

## 2.6 COLLEGE PLAYING FIELDS DEVELOPMENT ZONE

The College Playing Fields Development Zone incorporates a number of key features, including parameters specific to this zone.

### 2.6.1 OVERVIEW

The College Playing Field Development Zone occupies the entirety of the Redevelopment Site to the south of Craneford Way. The zone is designated as Metropolitan Open Land (MOL), and any redevelopment of the site should be compatible with this designation. The College Playing Fields Development Zone is illustrated in diagram 2.6.1.

#### 2.6.1.1 MARSH FARM LANE

The College Playing Field Development Zone includes the existing and improved areas of Marsh Farm Lane (south of Craneford Way) and its associated landscaping, as illustrated in diagram 2.6.2. Design Guidance on this area is provided in section 3.3.

#### 2.6.1.2 VEHICULAR ACCESS

There should only be vehicular access onto the College Playing Fields site for construction, maintenance, service and emergency purposes. There should be no car parking in the College Playing Field Development Zone.

#### 2.6.1.3 ENVIRONMENT AGENCY SETBACK

A minimum 8m setback to the River Crane should be provided, in accordance with Environment Agency requirements and standards.

#### 2.6.1.4 FUTURE RIVER CRANE PATH

The redevelopment of the College Playing Fields should allow room for a footpath along the River Crane to be provided in the future at the southern end of the Playing Field Site, as described in the RuTC Planning Brief SPG.

#### 2.6.1.5 SPORTS PITCHES & OUTDOOR SPACE

The College Playing Field Development Zone should incorporate two formal sports pitches as well as areas of open space, including open areas for informal sport, areas with public use and access, landscape areas, and habitat area, as illustrated in diagram 2.6.2.

The areas of open space to the south and east of the Sports Pitches should prioritise the provision of additional scrub habitats and native species-rich hedgerows around the periphery for breeding birds and hedgehogs and unmanaged grassland areas to enhance the potential for habitat for invertebrates and improve the existing foraging resource for bats. An informal path through this area with access off of Marsh Farm Lane and Craneford Way should be included as part of the detailed proposals.

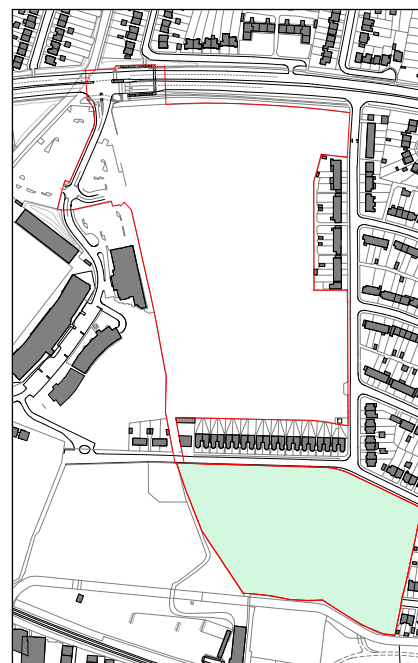


DIAGRAM 2.6.1  
COLLEGE PLAYING FIELDS  
DEVELOPMENT ZONE



DIAGRAM 2.6.2  
OPEN SPACE WITH PUBLIC ACCESS  
AROUND SPORTS PITCHES

The area to the west of the Sports Pitch Zone should be flexible in use, to provide for additional sporting and non-sporting activities. Refer to section 4.8 for detailed guidance on landscape areas.

#### 2.6.1.6 EXISTING TREES & HABITAT AREAS

Existing trees and habitat areas to the perimeter of the College Playing Fields Development Zone should be retained unless these are unhealthy or unsafe. Refer to section 4.9 for detailed guidance on trees and habitat areas.

### 2.6.2 SPORTS PITCH ZONE

The College Playing Field Development Zone incorporates one Sports Pitch Zone. This is illustrated in Parameter Plan PL-16 and diagram 2.6.3.

#### 2.6.2.1 SPORTS PITCH ZONE SETBACKS

The setbacks required for the Sports Pitch Zone is indicated in Parameter Plan PL-04, and reflect the minimum distance to any enclosure around the sports pitches. The minimum setback to the west of the site is measured from the existing boundary wall, while to the south the setback is to the top of the existing flood defence wall along the River Crane. The setback to the east is measured to the site boundary.

#### 2.6.2.2 PITCH ENCLOSURE

Fences should be provided around the formal sports pitches. Refer to diagram 2.6.3. Internal fencing within the Sports Pitch Zone may also be provided around or between sports pitches.

Fences should be of a high quality and should be resistant to vandalism and should not be climbable. The fences should be designed to protect the character and openness of the College Playing Field Development Zone, and to maintain the ability to see across the site in order to preserve safety and visual amenity. Fence design should also accommodate the formal demands of the sports that the pitches are designed for.

Access points to the enclosure should be provided for safe use and escape from the playing fields. These should be designed in keeping with the overall enclosure, and where they are from an all-weather surface should be provided with exit across hardstanding areas that are connected to the surrounding path network to ensure accessibility and safe exit.

#### 2.6.2.3 PITCH ALIGNMENT & ORIENTATION

The pitches should be oriented with their long axis on a northwest-southeast direction to optimise their use from late morning to early evening. Refer to diagram 2.6.4.

The illustrative scheme aligns the pitches with the site boundary along Craneford Way which corresponds very closely with the optimum pitch orientation.

#### 2.6.2.4 PITCH STANDARDS

At least one of the redeveloped pitches should be all-weather, and all pitches should be designed to be porous and of a high standard in accordance with current best-practice. The pitches should be designed to maintain the character and openness of the College Playing Field Development Zone. Pitches should be designed in accordance with Sport England standards, except where this would

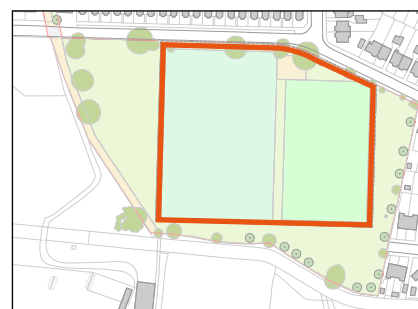


DIAGRAM 2.6.3  
SPORTS PITCH ZONE

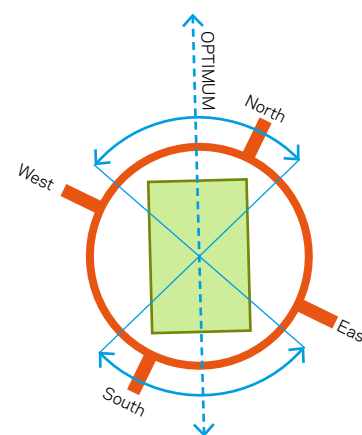


DIAGRAM 2.6.4  
PITCH ORIENTATION

not accord with the available site area or MOL designation. Retractable ball-catch nets should be provided behind goals.

#### 2.6.2.5 LIGHTING

No floodlighting to the Pitches on the College Playing Field Development Zone should be provided.

#### 2.6.2.6 HARD LANDSCAPING

Areas of hard landscaping should be provided within the College Playing Field Development Zone to accommodate arrivals, gathering, briefing and teaching of those using the pitches. Large areas of hardstanding should be avoided, and if unavoidable these should be designed to be porous. All access and exit routes to all-weather surfaces should be via hardstanding areas to ensure accessibility and safe exit.

#### 2.6.2.7 MINOR STRUCTURES

Goals and similar structures should be permitted within the Sports Pitch Zone.

No changing rooms or other permanent structures should be proposed as part of the redevelopment, unless required for essential utility infrastructure.

