



# 2D Node Location Map centred on SW13 9LW created 09/08/2017 [Ref: KSL 56153 UE]



Scale 1: 2,000



## Legend

-  Main Rivers
-  NodeLocations

## Defence Details

The design standard of protection of the flood defences in this area of the Thames is 0.1% AEP; they are designed to defend London up to a 1 in 1000 year **tidal** flood event. The defences are all raised, man-made and privately owned. It is the riparian owners' responsibility to ensure that they are maintained to a crest level of 5.94 m AODN (the Statutory Flood Defence Level in this reach of the Thames). We inspect them twice a year to ensure that they remain fit for purpose. The current condition grade for defences in the area is 2 (good), on a scale of 1 (very good) to 5 (very poor). For more information on your rights and responsibilities as a riparian owner, please see our document 'Living on the edge' found on our website at:

<https://www.gov.uk/government/publications/riverside-ownership-rights-and-responsibilities>

There are no planned improvements in this area. Please see the 'Thames Estuary 2100' document on our website for the short, medium and long term Flood Risk Management strategy for London:

<https://www.gov.uk/government/publications/thames-estuary-2100-te2100>

### **Areas Benefiting from Flood Defences**

This site is within an area benefiting from flood defences, as shown on the enclosed extract of our Flood Map. Areas benefiting from flood defences are defined as those areas which benefit from formal flood defences specifically in the event of flooding from rivers with a 1% (1 in 100) chance in any given year, or flooding from the sea with a 0.5% (1 in 200) chance in any given year.

If the defences were not there, these areas would be flooded. An area of land may benefit from the presence of a flood defence even if the defence has overtopped, if the presence of the defence means that the flood water does not extend as far as it would if the defence were not there.



## Recorded Flood Events Data

We hold records of historic flood events from rivers and the sea. Information on the floods that may have affected the area local to your site is provided below and in the enclosed map (if relevant).

### **Flood Event Data**

We do not hold records of historic flood events from rivers and/or the sea affecting the area local to this site. However, please be aware that this does not necessarily mean that flooding has not occurred here in the past, as our records are not comprehensive.

Due to the fact that our records are not comprehensive, we would advise that you make further enquiries locally with specific reference to flooding at this location. You should consider contacting the relevant Local Planning Authority and/or water/sewerage undertaker for the area.

We map flooding to land, not individual properties. Our historic flood event record outlines are an indication of the geographical extent of an observed flood event. Our historic flood event outlines do not give any indication of flood levels for individual properties. They also do not imply that any property within the outline has flooded internally.

Please be aware that flooding can come from different sources. Examples of these are:

- from rivers or the sea;
- surface water (i.e. rainwater flowing over or accumulating on the ground before it is able to enter rivers or the drainage system);
- overflowing or backing up of sewer or drainage systems which have been overwhelmed,
- groundwater rising up from underground aquifers

Currently the Environment Agency can only supply flood risk data relating to the chance of flooding from rivers or the sea. However you should be aware that in recent years, there has been an increase in flood damage caused by surface water flooding and drainage systems that have been overwhelmed.

## Additional Information

### Use of Environment Agency Information for Flood Risk / Flood Consequence Assessments

#### Important

If you have requested this information to help inform a development proposal, then we recommend that you undertake a formal pre-application enquiry using the form available from our website:-

<http://www.environment-agency.gov.uk/research/planning/33580.aspx>

Depending on the enquiry, we may also provide advice on other issues related to our responsibilities including flooding, waste, land contamination, water quality, biodiversity, navigation, pollution, water resources, foul drainage or Environmental Impact Assessment.

In **England**, you should refer to the Environment Agency's Flood Risk Standing Advice, the technical guidance to the National Planning Policy Framework and the existing PPS25 Practice Guide for information about what flood risk assessment is needed for new development in the different Flood Zones. These documents can be accessed via:

<https://www.gov.uk/government/publications/flood-risk-standing-advice-for-local-planning-authorities-frsa>

<http://planningguidance.planningportal.gov.uk/>

You should also consult the Strategic Flood Risk Assessment produced by your local planning authority.

You should note that:

1. Information supplied by the Environment Agency may be used to assist in producing a Flood Risk / Consequence Assessment (FRA / FCA) where one is required, but does not constitute such an assessment on its own.
2. This information covers flood risk from main rivers and the sea, and you will need to consider other potential sources of flooding, such as groundwater or overland runoff. The information produced by the local planning authority referred to above may assist here.
3. Where a planning application requires a FRA / FCA and this is not submitted or deficient, the Environment Agency may well raise an objection.
4. For more significant proposals in higher flood risk areas, we would be pleased to discuss details with you ahead of making any planning application, and you should also discuss the matter with your local planning authority.

## Surface Water

We have provided two national Surface Water maps, under our Strategic Overview for flooding, to your Lead Local Flood Authority who are responsible for local flood risk (i.e. surface runoff, ground water and ordinary watercourse), which alongside their existing local information will help them in determining what best represents surface water flood risk in your area.

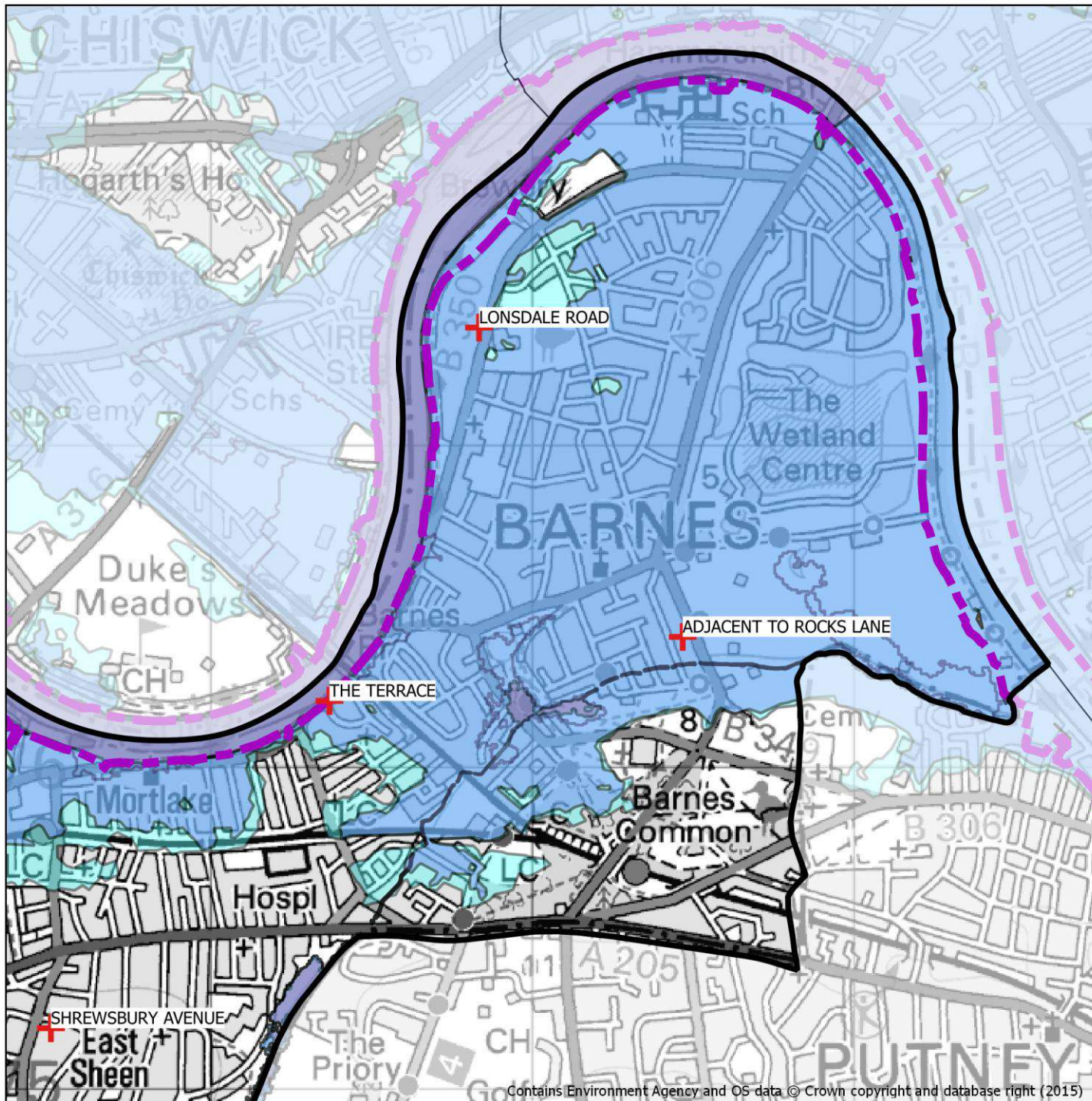
Your Lead Local Flood Authority have reviewed these and determined what it believes best represents surface water flood risk. You should therefore contact this authority so they can provide you with the most up to date information about surface water flood risk in your area.

You may also wish to consider contacting the appropriate relevant Local Planning Authority and/or water/sewerage undertaker for the area. They may be able to provide some knowledge on the risk of flooding from other sources. We are working with these organisations to improve knowledge and understanding of surface water flooding.


**APPENDIX 4**

**STRATEGIC FLOOD RISK ASSESSMENT FLOOD RISK MAP**





## Legend

-  Borough Boundary
-  Localised Drainage Issues
-  Flood Defences
-  Flood Zone 3b
-  Flood Zone 3a
-  Flood Zone 2

in association with



Metis Consultants Limited



Client



Project Title

London Borough of Richmond Upon Thames Strategic Flood Risk Assessment Level 1

Drawing Title

Risk of fluvial and tidal flooding within character area R1 - Barnes

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Drawing Number

FIGURE 1

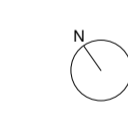
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**APPENDIX 5**

**EXISTING BUILDING LAYOUTS AND LEVEL DATA**

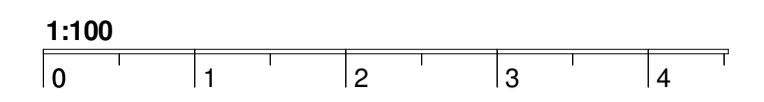




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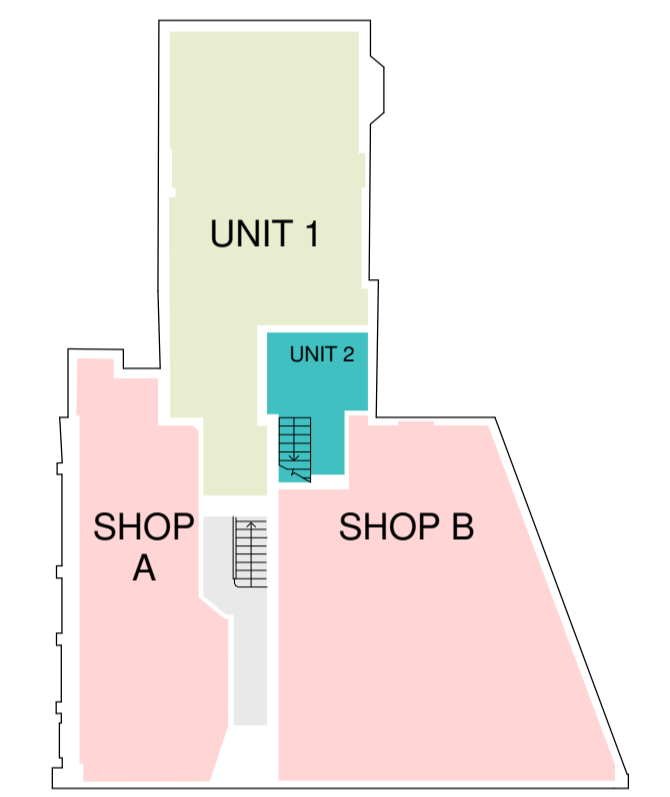


PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	EXISTING SITE PLAN		
DATE	SEPT 17	SCALE	1:200 @A1
DRAWN	JH	CHECK	CS
STATUS	PLANNING		
JOB NUMBER	AI - 2296		
DRAWING NUMBER	BRN - 002		



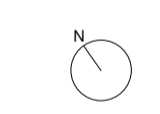
- KEY**
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  - ▲ ENTRANCE / ACCESS ROUTE
  - FFL 5.00 FINISH FLOOR LEVEL
  - + 5.00 SPOT HEIGHTS
  - RWO RAIN WATER OUTLET
  - SVP SOIL VENT PIPE
  - LP LAMP POST
  - ▨ EXISTING STRUCTURE

**KEY PLAN**



Unit Type	Name	Area	Unit Size
LEVEL 0			
RESIDENTIAL	UNIT 1	48 m <sup>2</sup>	1B2P
RESIDENTIAL	UNIT 2	9 m <sup>2</sup>	2B3P

Unit Type	Name	Area
COMMERCIAL	COMMERCIAL B	66 m <sup>2</sup>
COMMERCIAL	COMMERCIAL A	36 m <sup>2</sup>

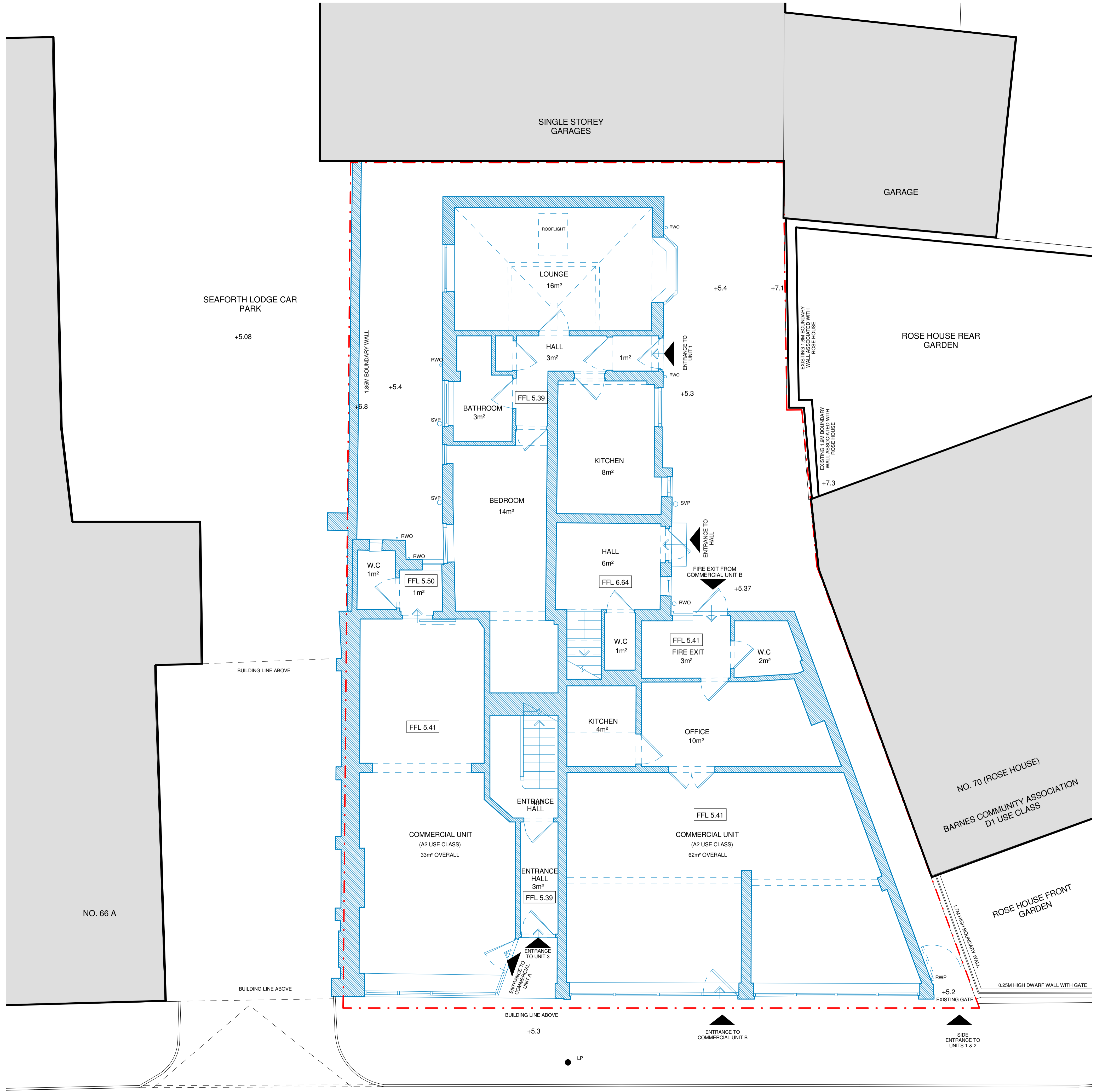


REVISION	NOTE	DATE	DRAWN



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DRAWN	JH	CHECK	CS
STATUS	PLANNING		
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DRAWING NUMBER	BRN - 010		

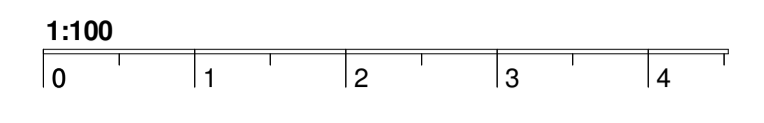
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**BARNES HIGH STREET**

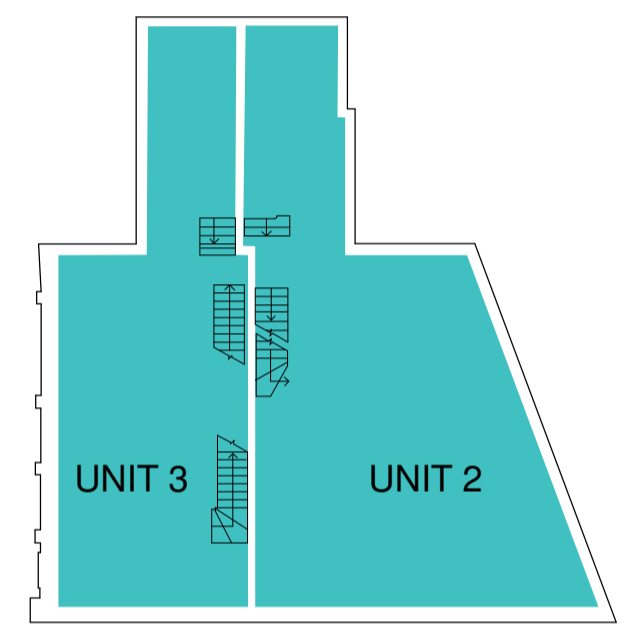


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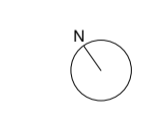


- KEY**
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  - + 5.00 SPOT HEIGHTS
  - RWO RAIN WATER OUTLET
  - SVP SOIL VENT PIPE
  - LP LAMP POST
  - ▨ EXISTING STRUCTURE

**KEY PLAN**



Unit Type	Name	Area	Unit Size
RESIDENTIAL	UNIT 2	84 m <sup>2</sup>	2B3P
RESIDENTIAL	UNIT 3	61 m <sup>2</sup>	2B3P

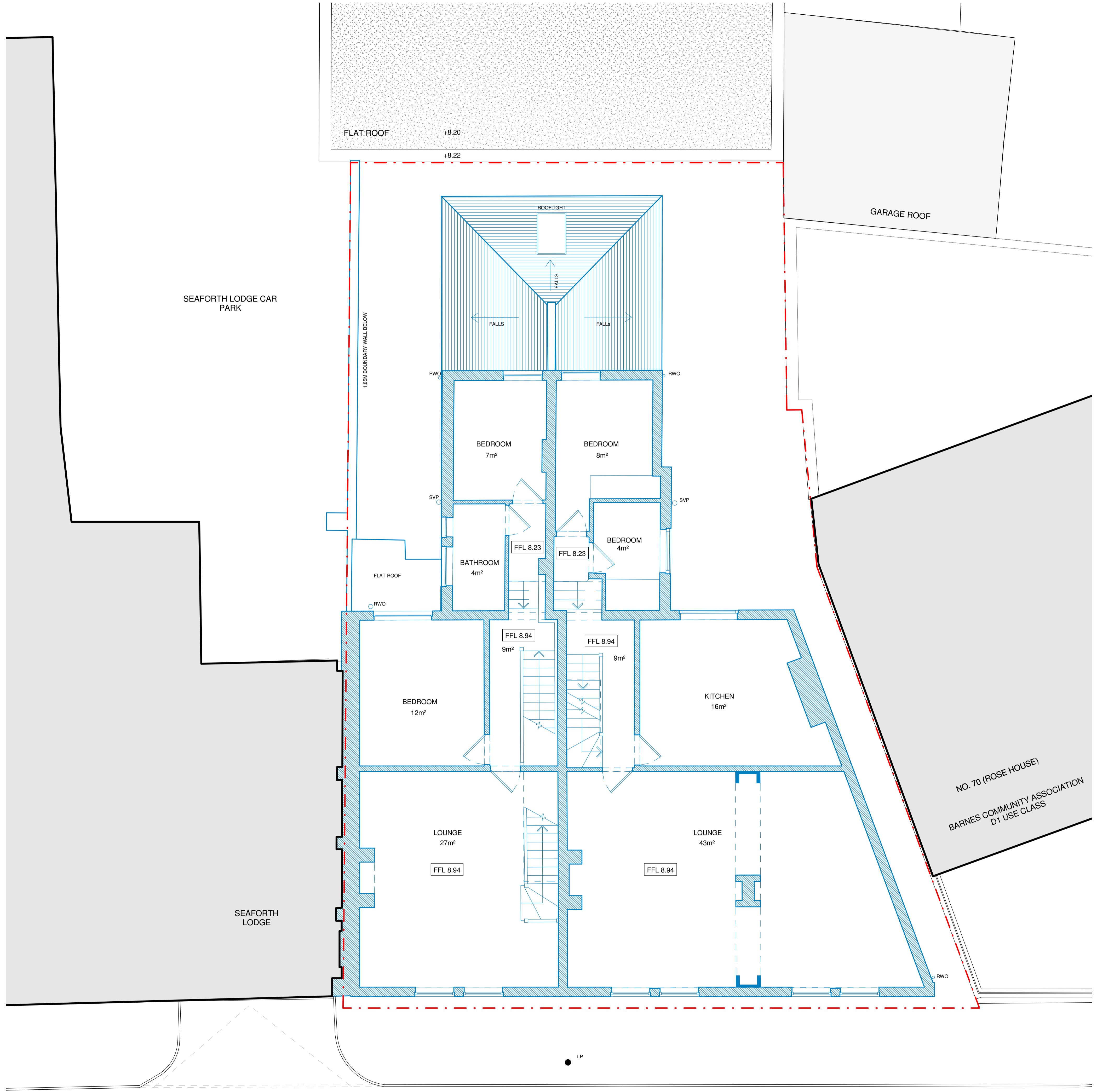


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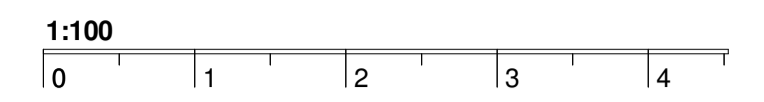
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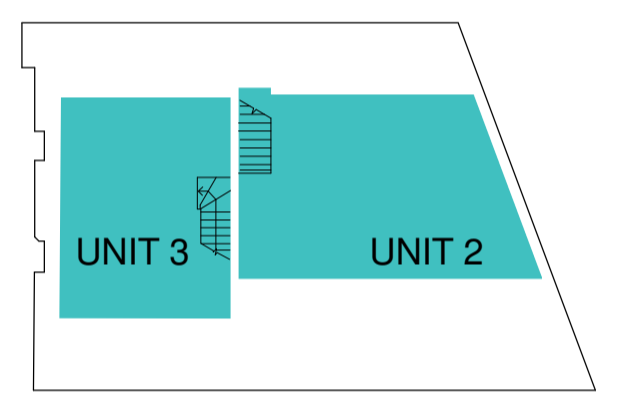
BARNES HIGH STREET



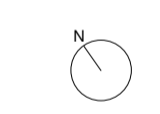


- KEY**
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  - ENTRANCE / ACCESS ROUTE
  - FFL 5.00 FINISH FLOOR LEVEL
  - + 5.00 SPOT HEIGHTS
  - RAIN WATER OUTLET
  - SOIL VENT PIPE
  - LAMP POST
  - EXISTING STRUCTURE

**KEY PLAN**



Unit Type	Name	Area	Unit Size
RESIDENTIAL	UNIT 2	35 m <sup>2</sup>	2B3P
RESIDENTIAL	UNIT 3	26 m <sup>2</sup>	2B3P



REVISION	NOTE	DATE	DRAWN



PROJECT 67-69 BARNES HIGH STREET

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DATE SEPT 17 SCALE 1:100 @A3

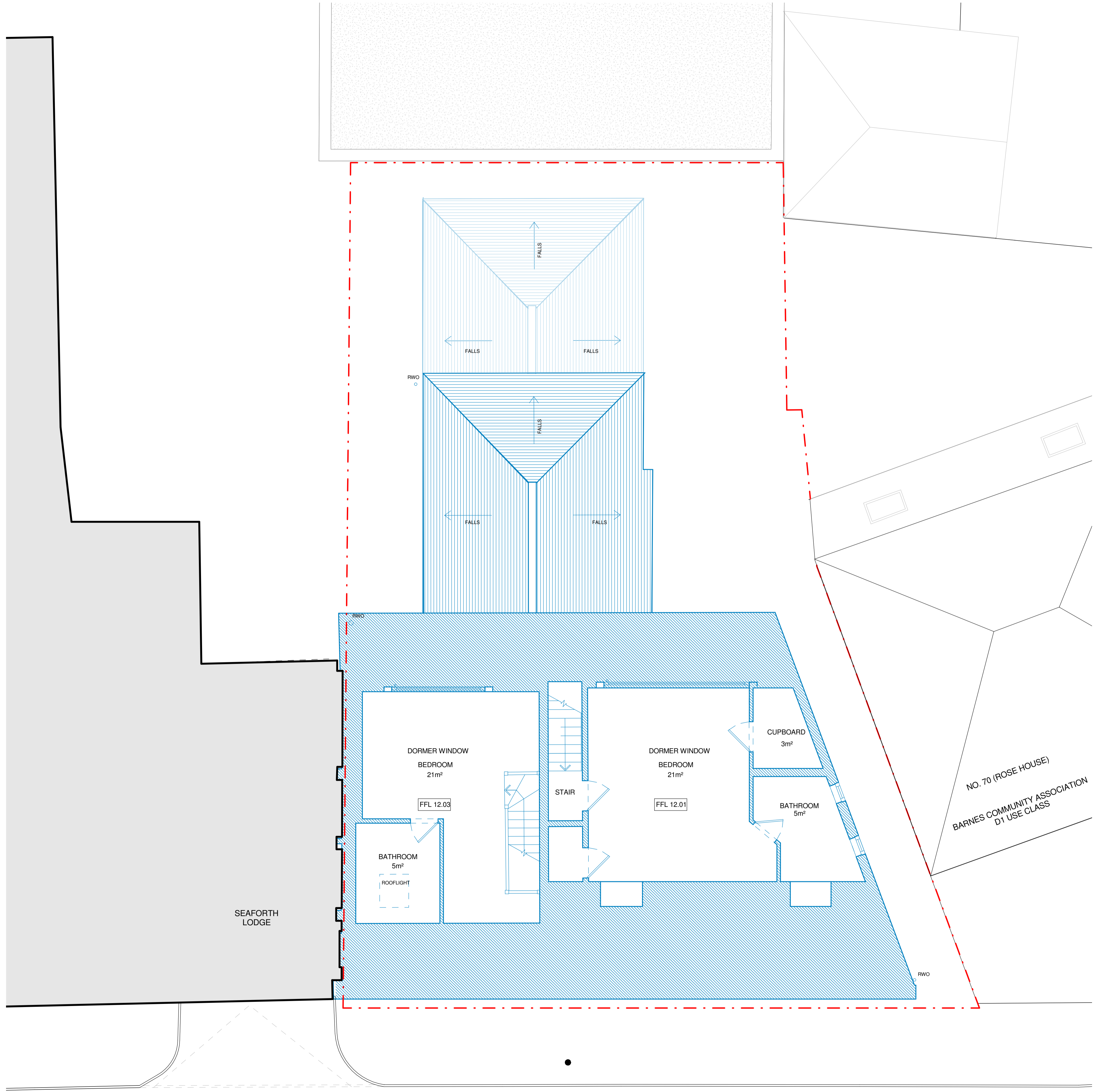
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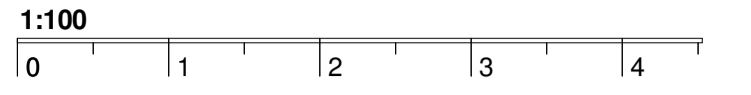
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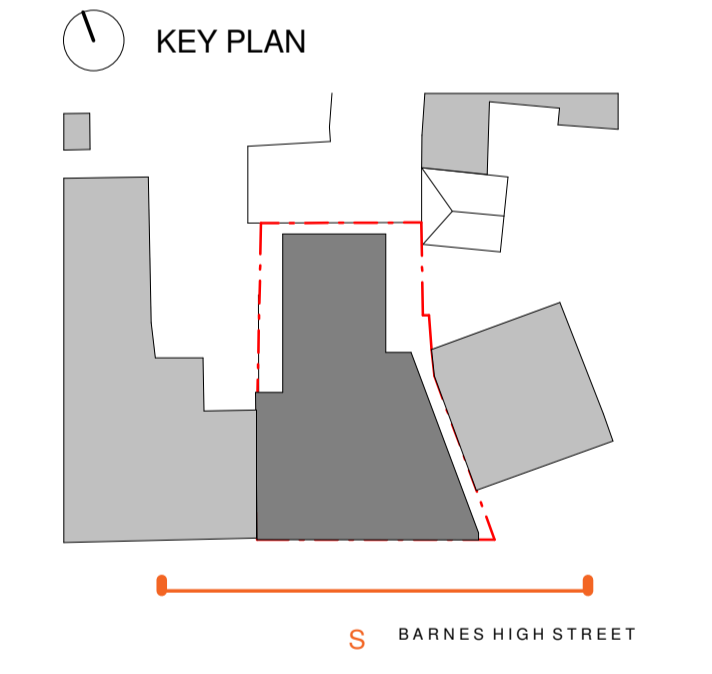


BARNES HIGH STREET

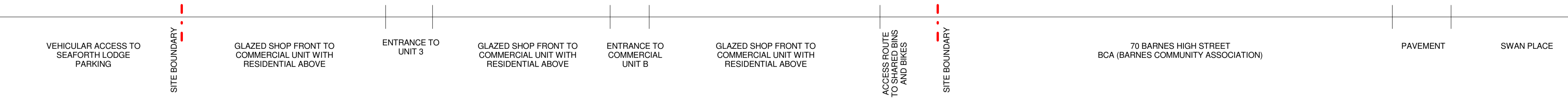


**KEY**  
 - - - APPLICATION BOUNDARY

- 1 RENDERED FINISH TO GRADE II LISTED BUILDING
- 2 EXISTING ROOFLIGHT
- 3 EXISTING DOUBLE GLAZED PVC OPENABLE WINDOWS
- 4 EXISTING SLATE TILED ROOF
- 5 DARK RED BRICKWORK
- 6 EXISTING SHOP FRONT SIGNAGE TO COMMERCIAL UNITS
- 7 OBSCURED WINDOWS
- 8 EXISTING DORMER WINDOWS
- 9 STONE LINTELS ABOVE WINDOWS
- 10 EXISTING FIRE EXIT
- 11 CANOPY TO GROUND FLOOR COMMERCIAL UNITS
- 12 EXISTING SIDE GATE ENTRANCE TO REAR OF BUILDING
- 13 BAY WINDOW
- 14 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
- 15 VEHICULAR ACCESS TO SEAFORTH LODGE CAR PARK
- 16 EXISTING ENTRANCE TO RESIDENTIAL UNITS ABOVE
- 17 RENDERED FINISH



REVISION	NOTE	DATE	DRAWN



EXISTING SOUTH ELEVATION

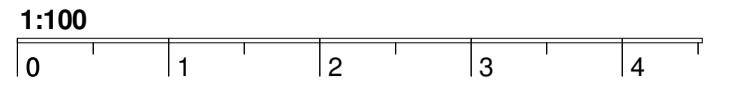
SITE APPLICATION



PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	EXISTING SOUTH ELEVATION		
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DRAWN	JH	CHECK	CS
STATUS	PLANNING		
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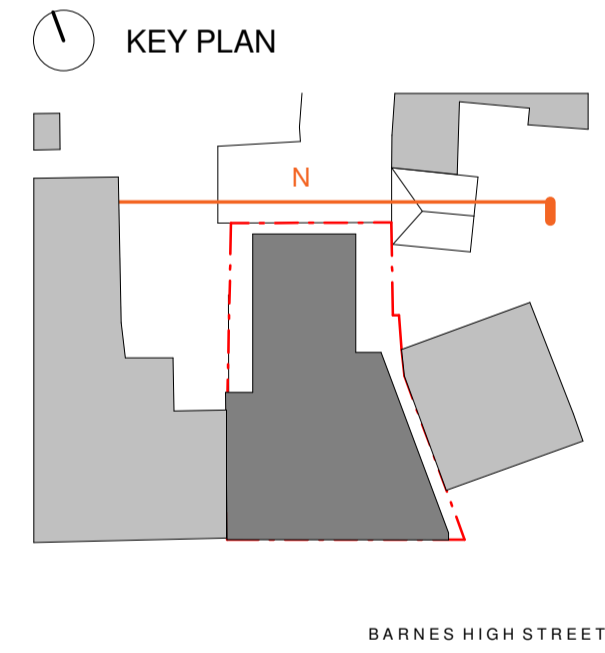
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**KEY**  
 - - - APPLICATION BOUNDARY

- 1 RENDERED FINISH TO GRADE II LISTED BUILDING
- 2 EXISTING ROOFLIGHT
- 3 EXISTING DOUBLE GLAZED PVC OPENABLE WINDOWS
- 4 EXISTING SLATE TILED ROOF
- 5 DARK RED BRICKWORK
- 6 EXISTING SHOP FRONT SIGNAGE TO COMMERCIAL UNITS
- 7 OBSCURED WINDOWS
- 8 EXISTING DORMER WINDOWS
- 9 STONE LINTELS ABOVE WINDOWS
- 10 EXISTING FIRE EXIT
- 11 CANOPY TO GROUND FLOOR COMMERCIAL UNITS
- 12 EXISTING SIDE GATE ENTRANCE TO REAR OF BUILDING
- 13 BAY WINDOW
- 14 EXISTING TRADITIONAL BRICK CHIMNEY STACK TO BE RETAINED
- 15 VEHICULAR ACCESS TO SEAFORTH LODGE CAR PARK
- 16 EXISTING ENTRANCE TO RESIDENTIAL UNITS ABOVE
- 17 RENDERED FINISH



REVISION	NOTE	DATE	DRAWN

SWAN PLACE  
 REAR OF 70 (ROSE HOUSE)  
 BARNES HIGH STREET  
 BCA (BARNES COMMUNITY ASSOCIATION)  
 GRADE II LISTED

GARAGES TO THE REAR OF ROSE HOUSE

SITE BOUNDARY

68-69 BARNES HIGH STREET  
 SITE APPLICATION

SITE BOUNDARY

REAR CAR PARK SERVING SEAFORTH LODGE

SEAFORTH LODGE

EXISTING NORTH ELEVATION



PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	EXISTING NORTH ELEVATION		
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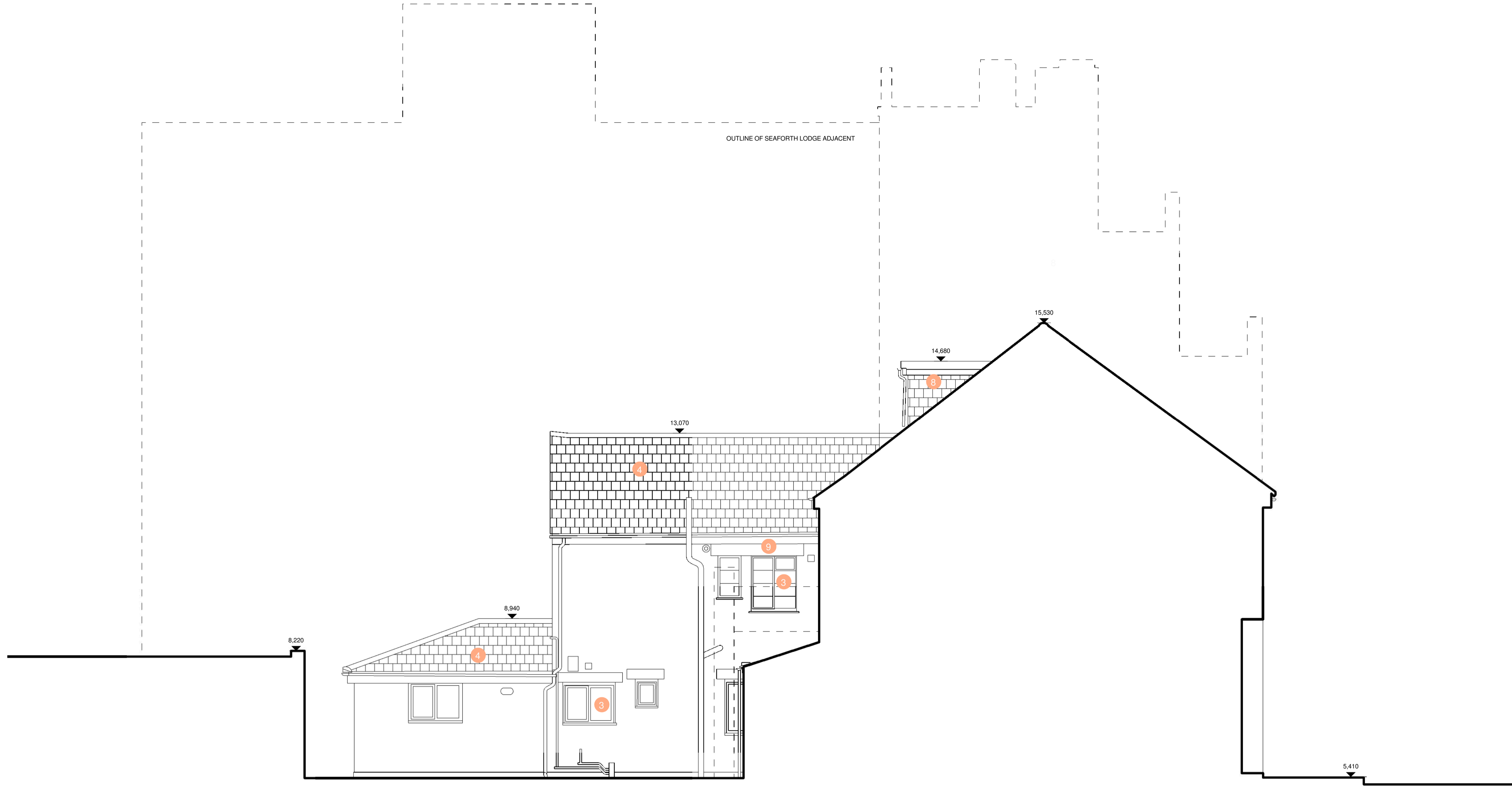
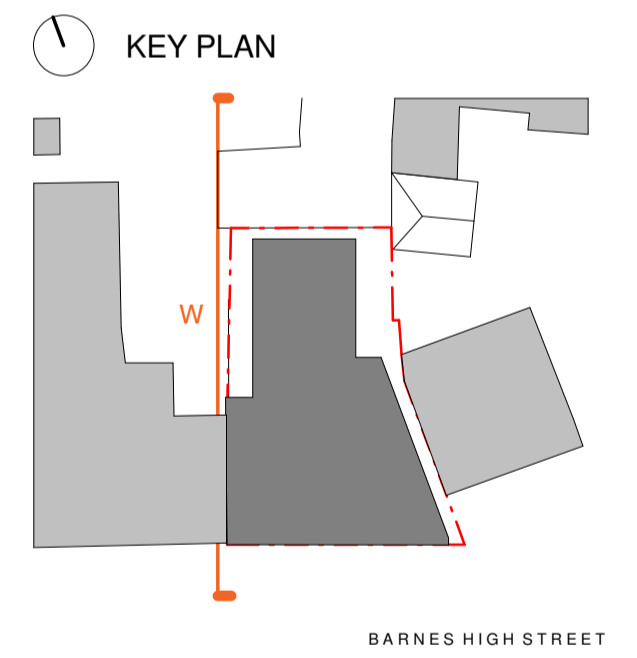
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KEY

--- APPLICATION BOUNDARY

- 1 RENDERED FINISH TO GRADE II LISTED BUILDING
- 2 EXISTING ROOFLIGHT
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- 16 EXISTING ENTRANCE TO RESIDENTIAL UNITS ABOVE
- 17 RENDERED FINISH



SITE BOUNDARY

68-69 BARNES HIGH STREET  
SITE APPLICATION

SITE BOUNDARY

PAVEMENT BARNES HIGH STREET

EXISTING WEST ELEVATION

REVISION	NOTE	DATE	DRAWN



PROJECT	67-69 BARNES HIGH STREET		
DRAWING TITLE	EXISTING WEST ELEVATION		
DATE	SEPT 17	SCALE	1:100 @A3
DRAWN	JH	CHECK	CS
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