherever practical, ground floor units should be provided with private external entrances and defensible spaces.

Where active frontages cannot be provided, boundaries should be clear, continuous, overlooked and secure.

Locations which should be provided with Active Frontages & Secure boundaries are illustrated in diagram 2.5.12. Design Guidance on Entrances, Active Frontages & Defensible Spaces is provided in section 5.

2.5.5 ZONE-SPECIFIC GUIDANCE

2.5.5.1 DESIGN QUALITY

The Residential Site should be designed and built in accordance with best practice design principles, including design quality, unit sizes and provision of accessible & adaptable and wheelchair user dwellings. Refer to guidance in section 5.12.

2.5.5.2 OVERLOOKING

Dwellings should be designed to minimise overlooking of adjacent dwellings. Windows in habitable rooms facing each other should have a minimum horizontal separation of 20m. Where windows are obscured, are at high level only, or are only from ancillary spaces this dimension may be reduced.

Overlooking of habitable rooms in neighbouring buildings should be kept to a minimum and the privacy for the individual unit respected. In particular, the Reserved Matters Application(s) should demonstrate an adequate level of privacy between bedrooms and neighbouring properties, streets and public spaces.

2.5.5.3 VIEWS

Views from habitable rooms and external amenity areas should be maximised. All dwellings with 2 or more bedrooms should have at least 2 aspects.

2.5.5.4 DAYLIGHT & OVERSHADOWING

The massing of residential buildings should ensure good light penetration to all dwellings and should minimise overshadowing of external amenity areas. Further design guidance on Daylight & Overshadowing is provided in section 5.12.

2.5.5.5 NOISE

Dwellings should be laid out to minimise the transmission of noises to sound sensitive rooms within neighbouring dwellings, and in particular to bedrooms, by ensuring that the sound insulation exceeds the requirements of Building Regulations Part E by at least 3dB. Measures should also be undertaken to limit noise levels due to external sources in accordance with BS8233:2004.

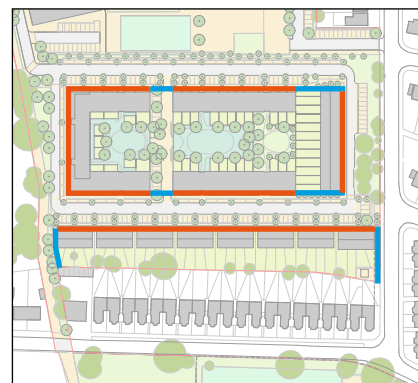


DIAGRAM 2.5.12
ACTIVE FRONTAGES & SECURE
BOUNDARIES

