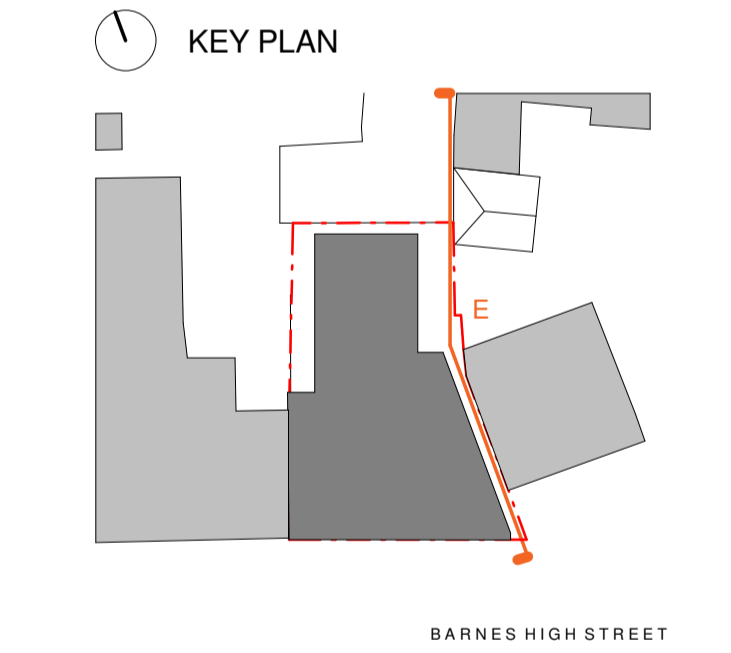
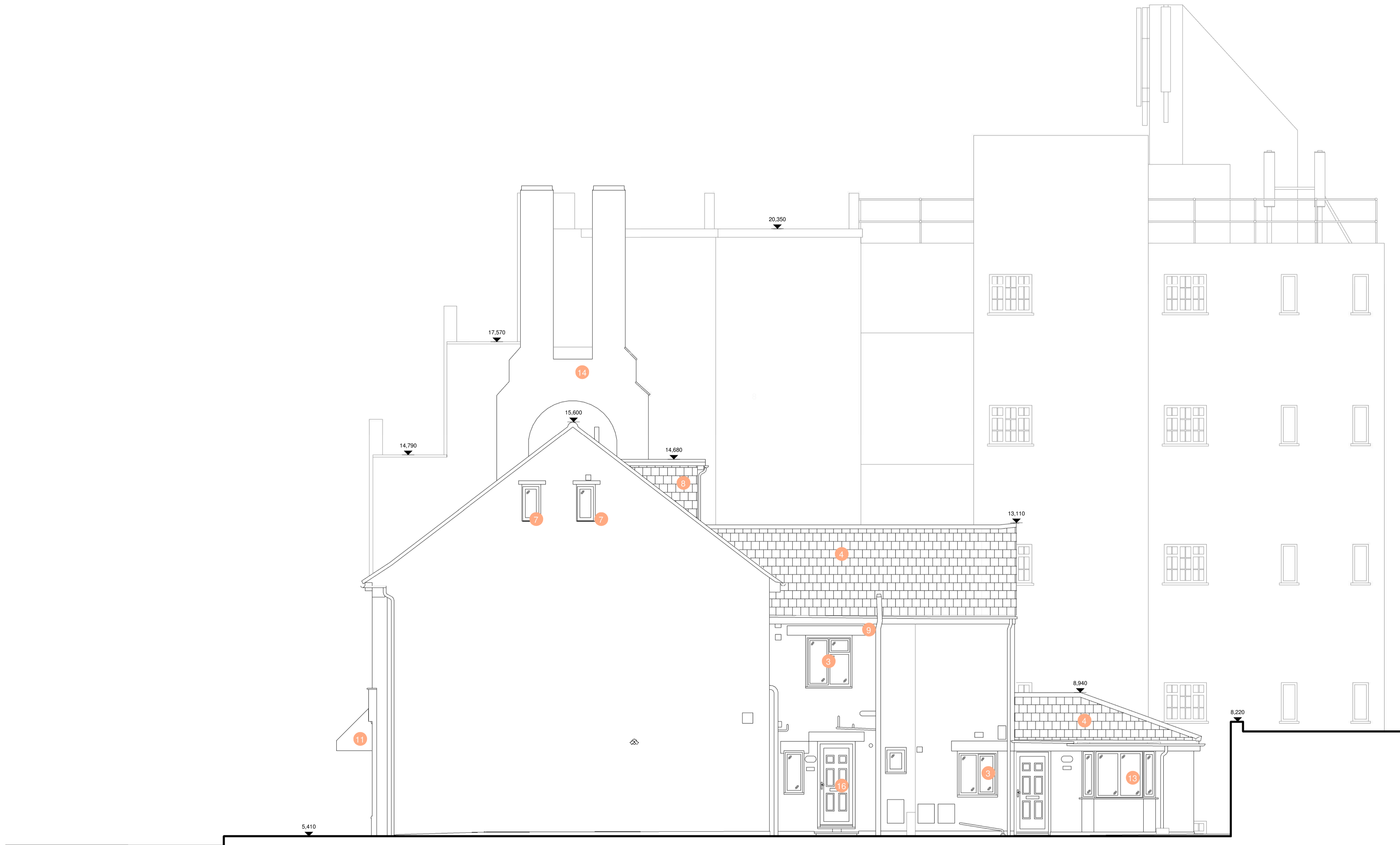


**KEY**  
 - - - APPLICATION BOUNDARY

- 1 RENDERED FINISH TO GRADE II LISTED BUILDING
- 2 EXISTING ROOFLIGHT
- 3 EXISTING DOUBLE GLAZED PVC OPENABLE WINDOWS
- 4 EXISTING SLATE TILED ROOF
- 5 DARK RED BRICKWORK
- 6 EXISTING SHOP FRONT SIGNAGE TO COMMERCIAL UNITS
- 7 OBSCURED WINDOWS
- 8 EXISTING DORMER WINDOWS
- 9 STONE LINTELS ABOVE WINDOWS
- 10 EXISTING FIRE EXIT
- 11 CANOPY TO GROUND FLOOR COMMERCIAL UNITS
- 12 EXISTING SIDE GATE ENTRANCE TO REAR OF BUILDING
- 13 BAY WINDOW
- 14 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
- 15 VEHICULAR ACCESS TO SEAFORTH LODGE CAR PARK
- 16 EXISTING ENTRANCE TO RESIDENTIAL UNITS ABOVE
- 17 RENDERED FINISH



REVISION	NOTE	DATE	DRAWN

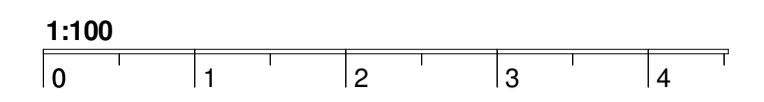


EXISTING EAST ELEVATION

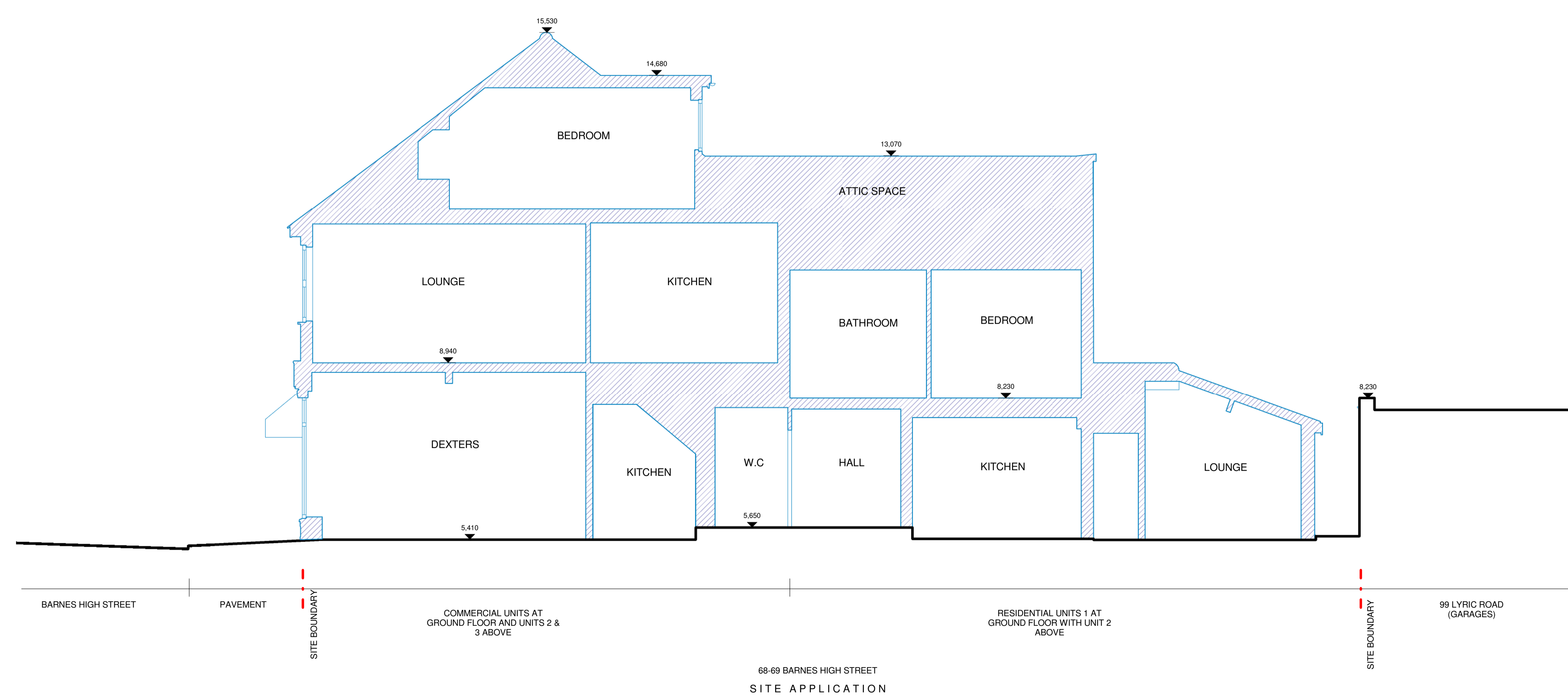


PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	EXISTING EAST ELEVATION		
DATE	SEPT 17	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 023		

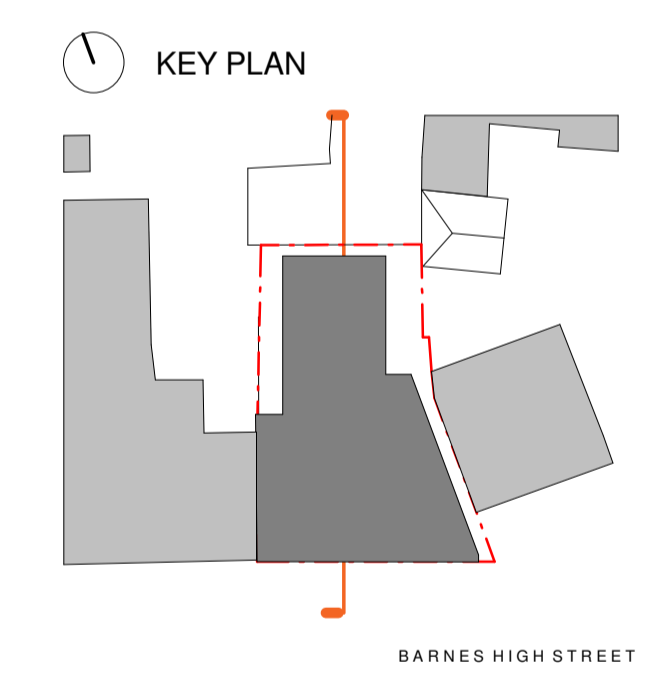
REV



- KEY**
- - - APPLICATION BOUNDARY
  - ENTRANCE / ACCESS ROUTE
  - FFL 5.00 FINISH FLOOR LEVEL
  - + 5.00 SPOT HEIGHTS
  - RAIN WATER OUTLET
  - SOIL VENT PIPE
  - LAMP POST
  - EXISTING STRUCTURE



EXISTING SECTION



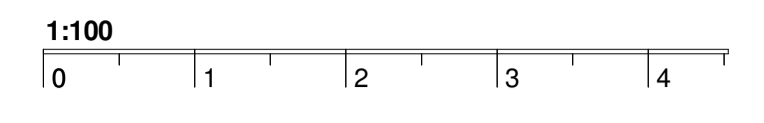
REVISION	NOTE	DATE	DRAWN



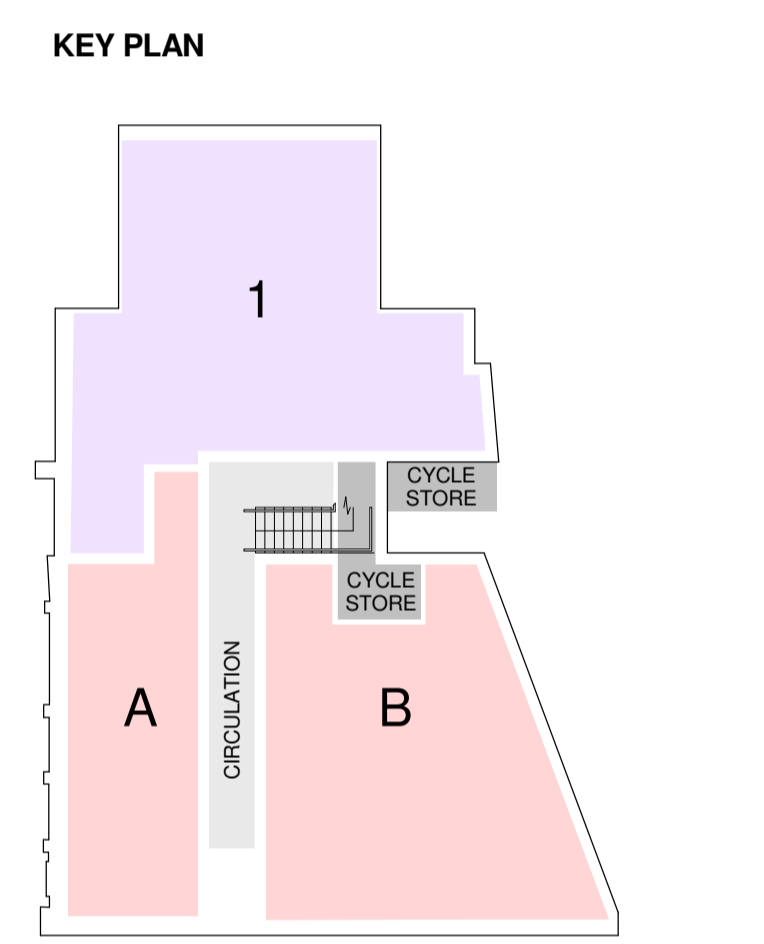
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DATE	SEPT 17	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 030		

**APPENDIX 6**

**PROPOSED BUILDING LAYOUTS AND LEVELS**



- KEY**
- APPLICATION BOUNDARY
  - ENTRANCE / ACCESS ROUTE
  - FFL 5.00 FINISH FLOOR LEVEL
  - + 5.00 SPOT HEIGHTS
  - HOPPER
  - LP LAMP POST
  - F FRIDGE FREEZER
  - WM WASHING MACHINE
  - DW DISH WASHER
  - EXISTING STRUCTURE
  - PROPOSED STRUCTURE



Unit Type	Name	Area	Unit Size
Residential	UNIT 1	75 m <sup>2</sup>	2B4P

Unit Type	Name	Area	Unit size
Commercial	A	65 m <sup>2</sup>	N/A
Commercial	B	35 m <sup>2</sup>	N/A

REVISION	NOTE	DATE	DRAWN



PROJECT 67-69 BARNES HIGH STREET

DRAWING TITLE PROPOSED LEVEL 0 FLOOR PLAN

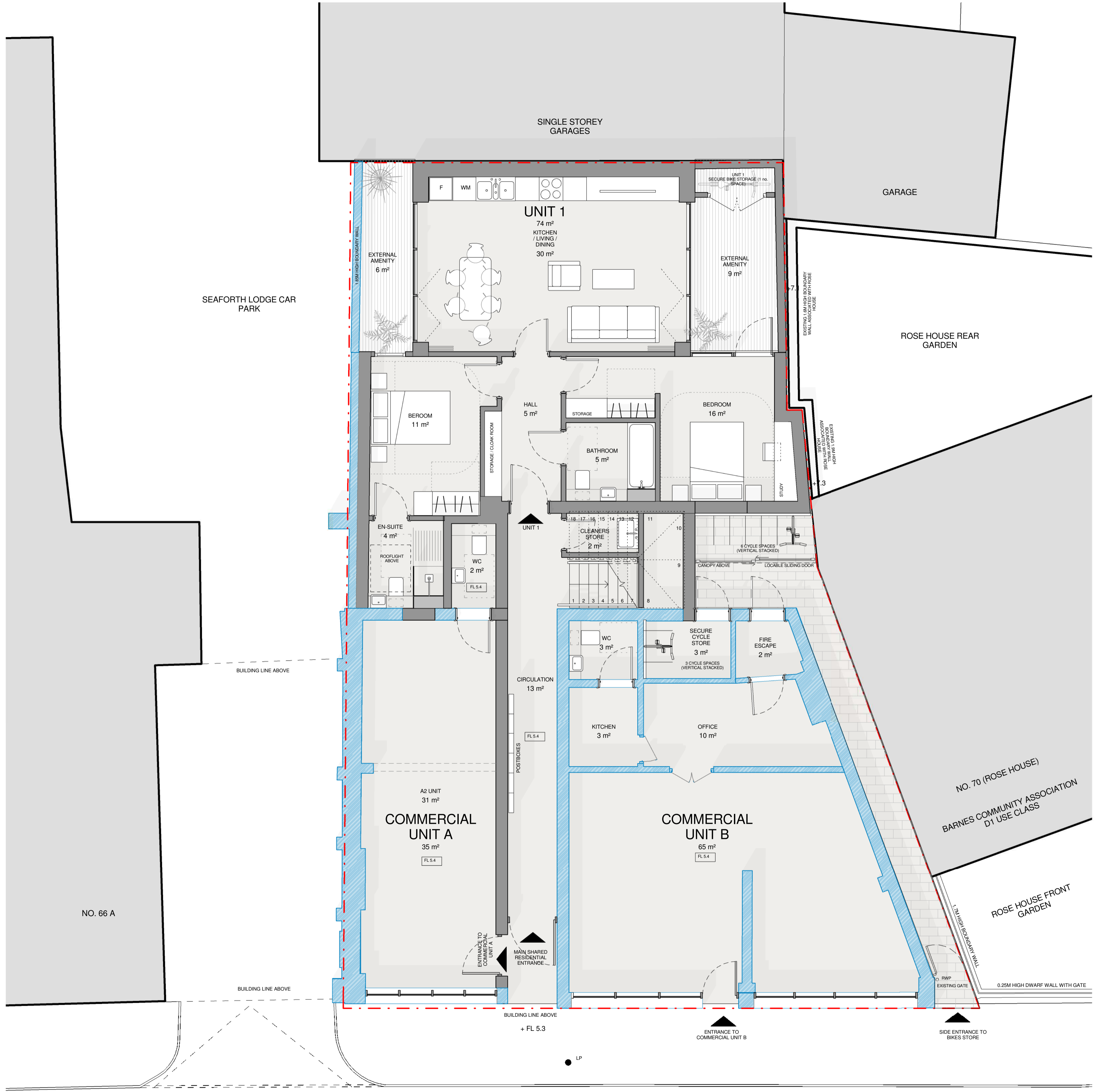
DATE SEPT 17 SCALE 1:100 @A3

DRAWN JR CHECK CS

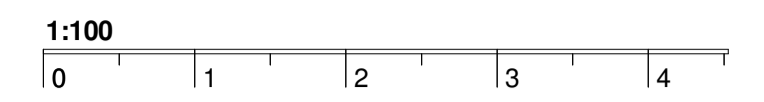
STATUS PLANNING

JOB NUMBER AI - 2296

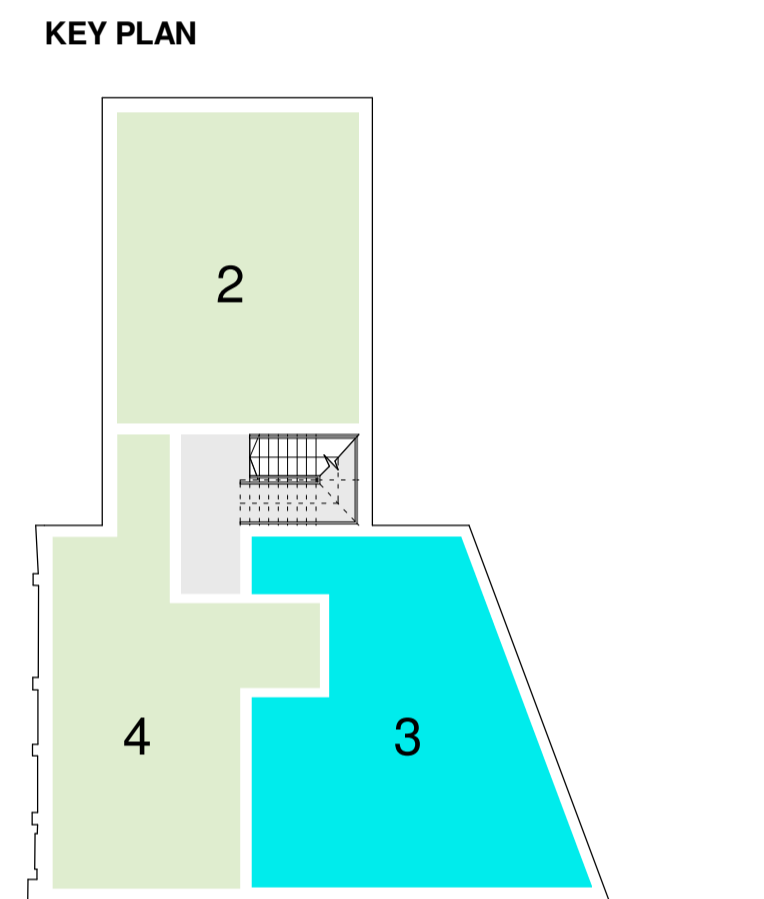
DRAWING NUMBER BRN - 100



BARNES HIGH STREET



- KEY**
- - - APPLICATION BOUNDARY
  - ▲ ENTRANCE / ACCESS ROUTE
  - FFL 5.00 FINISH FLOOR LEVEL
  - + 5.00 SPOT HEIGHTS
  - HOPPER HOPPER
  - LP LAMP POST
  - F FRIDGE FREEZER
  - WM WASHING MACHINE
  - DW DISH WASHER
  - EXISTING STRUCTURE
  - PROPOSED STRUCTURE



Unit Type	Name	Area	Unit Size
LEVEL 0			
Residential	UNIT 1	75 m <sup>2</sup>	2B4P
Level 1			
Residential	UNIT 2	52 m <sup>2</sup>	1B2P
Residential	UNIT 3	62 m <sup>2</sup>	2B3P
Residential	UNIT 4	51 m <sup>2</sup>	1B2P
Level 2			
Residential	UNIT 5	42 m <sup>2</sup>	Studio
Residential	UNIT 6	39 m <sup>2</sup>	Studio
Residential	UNIT 7	39 m <sup>2</sup>	Studio

N

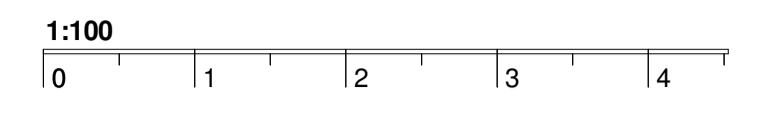
REVISION	NOTE	DATE	DRAWN



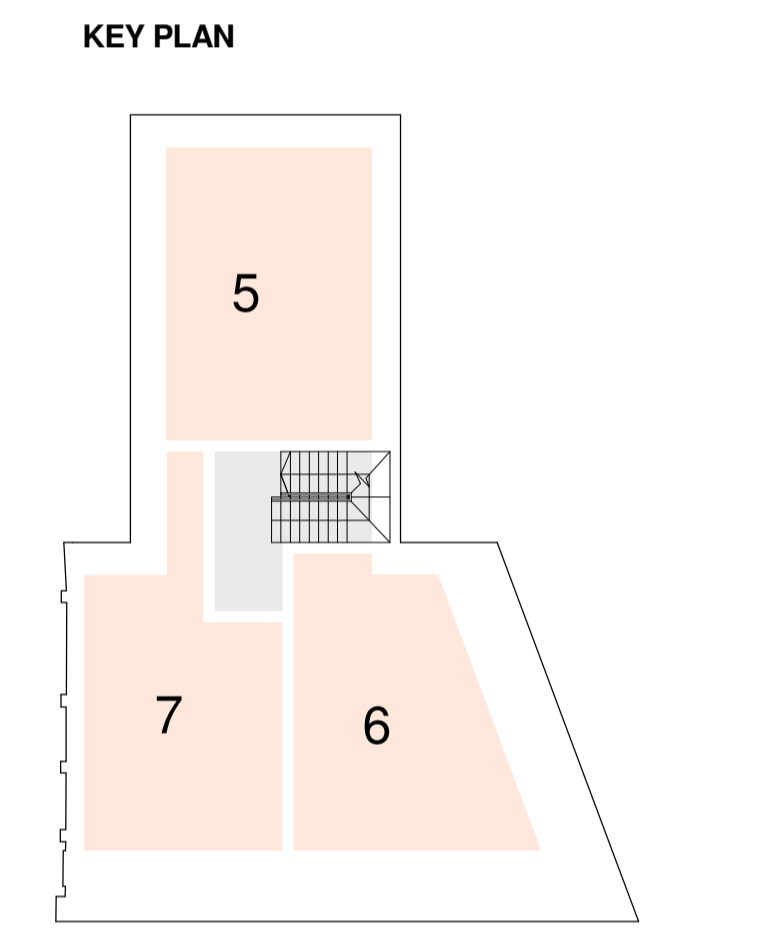
PROJECT	67-69 BARNES HIGH STREET
DRAWING TITLE	PROPOSED LEVEL 1 FLOOR PLAN
DATE	SEPT 17
SCALE	1:100 @A3
DRAWN	JH
CHECK	CS
STATUS	PLANNING
JOB NUMBER	AI - 2296
DRAWING NUMBER	BRN - 101



BARNES HIGH STREET



- KEY**
- - - APPLICATION BOUNDARY
  - ENTRANCE / ACCESS ROUTE
  - FFL 5.00 FINISH FLOOR LEVEL
  - + 5.00 SPOT HEIGHTS
  - HOPPER
  - LAMP POST
  - FRIDGE FREEZER
  - WASHING MACHINE
  - DISH WASHER
  - EXISTING STRUCTURE
  - PROPOSED STRUCTURE



Unit Type	Name	Area	Unit Size
<b>LEVEL 0</b>			
Residential	UNIT 1	75 m <sup>2</sup>	2B4P
<b>Level 1</b>			
Residential	UNIT 2	52 m <sup>2</sup>	1B2P
Residential	UNIT 3	62 m <sup>2</sup>	2B3P
Residential	UNIT 4	51 m <sup>2</sup>	1B2P
<b>Level 2</b>			
Residential	UNIT 5	42 m <sup>2</sup>	Studio
Residential	UNIT 6	39 m <sup>2</sup>	Studio
Residential	UNIT 7	39 m <sup>2</sup>	Studio

N

REVISION	NOTE	DATE	DRAWN



PROJECT 67-69 BARNES HIGH STREET

DRAWING TITLE PROPOSED LEVEL 2 FLOOR PLAN

DATE SEPT 17 SCALE 1:100 @A3

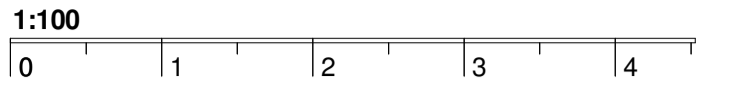
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STATUS PLANNING

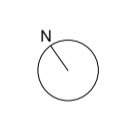
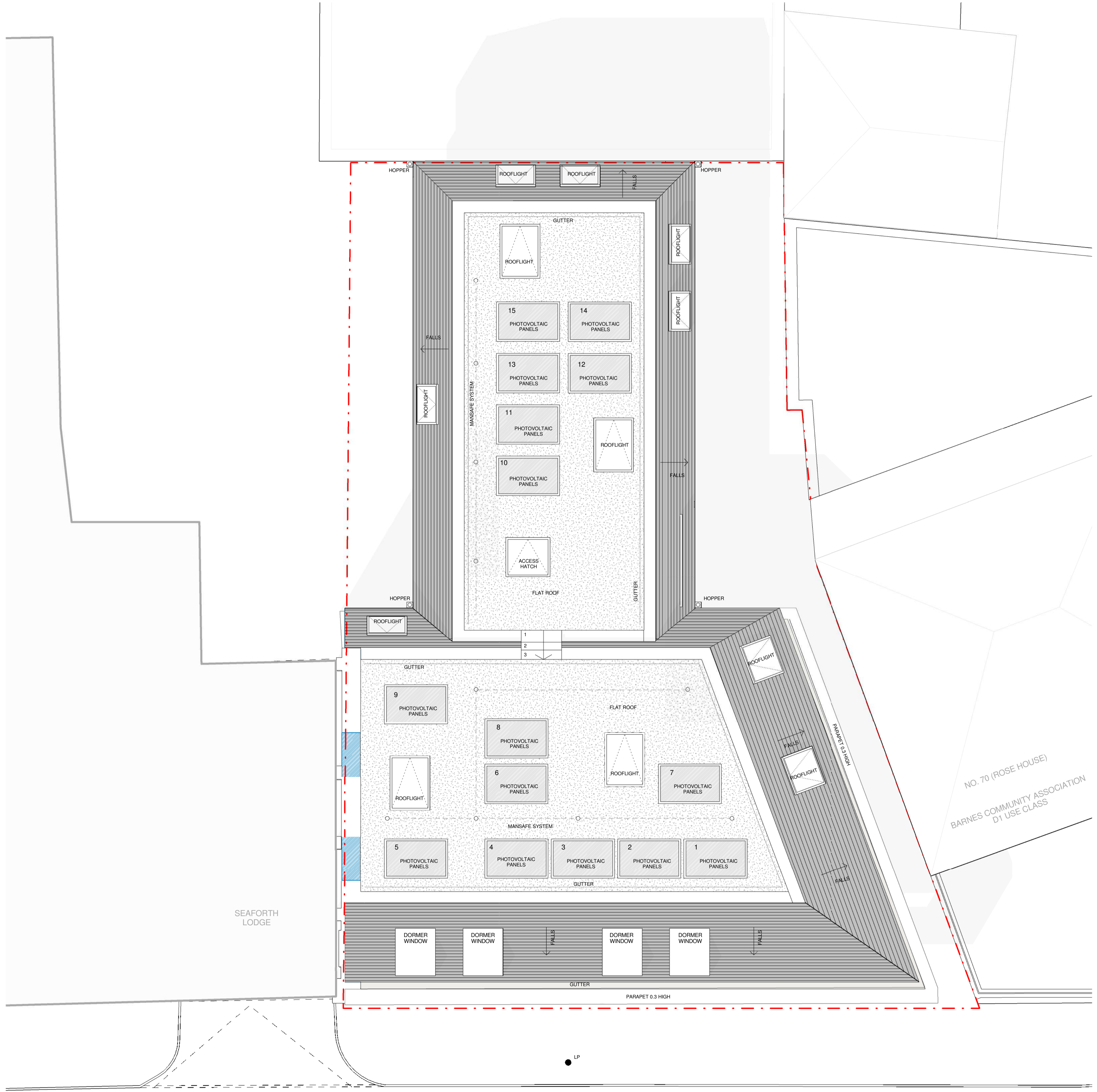
JOB NUMBER AI - 2296

DRAWING NUMBER BRN - 102





- KEY**
- APPLICATION BOUNDARY
  - PHOTOVOLTAIC PANEL
  - MANSAFE CLIPPING POINTS
  - HOPPER
  - EXISTING STRUCTURE
  - PROPOSED STRUCTURE
  - SLATE TILED ROOF TO MATCH EXISTING

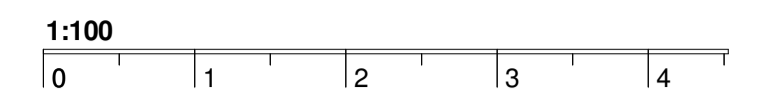


REVISION	NOTE	DATE	DRAWN

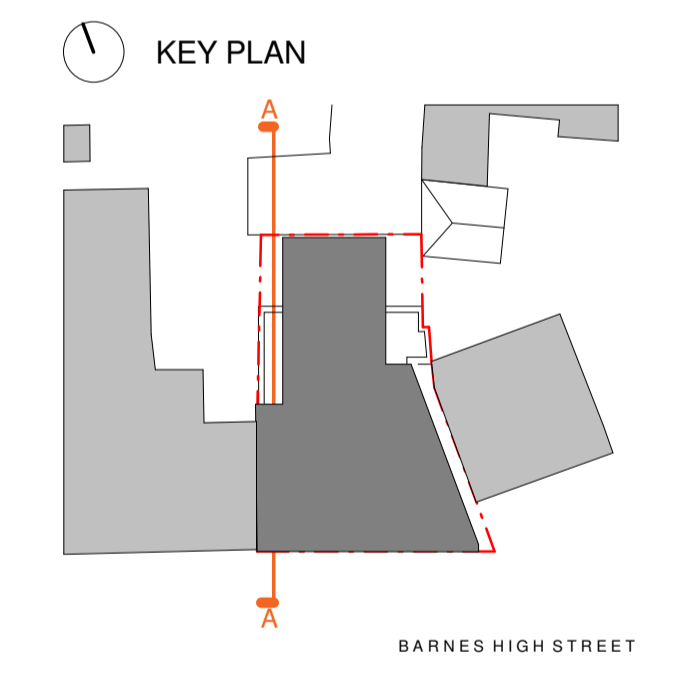


PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	PROPOSED ROOF PLAN		
DATE	SEPT 17	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 103		

REV	DESCRIPTION



- KEY**
- - - APPLICATION BOUNDARY
  - - - EXISTING BUILDING OUTLINE
- 1 NEW ALUMINUM ROOFLIGHTS
  - 2 NEW ALUMINUM DOUBLE GLAZED WINDOWS
  - 3 RENDERED FINISH (COLOUR TBC)
  - 4 NEW SLATE TILED ROOF TO MATCH EXISTING
  - 5 CONCEALED GUTTER BEHIND PARAPET
  - 6 PARAPET HEIGHT TO MATCH NEIGHBOURING PROPERTIES
  - 7 ACCESS GATE TO SHARED BIN AND BIKE STORE FROM BARNES HIGH STREET
  - 8 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
  - 9 6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE
  - 10 SINGLE STOREY GARAGE TO THE REAR OF THE SITE
  - 11 PHOTOVOLTAIC PANELS
  - 12 GLAZED WINDOWS TO GROUND FLOOR COMMERCIAL UNITS
  - 13 SOLDIER COURSE BRICK DETAIL
  - 14 NEW BOUNDARY WALL
  - 15 NEW DORMER WINDOW



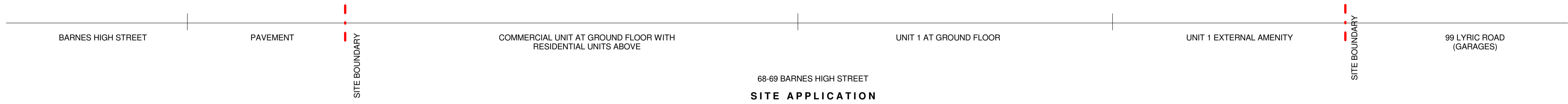
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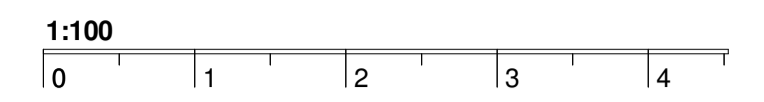
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DATE	SEPT 17	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 200		

REV

SECTION AA

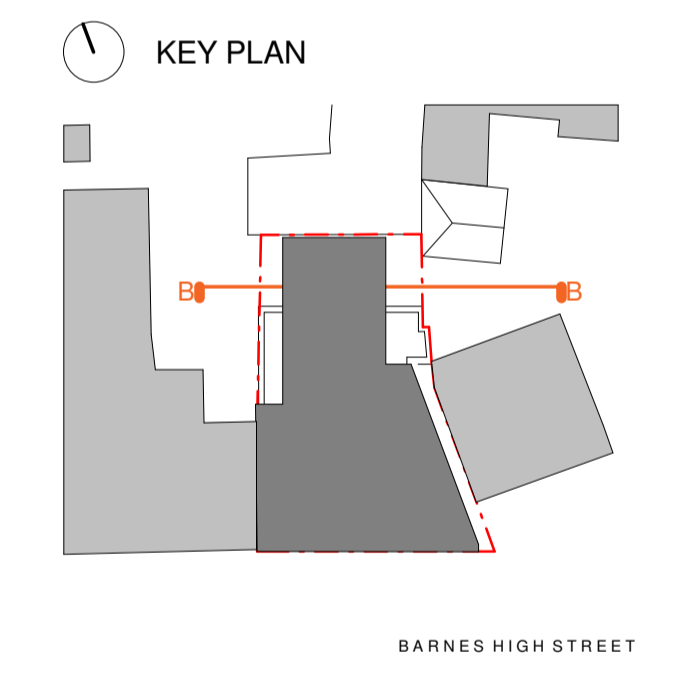
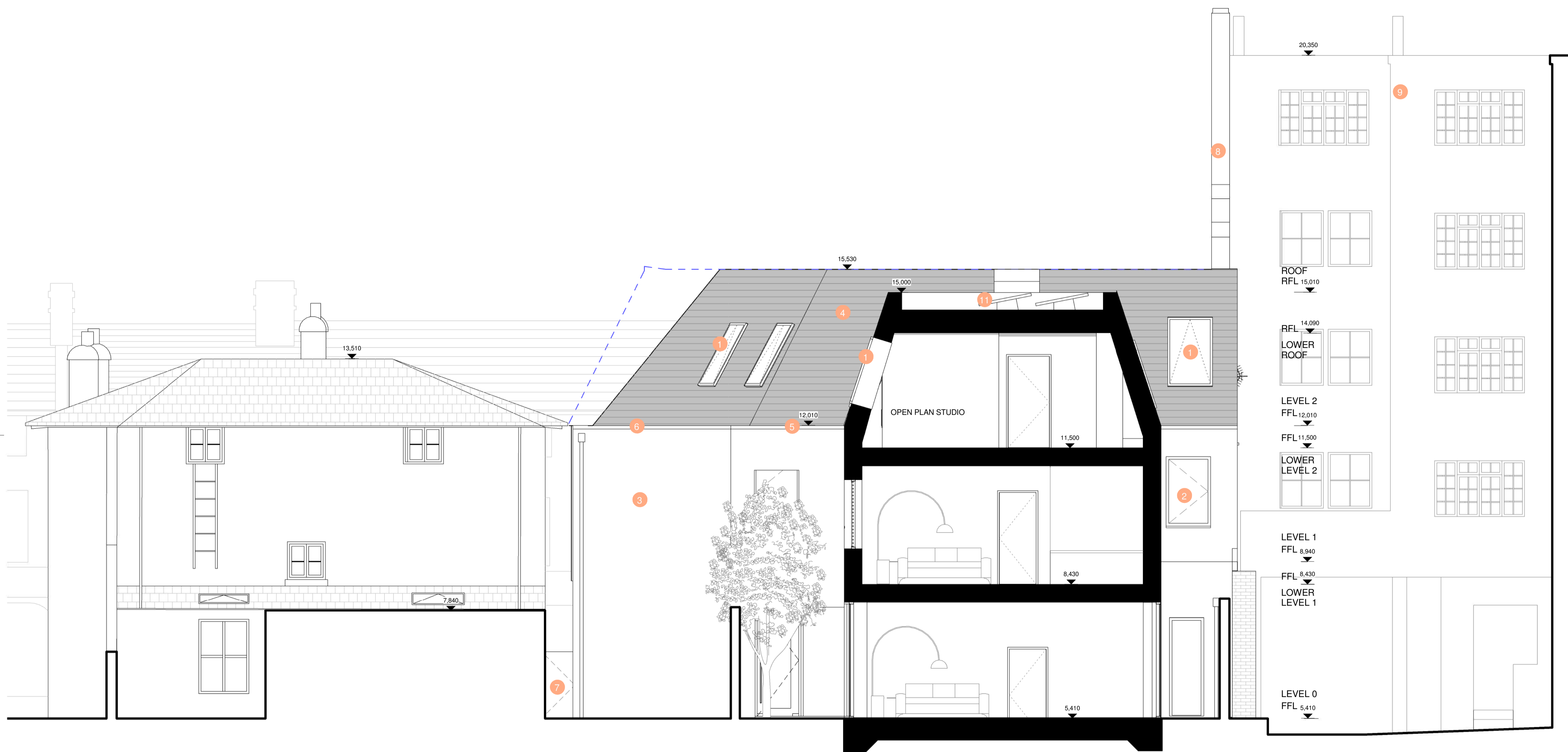






- KEY**
- - - APPLICATION BOUNDARY
  - - - EXISTING BUILDING OUTLINE

- 1 NEW ALUMINUM ROOFLIGHTS
- 2 NEW ALUMINUM DOUBLE GLAZED WINDOWS
- 3 RENDERED FINISH (COLOUR TBC)
- 4 NEW SLATE TILED ROOF TO MATCH EXISTING
- 5 CONCEALED GUTTER BEHIND PARAPET
- 6 PARAPET HEIGHT TO MATCH NEIGHBOURING PROPERTIES
- 7 ACCESS GATE TO SHARED BIN AND BIKE STORE FROM BARNES HIGH STREET
- 8 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
- 9 6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE
- 10 SINGLE STOREY GARAGE TO THE REAR OF THE SITE
- 11 PHOTOVOLTAIC PANELS
- 12 GLAZED WINDOWS TO GROUND FLOOR COMMERCIAL UNITS
- 13 SOLDIER COURSE BRICK DETAIL
- 14 NEW BOUNDARY WALL
- 15 NEW DORMER WINDOW

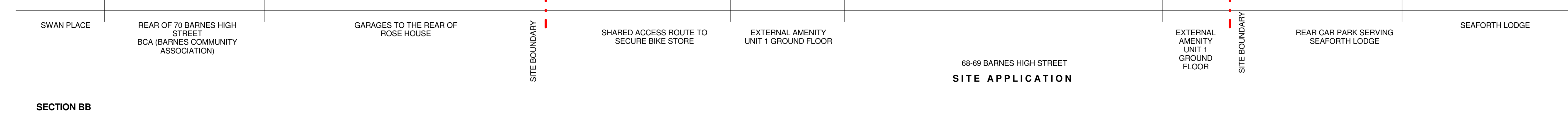


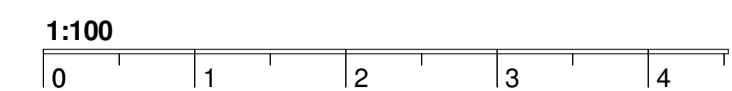
REVISION	NOTE	DATE	DRAWN



PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	PROPOSED SECTION BB		
DATE	SEPT 17	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
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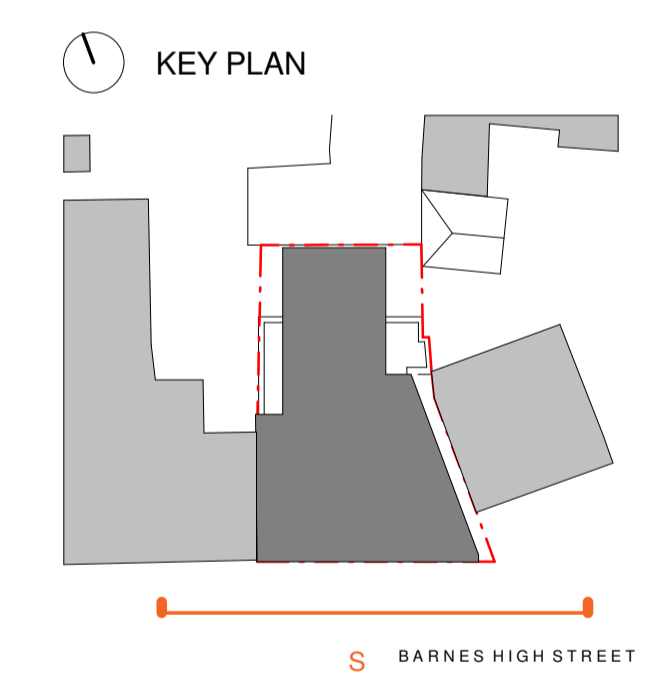
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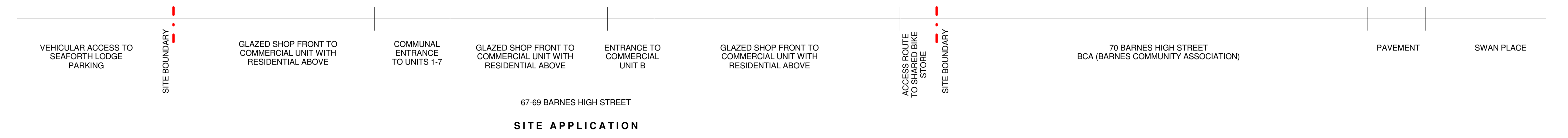


- KEY**
- - - APPLICATION BOUNDARY
  - - - EXISTING BUILDING OUTLINE
  - - - ROSE HOUSE OUTLINE
  - [Hatched Box] PROPOSED SLATE TILED ROOF TO MATCH EXISTING

- 1 NEW ALUMINUM DORMER WINDOWS TO SECOND FLOOR RESIDENTIAL UNITS
- 2 NEW ALUMINUM WINDOWS
- 3 RENDERED FINISH (COLOUR TBC)
- 4 SLATE TILED ROOF TO MATCH EXISTING
- 5 PARAPET HEIGHT TO MATCH NEIGHBOURING PROPERTIES
- 6 GRADE II LISTED ROSE COTTAGE
- 7 PINK RENDERED FINISH
- 8 NEW RESIDENTIAL ENTRANCE TO UNITS 1-7
- 9 DARK RED BRICKWORK TO SEAFORTH
- 10 EXISTING SIGNAGE TO COMMERCIAL UNITS AT GROUND FLOOR
- 11 ACCESS GATE TO SHARED BIN AND BIKE STORE
- 12 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
- 13 6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE
- 14 SINGLE STOREY GARAGE TO THE REAR OF THE SITE
- 15 CANOPY TO COMMERCIAL UNITS AT GROUND FLOOR
- 16 NEW BOUNDARY WALL
- 17 METAL COPING TO PARAPET WALL
- 18 SOLIDER COURSE BRICK DETAIL
- 19 NEW ALUMINUM ROOFLIGHTS TO RESIDENTIAL UNITS



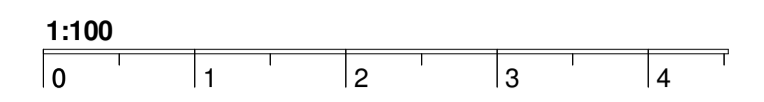
REVISION	NOTE	DATE	DRAWN



**PROPOSED SOUTH ELEVATION**

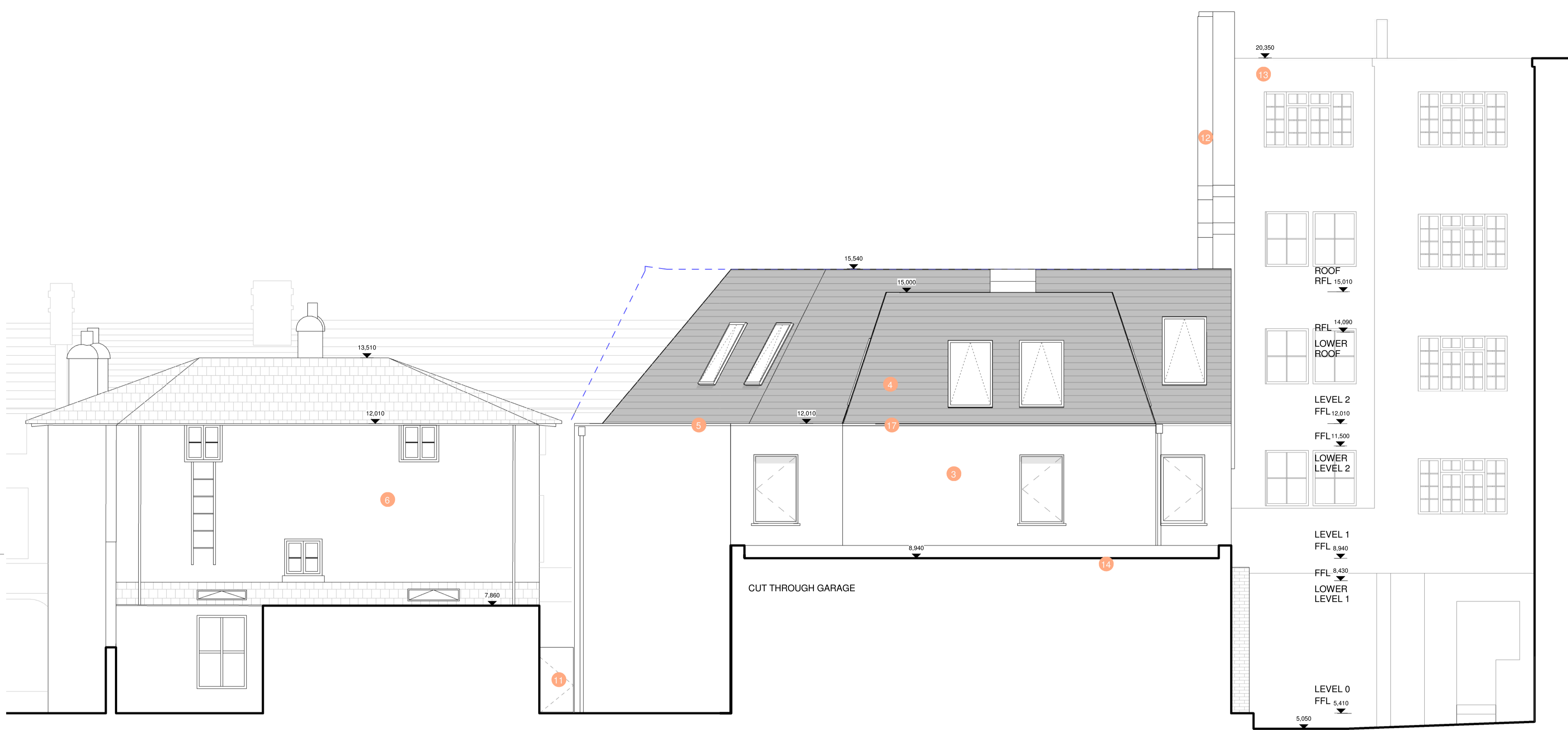
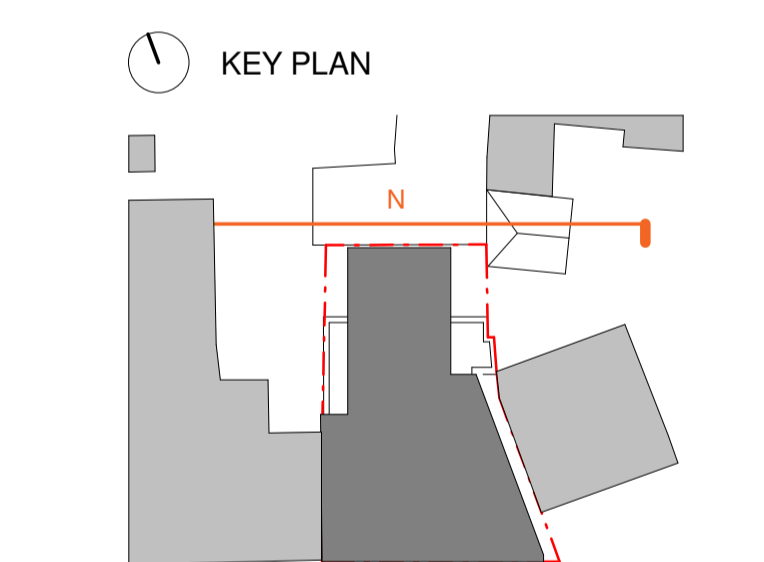


PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	PROPOSED SOUTH ELEVATION		
DATE	SEPT 16	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 300		



- KEY**
- - - APPLICATION BOUNDARY
  - - - EXISTING BUILDING OUTLINE
  - - - ROSE HOUSE OUTLINE
  - [Hatched Box] PROPOSED SLATE TILED ROOF TO MATCH EXISTING

- 1 NEW ALUMINUM DORMER WINDOWS TO SECOND FLOOR RESIDENTIAL UNITS
- 2 NEW ALUMINUM WINDOWS
- 3 RENDERED FINISH (COLOUR TBC)
- 4 SLATE TILED ROOF TO MATCH EXISTING
- 5 PARAPET HEIGHT TO MATCH NEIGHBOURING PROPERTIES
- 6 GRADE II LISTED ROSE COTTAGE
- 7 PINK RENDERED FINISH
- 8 NEW RESIDENTIAL ENTRANCE TO UNITS 1-7
- 9 DARK RED BRICKWORK TO SEAFORTH
- 10 EXISTING SIGNAGE TO COMMERCIAL UNITS AT GROUND FLOOR
- 11 ACCESS GATE TO SHARED BIN AND BIKE STORE
- 12 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
- 13 6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE
- 14 SINGLE STOREY GARAGE TO THE REAR OF THE SITE
- 15 CANOPY TO COMMERCIAL UNITS AT GROUND FLOOR
- 16 NEW BOUNDARY WALL
- 17 METAL COPING TO PARAPET WALL
- 18 SOLIDER COURSE BRICK DETAIL
- 19 NEW ALUMINUM ROOFLIGHTS TO RESIDENTIAL UNITS



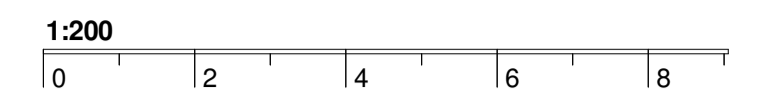
PROPOSED NORTH ELEVATION

67-69 BARNES HIGH STREET  
SITE APPLICATION

REVISION	NOTE	DATE	DRAWN

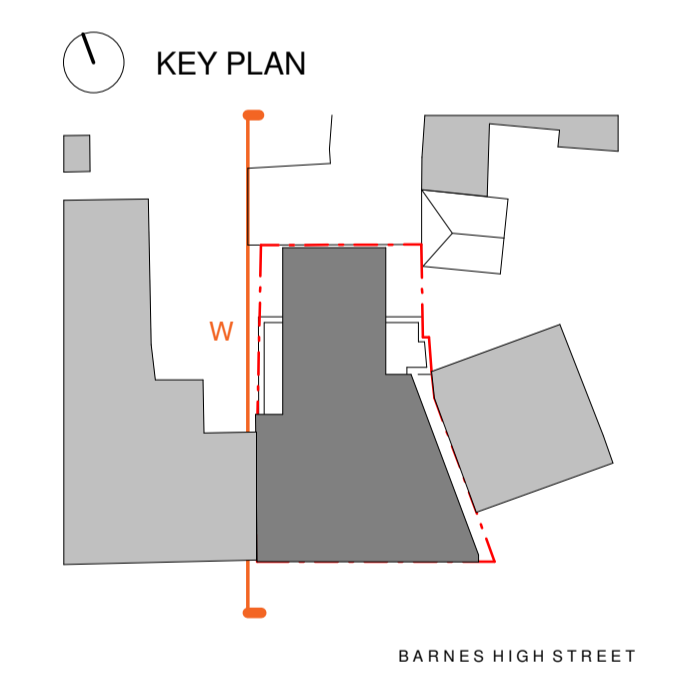
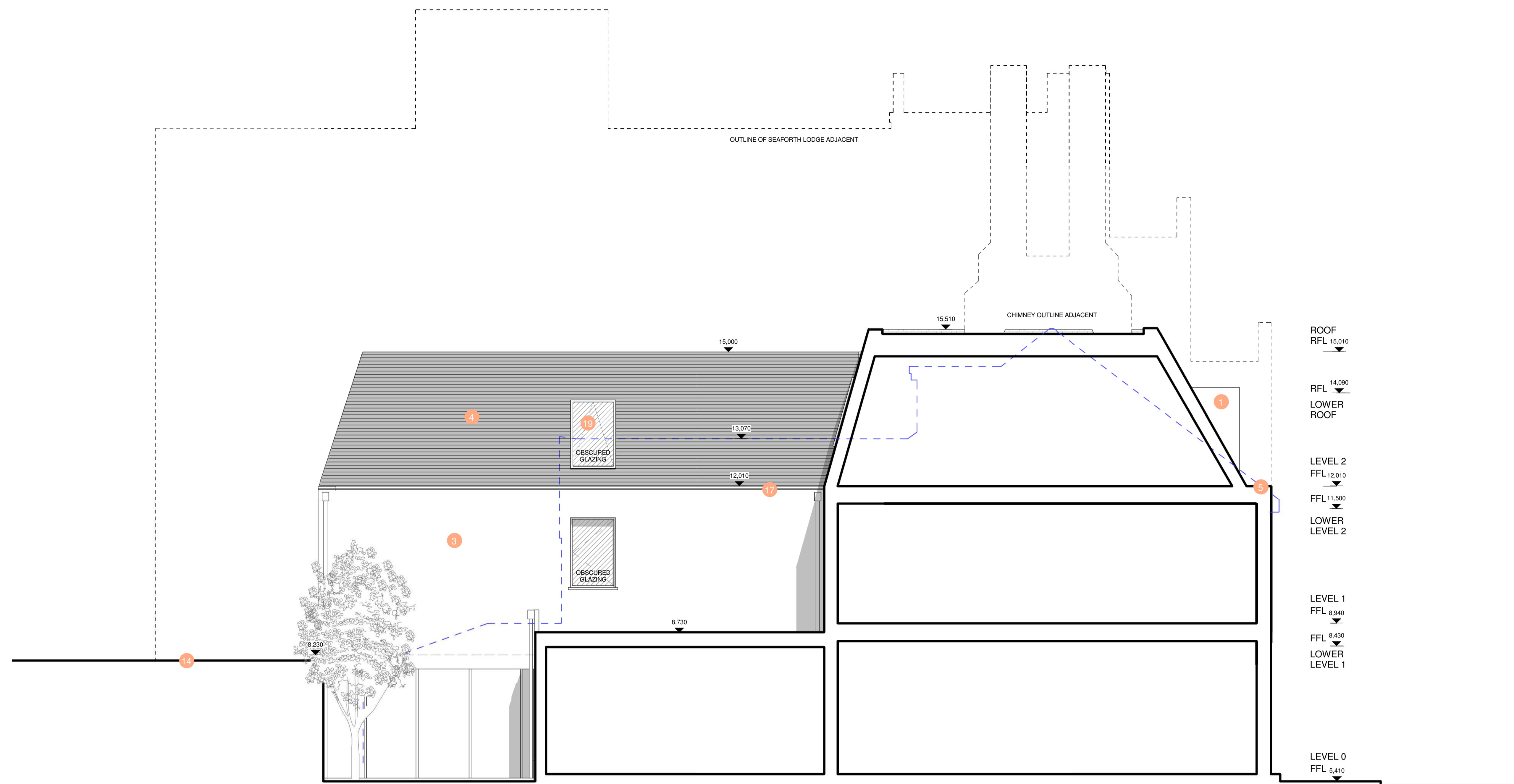


PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	PROPOSED NORTH ELEVATION		
DATE	SEPT 17	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 301		



- KEY**
- - - APPLICATION BOUNDARY
  - - - EXISTING BUILDING OUTLINE
  - - - ROSE HOUSE OUTLINE
  - [Hatched Box] PROPOSED SLATE TILED ROOF TO MATCH EXISTING

- 1 NEW ALUMINUM DORMER WINDOWS TO SECOND FLOOR RESIDENTIAL UNITS
- 2 NEW ALUMINUM WINDOWS
- 3 RENDERED FINISH (COLOUR TBC)
- 4 SLATE TILED ROOF TO MATCH EXISTING
- 5 PARAPET HEIGHT TO MATCH NEIGHBOURING PROPERTIES
- 6 GRADE II LISTED ROSE COTTAGE
- 7 PINK RENDERED FINISH
- 8 NEW RESIDENTIAL ENTRANCE TO UNITS 1-7
- 9 DARK RED BRICKWORK TO SEAFORTH
- 10 EXISTING SIGNAGE TO COMMERCIAL UNITS AT GROUND FLOOR
- 11 ACCESS GATE TO SHARED BIN AND BIKE STORE
- 12 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
- 13 6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE
- 14 SINGLE STOREY GARAGE TO THE REAR OF THE SITE
- 15 CANOPY TO COMMERCIAL UNITS AT GROUND FLOOR
- 16 NEW BOUNDARY WALL
- 17 METAL COPING TO PARAPET WALL
- 18 SOLIDER COURSE BRICK DETAIL
- 19 NEW ALUMINUM ROOFLIGHTS TO RESIDENTIAL UNITS



REVISION	NOTE	DATE	DRAWN

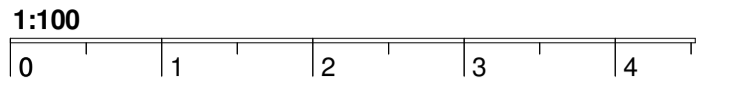


EXISTING WEST ELEVATION

67-69 BARNES HIGH STREET  
SITE APPLICATION

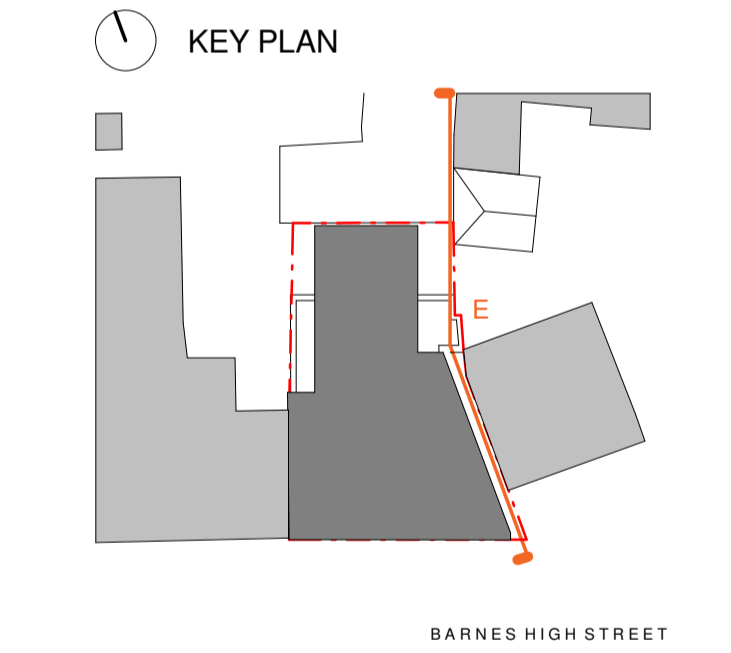
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DRAWING TITLE	PROPOSED WEST ELEVATION		
DATE	SEPT 16	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 302		

REV



- KEY**
- - - APPLICATION BOUNDARY
  - - - EXISTING BUILDING OUTLINE
  - - - ROSE HOUSE OUTLINE
  - [Hatched Box] PROPOSED SLATE TILED ROOF TO MATCH EXISTING

- 1 NEW ALUMINUM DORMER WINDOWS TO SECOND FLOOR RESIDENTIAL UNITS
- 2 NEW ALUMINUM WINDOWS
- 3 RENDERED FINISH (COLOUR TBC)
- 4 SLATE TILED ROOF TO MATCH EXISTING
- 5 PARAPET HEIGHT TO MATCH NEIGHBOURING PROPERTIES
- 6 GRADE II LISTED ROSE COTTAGE
- 7 PINK RENDERED FINISH
- 8 NEW RESIDENTIAL ENTRANCE TO UNITS 1-7
- 9 DARK RED BRICKWORK TO SEAFORTH
- 10 EXISTING SIGNAGE TO COMMERCIAL UNITS AT GROUND FLOOR
- 11 ACCESS GATE TO SHARED BIN AND BIKE STORE
- 12 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
- 13 6 STOREY NEIGHBOURING PROPERTY - SEAFORTH LODGE
- 14 SINGLE STOREY GARAGE TO THE REAR OF THE SITE
- 15 CANOPY TO COMMERCIAL UNITS AT GROUND FLOOR
- 16 NEW BOUNDARY WALL
- 17 METAL COPING TO PARAPET WALL
- 18 SOLIDER COURSE BRICK DETAIL
- 19 NEW ALUMINUM ROOFLIGHTS TO RESIDENTIAL UNITS

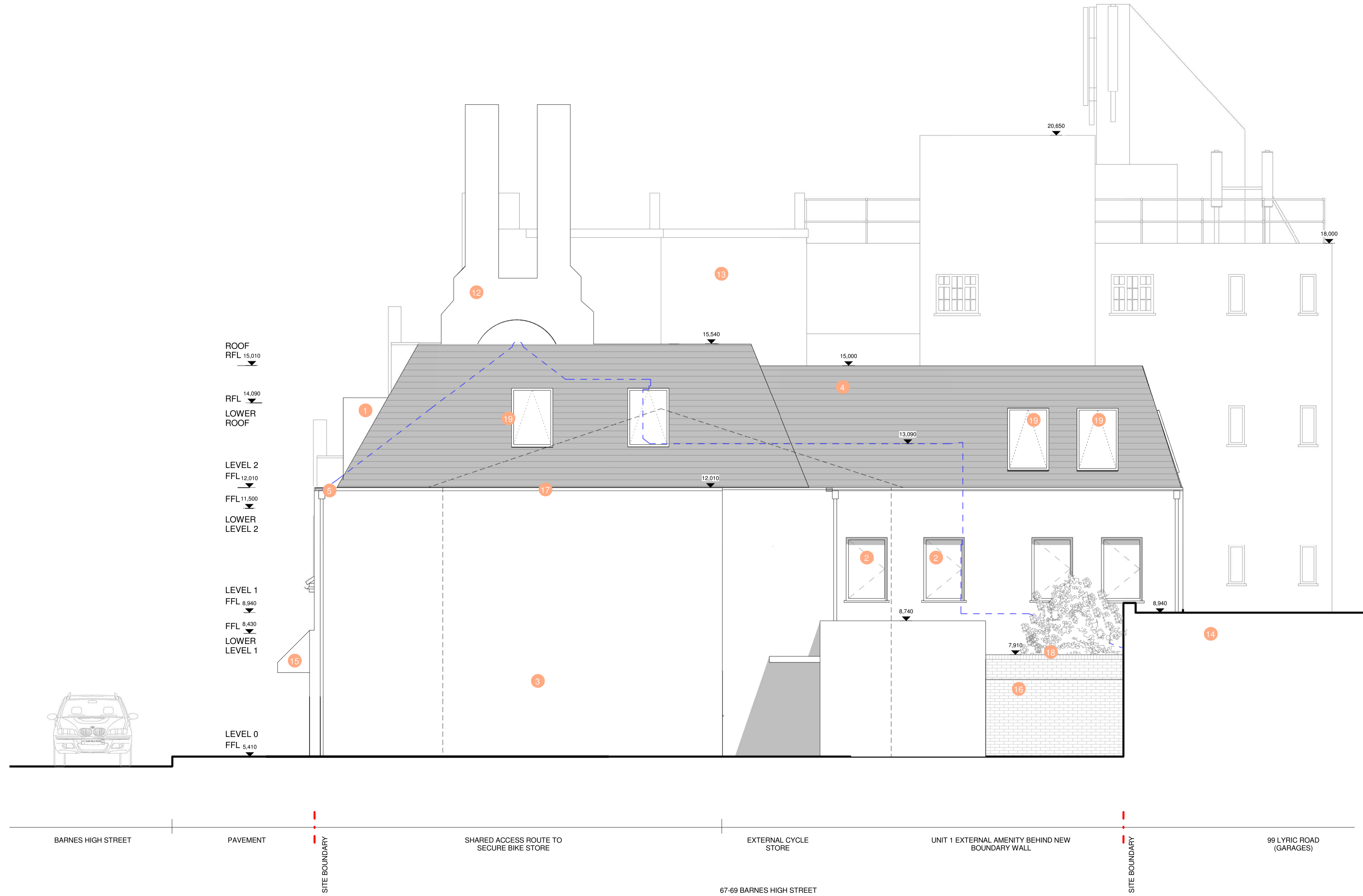


REVISION	NOTE	DATE	DRAWN



PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	PROPOSED EAST ELEVATION		
DATE	SETP 17	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 303		

REV



EXISTING EAST ELEVATION

67-69 BARNES HIGH STREET  
SITE APPLICATION

BARNES HIGH STREET

PAVEMENT

SITE BOUNDARY

SHARED ACCESS ROUTE TO SECURE BIKE STORE

EXTERNAL CYCLE STORE

UNIT 1 EXTERNAL AMENITY BEHIND NEW BOUNDARY WALL

SITE BOUNDARY

99 LYRIC ROAD (GARAGES)