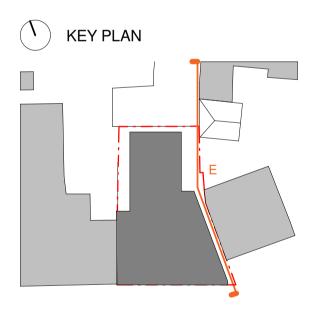


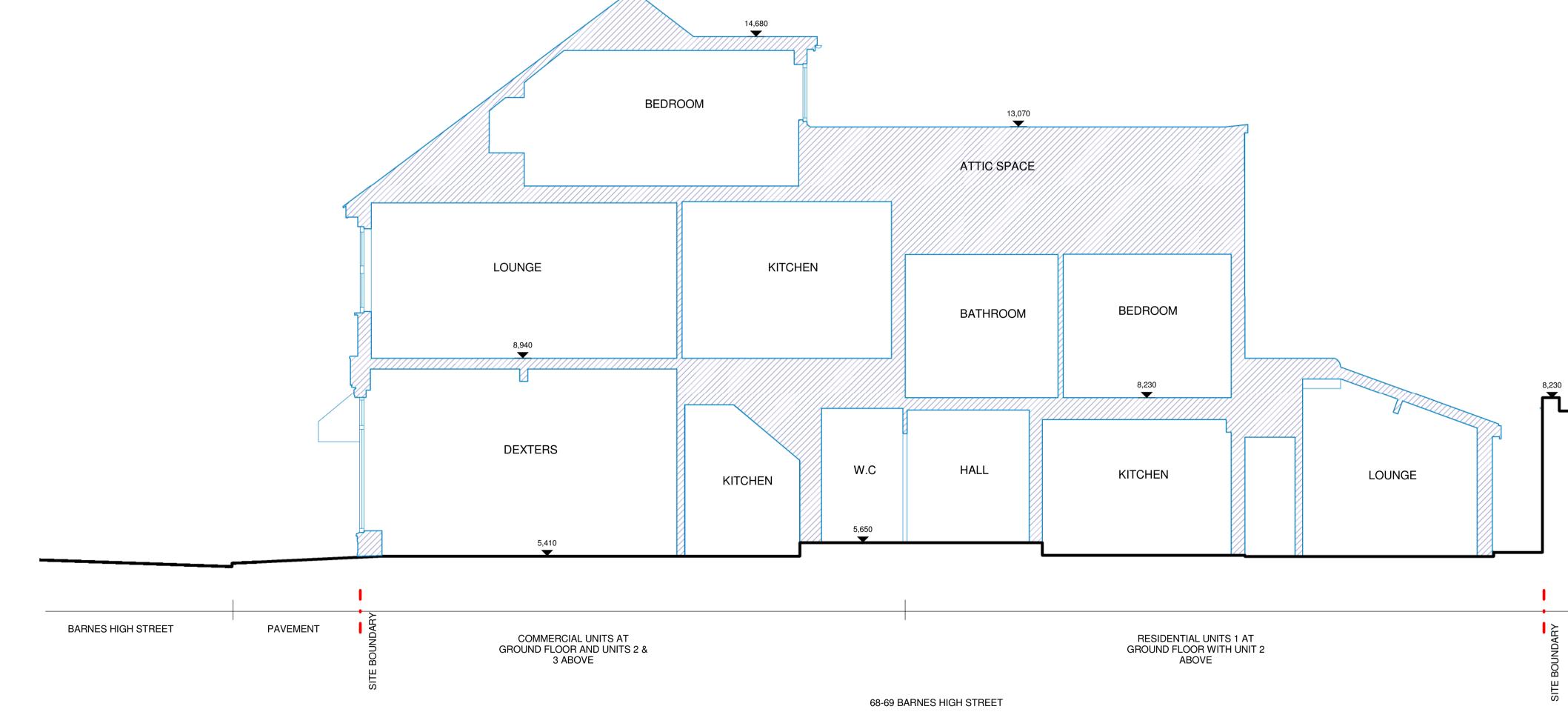
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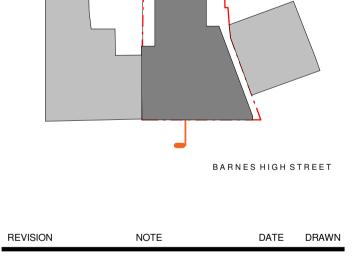
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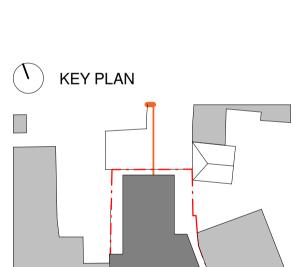
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	architecture initiative 4 John Prince's Street, London, W1G OJL architectureinitiative.com 0 ARCHITECTURE INITIATIVE LTD.				
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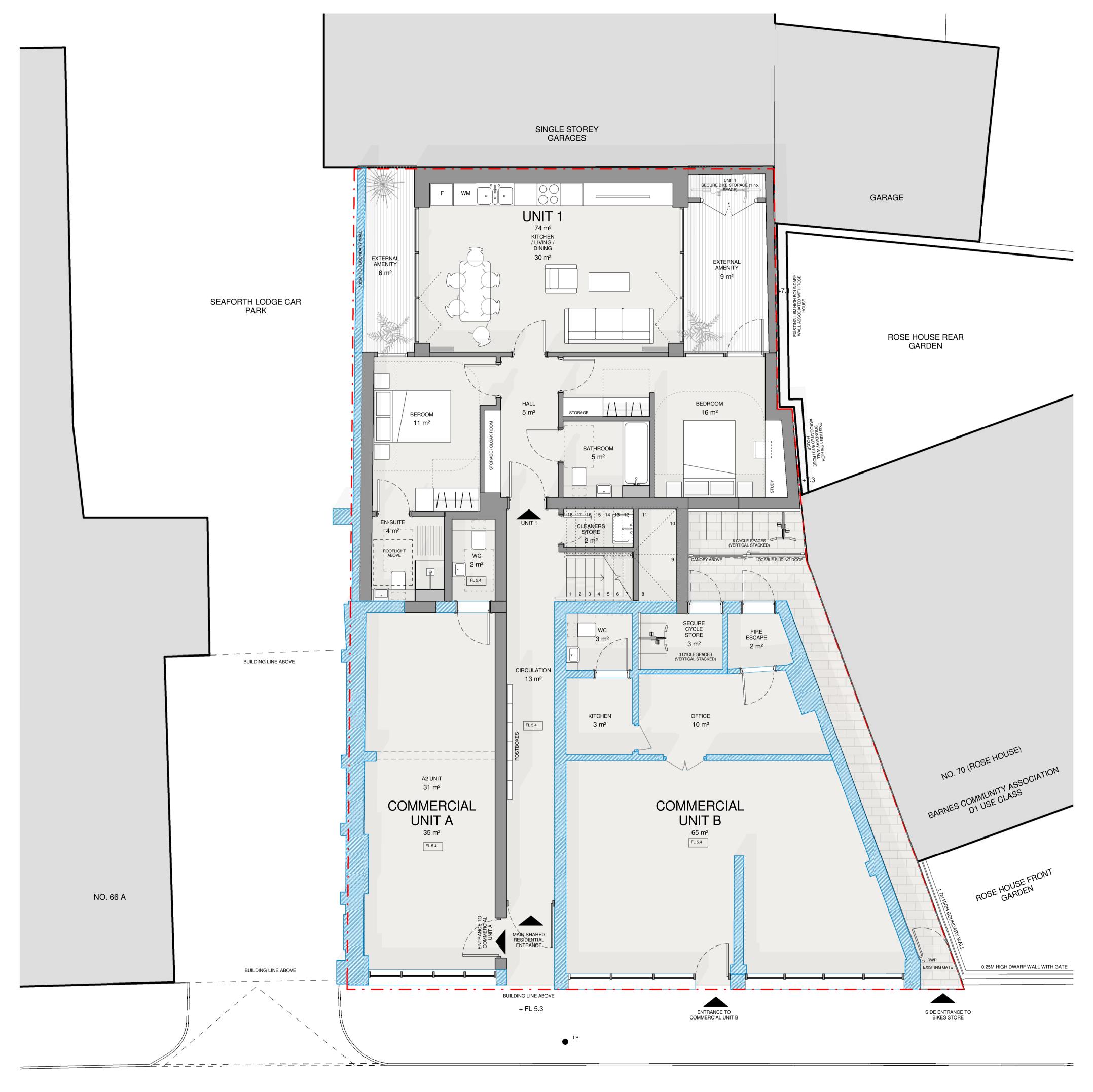


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+ \$	5.00	SPOT I	HEIGHTS			
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C	SVP	SOIL V	ENT PIPE	Ē		
	LP	Lamp f	POST			
		EXISTI	NG STRL	JCTURE		

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APPENDIX 6

PROPOSED BUILDING LAYOUTS AND LEVELS

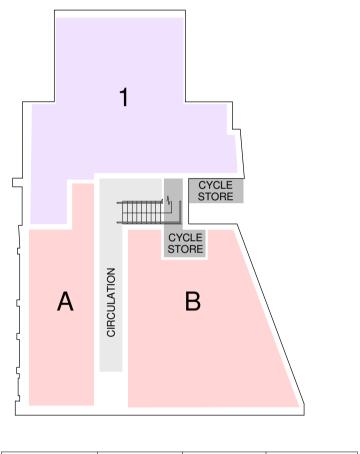


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<u> </u>	APPLICATION BOUNDARY
	ENTRANCE / ACCESS ROUTE
FFL 5.00	FINISH FLOOR LEVEL
+ 5.00	SPOT HEIGHTS
	HOPPER
LP ●	LAMP POST
F	FRIDGE FREEZER
WM	WASHING MACHINE
DW	DISH WASHER
	EXISTING STRUCTURE
	PROPOSED STRUCTURE

KEY PLAN



Unit Type	Name	Area	Unit Size
Residential	UNIT 1	75 m ²	2B4P
Unit Type	Name	Area	Unit size
Unit Type	Name	Area	Unit size
Unit Type	A Name	Area 65 m ²	Unit size

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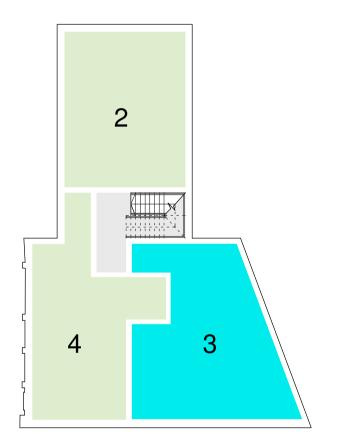


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+ 5.00	SPOT HEIGHTS		
	HOPPER		
LP ●	LAMP POST		
F	FRIDGE FREEZE	R	
WM	WASHING MACH	IINE	
DW	DISH WASHER		
	EXISTING STRU	CTURE	
	PROPOSED STR	UCTURE	

KEY PLAN



Unit Type	Name	Area	Unit Size
LEVEL 0			
Residential	UNIT 1	75 m ²	2B4P
Level 1			
Residential	UNIT 2	52 m ²	1B2P
Residential	UNIT 3	62 m ²	2B3P
Residential	UNIT 4	51 m ²	1B2P
Level 2			
Residential	UNIT 5	42 m ²	Studio
Residential	UNIT 6	39 m²	Studio
Residential	UNIT 7	39 m²	Studio

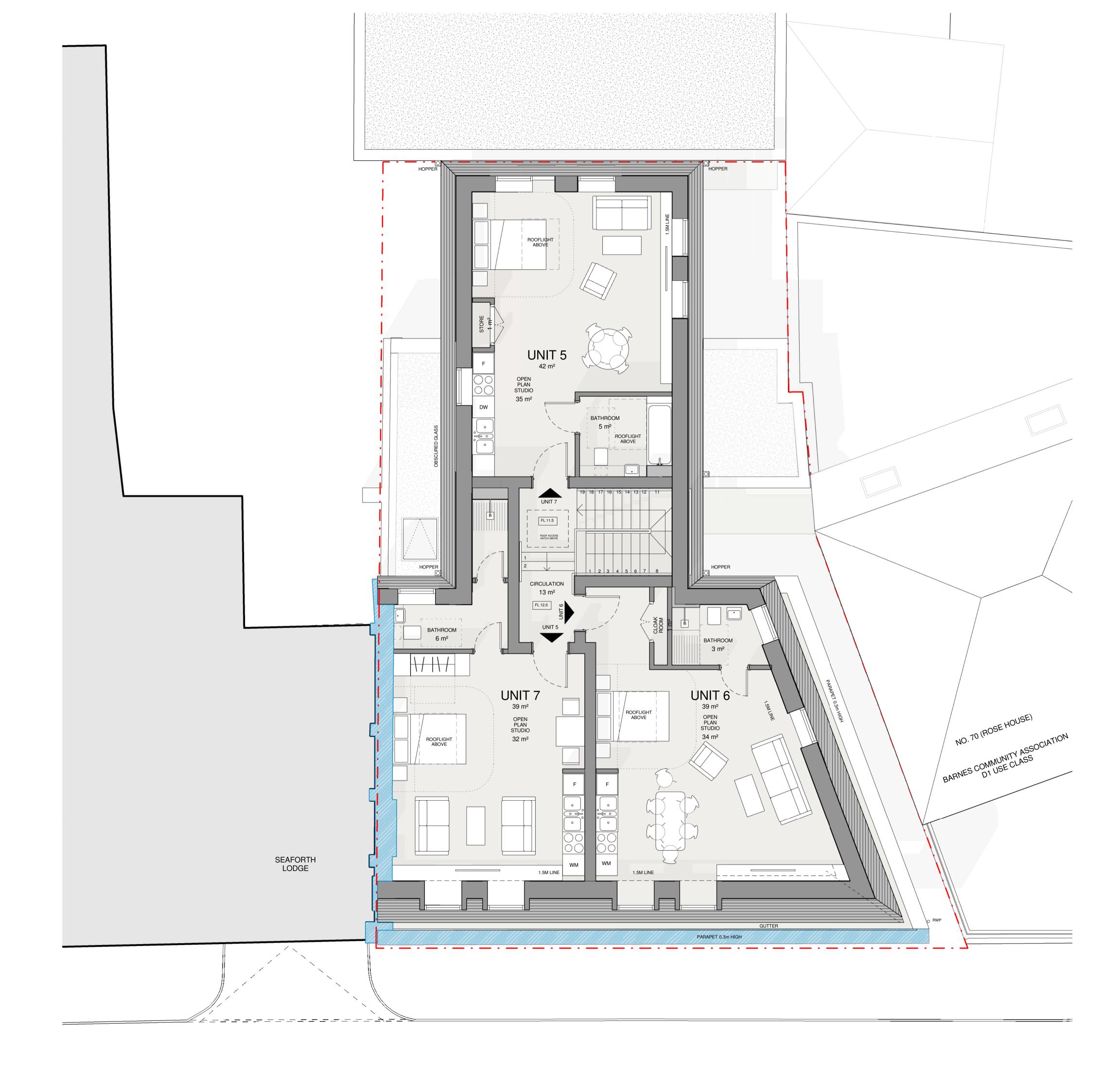




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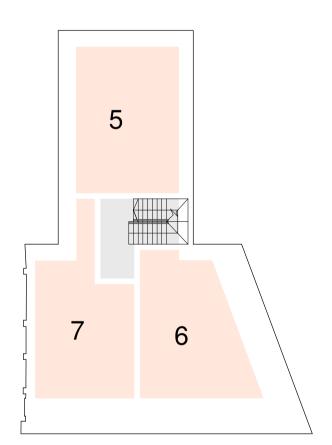
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\bigcirc	HOPPER
LP ●	LAMP POST
F	FRIDGE FREEZER
WM	WASHING MACHINE
DW	DISH WASHER
	EXISTING STRUCTURE
	PROPOSED STRUCTURE

KEY PLAN



Unit Type	Name	Area	Unit Size
LEVEL 0			
Residential	UNIT 1	75 m²	2B4P
Level 1			
Residential	UNIT 2	52 m ²	1B2P
Residential	UNIT 3	62 m ²	2B3P
Residential	UNIT 4	51 m²	1B2P
Level 2			
Residential	UNIT 5	42 m ²	Studio
Residential	UNIT 6	39 m²	Studio
Residential	UNIT 7	39 m²	Studio

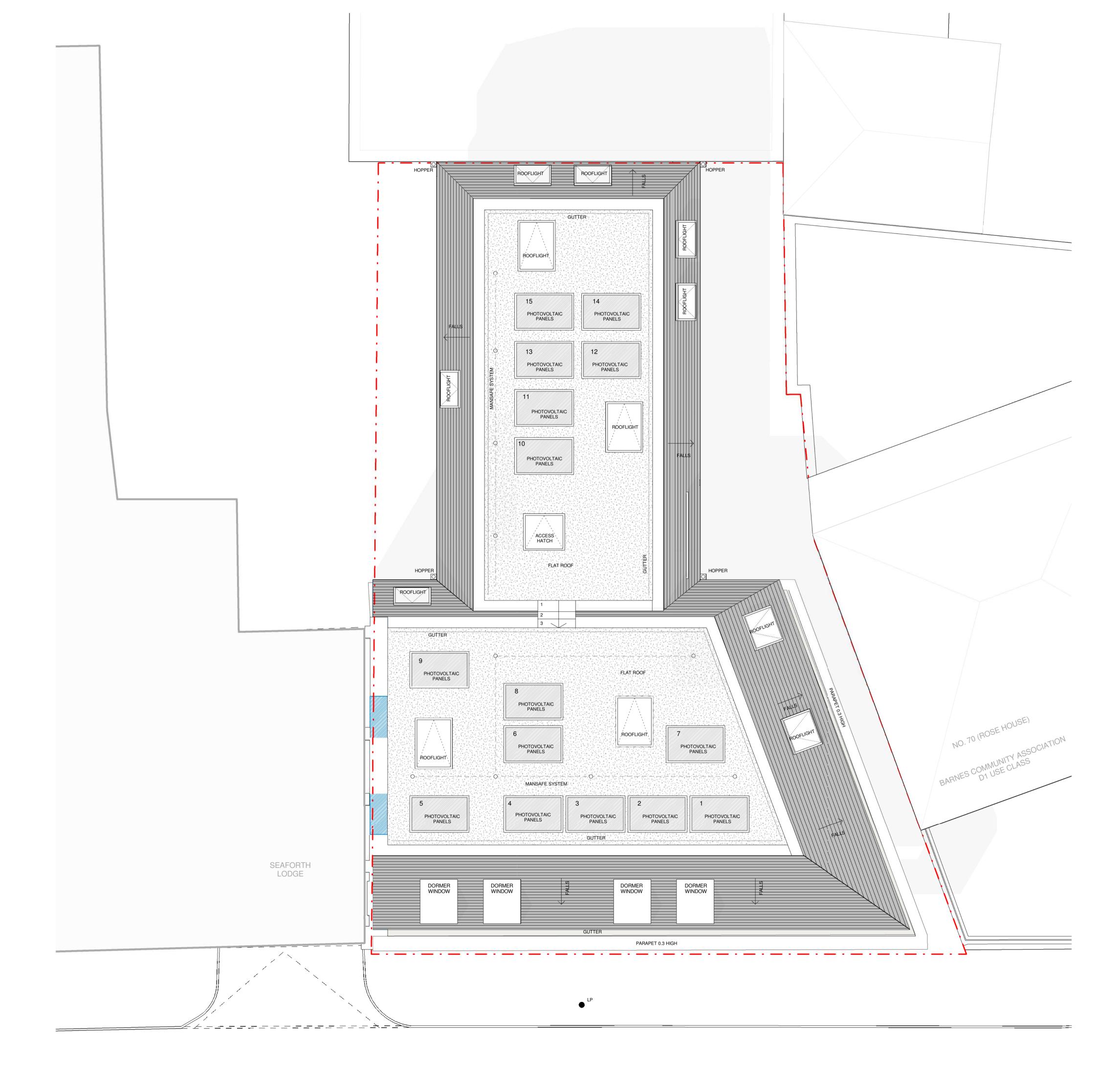


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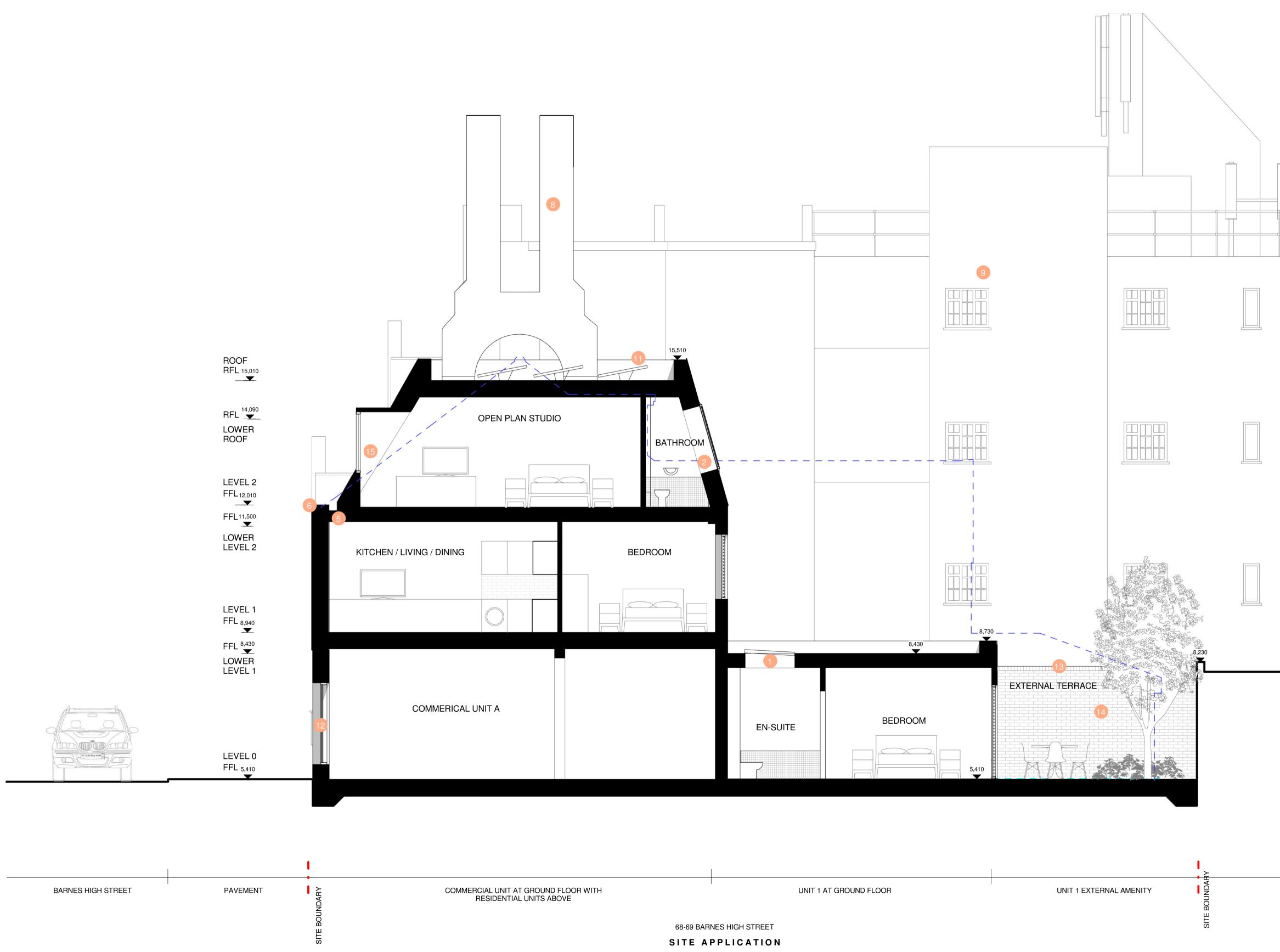
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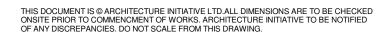
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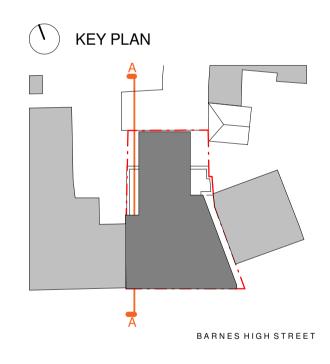
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1	NEW ALUMINUM ROOFLIGHTS	
2	NEW ALUMINUM DOUBLE GLAZED	WINDOWS
3	RENDERED FINISH (COLOUR TBC)	
4	NEW SLATE TILED ROOF TO MATC	H EXISTING
5	CONCEALED GUTTER BEHIND PAR	APET
6	PARAPET HEIGHT TO MATCH NEIG PROPERTIES	HBOURING
7	ACCESS GATE TO SHARED BIN AN FROM BARNES HIGH STREET	D BIKE STORE
8	EXISTING TRADITIONAL BRICK CHI TO BE RETAINED	MNEY STACK
9	6 STOREY NEIGHBOURING PROPE SEAFORTH LODGE	RTY -
10	SINGLE STOREY GARAGE TO THE SITE	REAR OF THE
11	PHOTOVOLTAIC PANELS	
12	GLAZED WINDOWS TO GROUND FI COMMERCIAL UNITS	LOOR
13	SOLDIER COURSE BRICK DETAIL	
14	NEW BOUNDARY WALL	
15	NEW DORMER WINDOW	

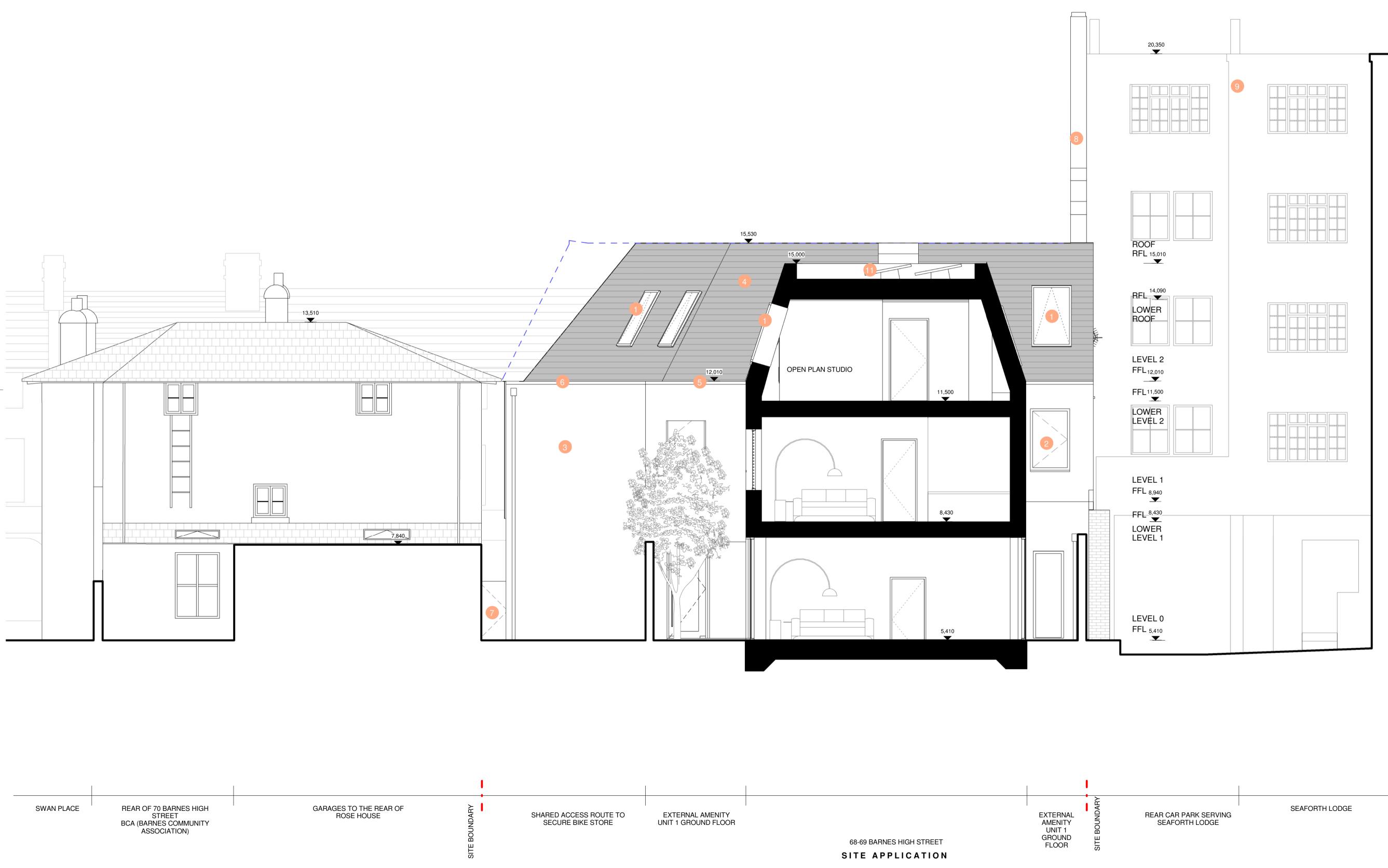


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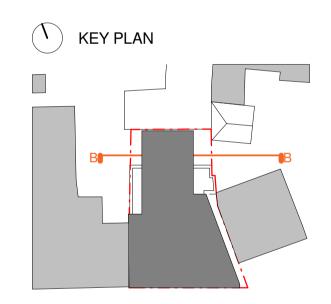
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3	RENDE	RED FIN	IISH (COI	_OUR T	BC)	
4	NEW SI	_ATE TIL	ED ROO	F TO M	АТСН ЕХ	ISTING
5	CONCEALED GUTTER BEHIND PARAPET					
6	PARAP PROPE		НТ ТО М	ATCH N	IEIGHBC	URING
7	ACCESS GATE TO SHARED BIN AND BIKE STORE FROM BARNES HIGH STREET					
8	EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED					
9	9 6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE					
10	SINGLE SITE	STORE	Y GARAC	GE TO T	HE REA	R OF THE
11	РНОТО	VOLTAI	C PANEL	S		
12		D WINDO ERCIAL U	OWS TO (JNITS	GROUN	d floof	3
13	SOLDIE	R COUF	SE BRIC	K DETA	NL	
14	NEW BO	JUNDAF	RY WALL			
15	NEW D	ORMER	WINDOW	1		



BARNES HIGH STREET

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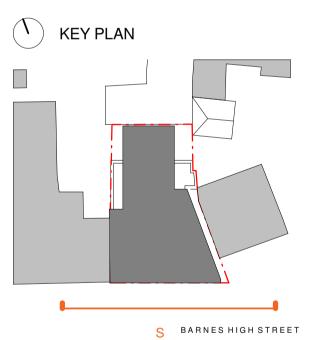


PROPOSED SOUTH ELEVATION

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8	NEW F	RESIDE	NTIAL	ENTRA	NCE TO		S 1-7	
9	DARK	RED BF	RICKW	ORK T(O SEAF	ORTH		
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13	6 STO LODG		IGHBC	URING	B PROP	ERTY -	SEAFO	RTH
14	SINGL	E STOF	REY GA	RAGE	ТО ТНЕ	E REAF	R OF THI	E SITE
15	CANO	РҮ ТО (COMME	ERCIAL	. UNITS	AT GF	IOUND F	LOOR
16	NEW E	BOUND	ARY W	ALL				
17	META		IG TO I	PARAP	ET WA	LL		
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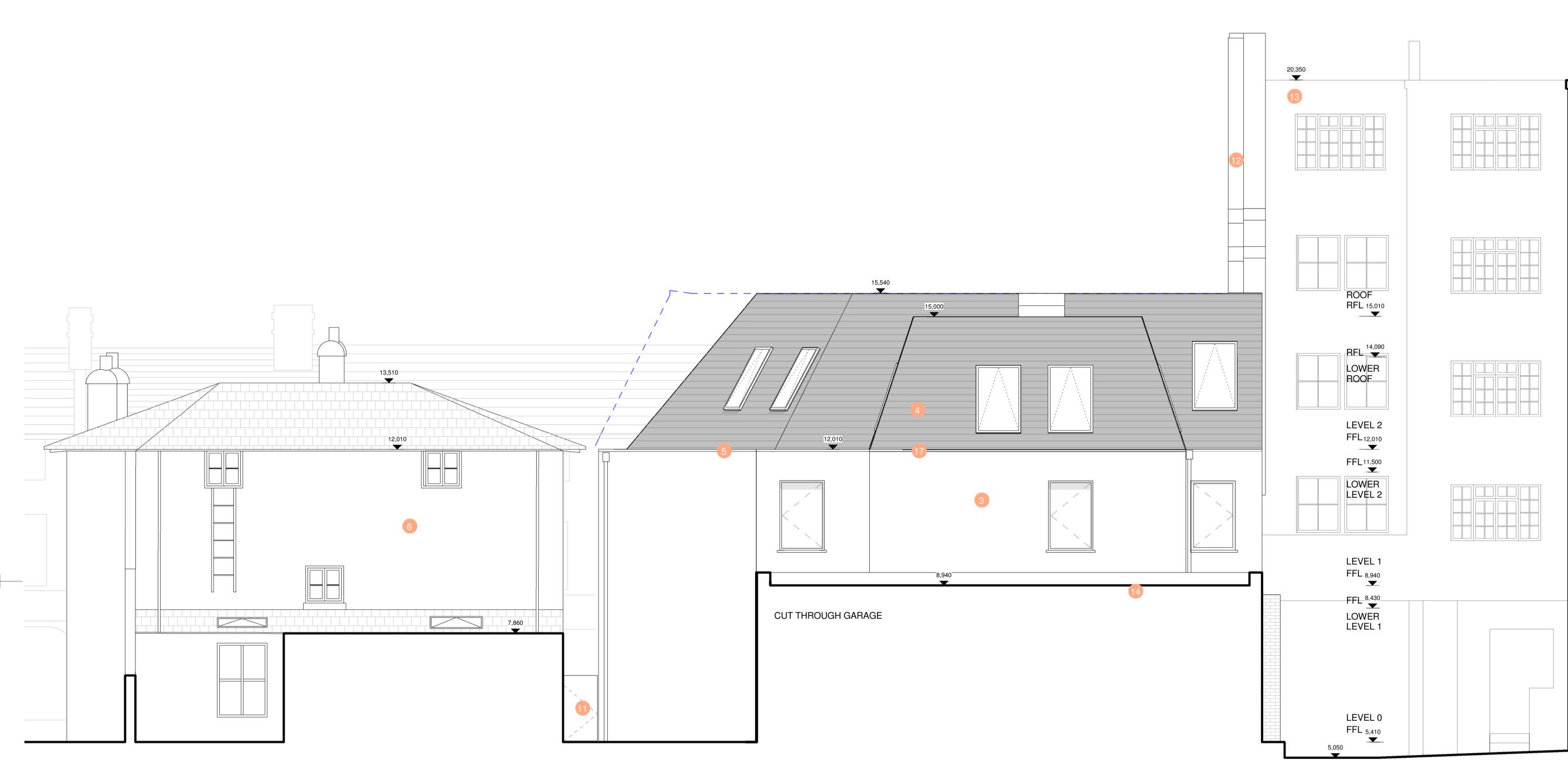


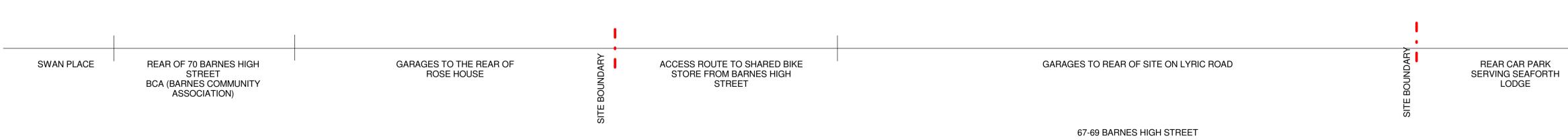


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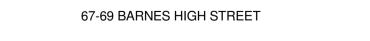


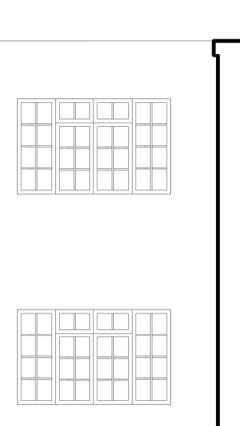


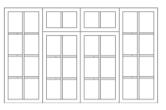
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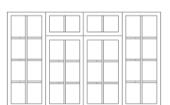
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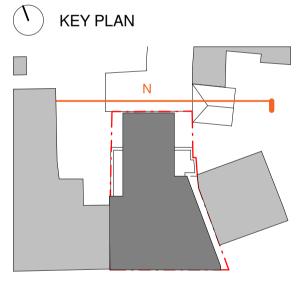




SEAFORTH LODGE

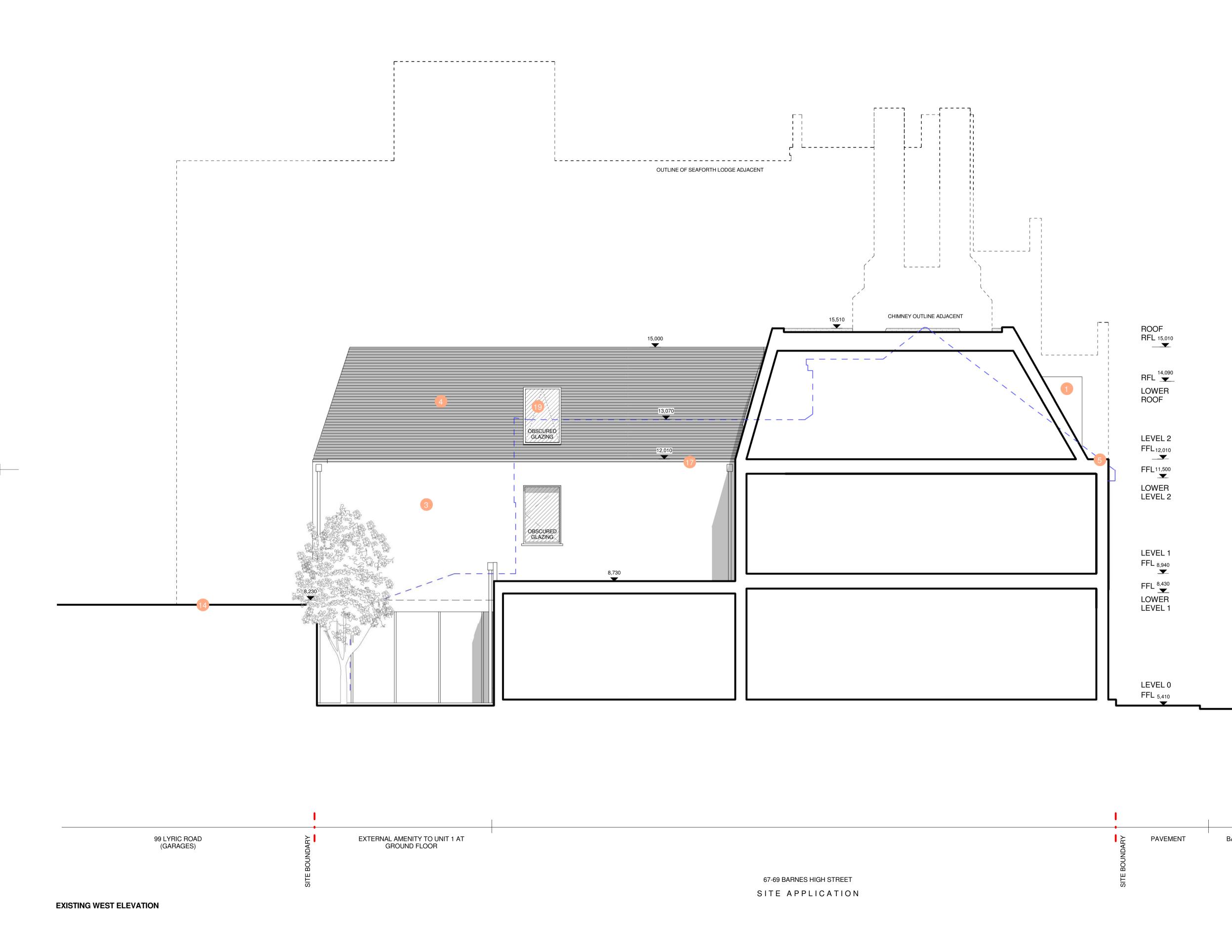
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• • •	APPLICATION BOUNDARY	
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	ROSE HOUSE OUTLINE	
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1	NEW ALUMINUM DORMER WINDOWS TO SECOND FLOOR RESIDENTIAL UNITS	
2	NEW ALUMINUM WINDOWS	
3	RENDERED FINISH (COLOUR TBC)	
4	SLATE TILED ROOF TO MATCH EXISTING	
5	PARAPET HEIGHT TO MATCH NEIGHBOURING PROPERTIES	
6	GRADE II LISTED ROSE COTTAGE	
7	PINK RENDERED FINISH	
8	NEW RESIDENTIAL ENTRANCE TO UNITS 1-7	
9	DARK RED BRICKWORK TO SEAFORTH	
10	EXISTING SIGNAGE TO COMMERCIAL UNITS AT GROUND FLOOR	
11	ACCESS GATE TO SHARED BIN AND BIKE STORE	
12	EXISTING TRADITIONAL BRICK CHIMNEY STACK TO RETAINED	BE
13	6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE	
14	SINGLE STOREY GARAGE TO THE REAR OF THE SIT	E
15	CANOPY TO COMMERCIAL UNITS AT GROUND FLOO	R
16	NEW BOUNDARY WALL	
17	METAL COPING TO PARAPET WALL	
18	SOLIDER COURSE BRICK DETAIL	
19	NEW ALUMINUM ROOFLIGHTS TO RESIDENTIAL UNI	ГS

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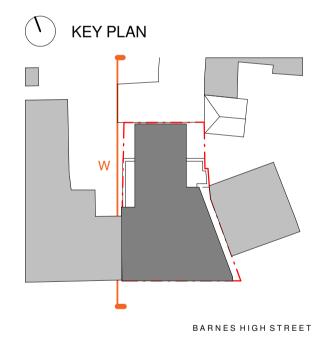
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3	RENDERE	D FINISH (COL	OUR TBC)	
4	SLATE TIL	ED ROOF TO	MATCH EXIS	ΓING
5	PARAPET PROPERT	HEIGHT TO M IES	ATCH NEIGH	BOURING
6	GRADE II	LISTED ROSE	COTTAGE	
7	PINK REN	DERED FINISH	ł	
8	NEW RES	IDENTIAL ENT	RANCE TO U	NITS 1-7
9	DARK REI	D BRICKWORK	TO SEAFOR	ТН
10	EXISTING GROUND	SIGNAGE TO FLOOR	COMMERCIA	L UNITS AT
11	ACCESS (GATE TO SHAF	RED BIN AND	BIKE STORE
12	EXISTING RETAINED		BRICK CHIM	NEY STACK TO BE
13	6 STOREY LODGE	' NEIGHBOURI	NG PROPER	TY - SEAFORTH
14	SINGLE S	TOREY GARAC	GE TO THE R	EAR OF THE SITE
15	CANOPY	TO COMMERC	IAL UNITS AT	GROUND FLOOR
16	NEW BOU	NDARY WALL		
17	METAL CO	OPING TO PAR	APET WALL	
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19	NEW ALU	MINUM ROOFL	IGHTS TO RE	ESIDENTIAL UNITS



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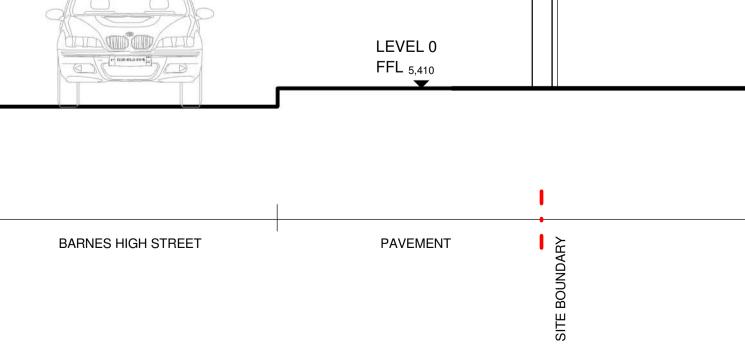
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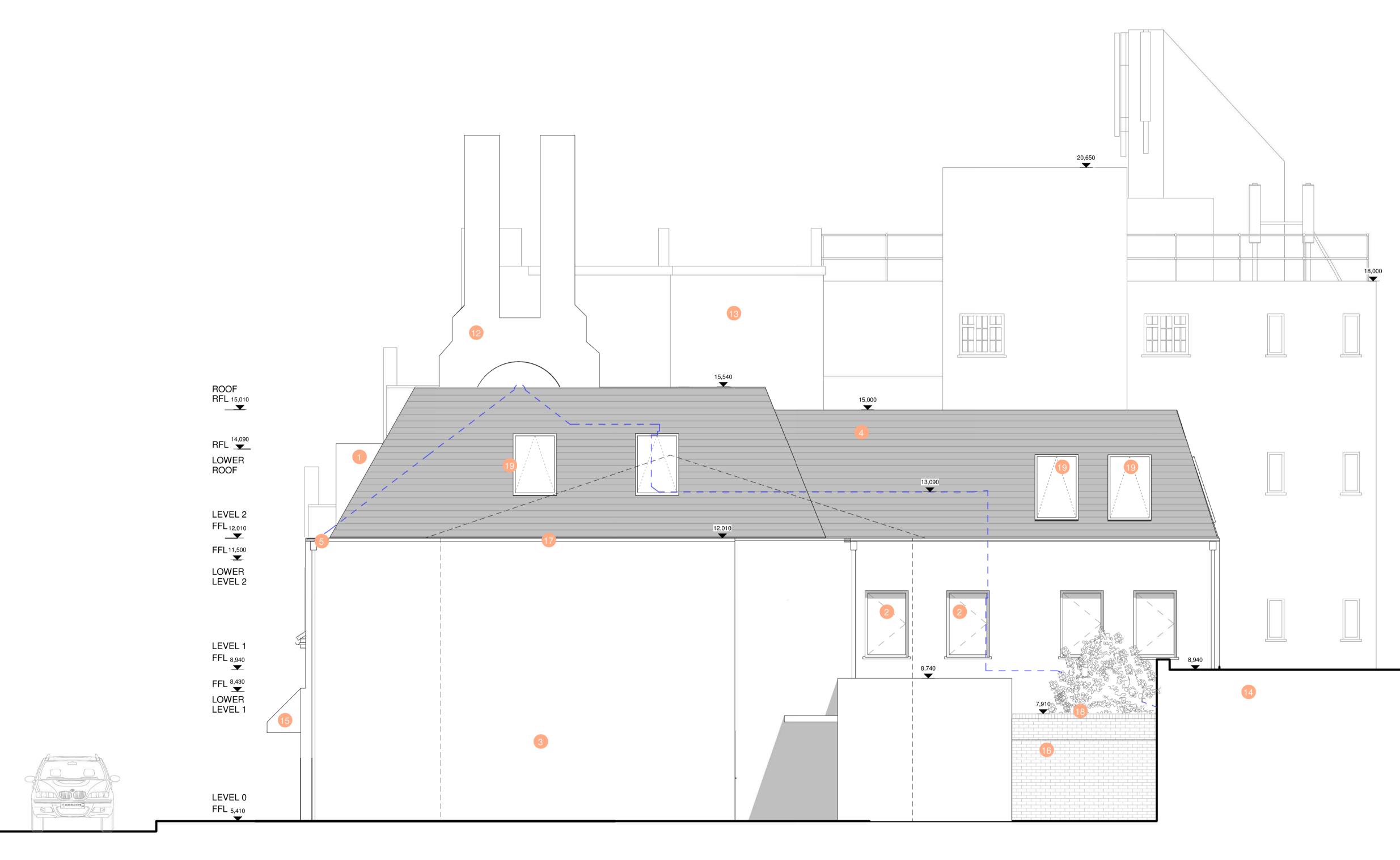
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BARNES HIGH STREET

EXISTING EAST ELEVATION



SHARED ACCESS ROUTE TO SECURE BIKE STORE

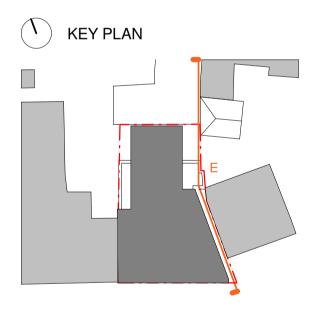


UNIT 1 EXTERNAL AMENITY BEHIND NEW BOUNDARY WALL EXTERNAL CYCLE STORE

67-69 BARNES HIGH STREET

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		ROSE HOUSE OUTLINE							
		PROPOSED SLATE TILED ROOF TO MATCH EXISTING							
1	NEW ALUMINUM DORMER WINDOWS TO SECOND FLOOR RESIDENTIAL UNITS								
2	NEW ALUMINUM WINDOWS								
3	RENDERED FINISH (COLOUR TBC)								
4	SLATE TILED ROOF TO MATCH EXISTING								
5	PARAPET HEIGHT TO MATCH NEIGHBOURING PROPERTIES								
6	GRADE II LISTED ROSE COTTAGE								
7	PINK RENDERED FINISH								
8	NEW RESIDENTIAL ENTRANCE TO UNITS 1-7								
9	DARK RED BRICKWORK TO SEAFORTH								
10	EXISTING SIGNAGE TO COMMERCIAL UNITS AT GROUND FLOOR								
11	ACCESS GATE TO SHARED BIN AND BIKE STORE								
12	EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED								
13	6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE								
14	SINGLE STOREY GARAGE TO THE REAR OF THE SITE								
15	CANOPY TO COMMERCIAL UNITS AT GROUND FLOOR								
16	NEW BOUNDARY WALL								
17	METAL COPING TO PARAPET WALL								
18	SOLIDER COURSE BRICK DETAIL								
19	NEW ALUMINUM ROOFLIGHTS TO RESIDENTIAL UNITS								



BARNES HIGH STREET

REVISION	NOTE		DATE DRAWN			
	arch initia 4 John Prince's Str architecture initia © ARCHITECTURE INIT	reet, London, W1 tive.com		9		
PROJECT	67-69 BARNES HIGH STREET					
DRAWING TITLE	PROPOSED EAST ELEVATION					
DATE	SETP 17	SCALE	1	:100 @A3		
DRAWN	JH	CHECK	CS			
STATUS	PLANNIN					
JOB NUMBER	AI - 2296					
DRAWING NUMBER	BRN - 303					
REV						

99 LYRIC ROAD (GARAGES)