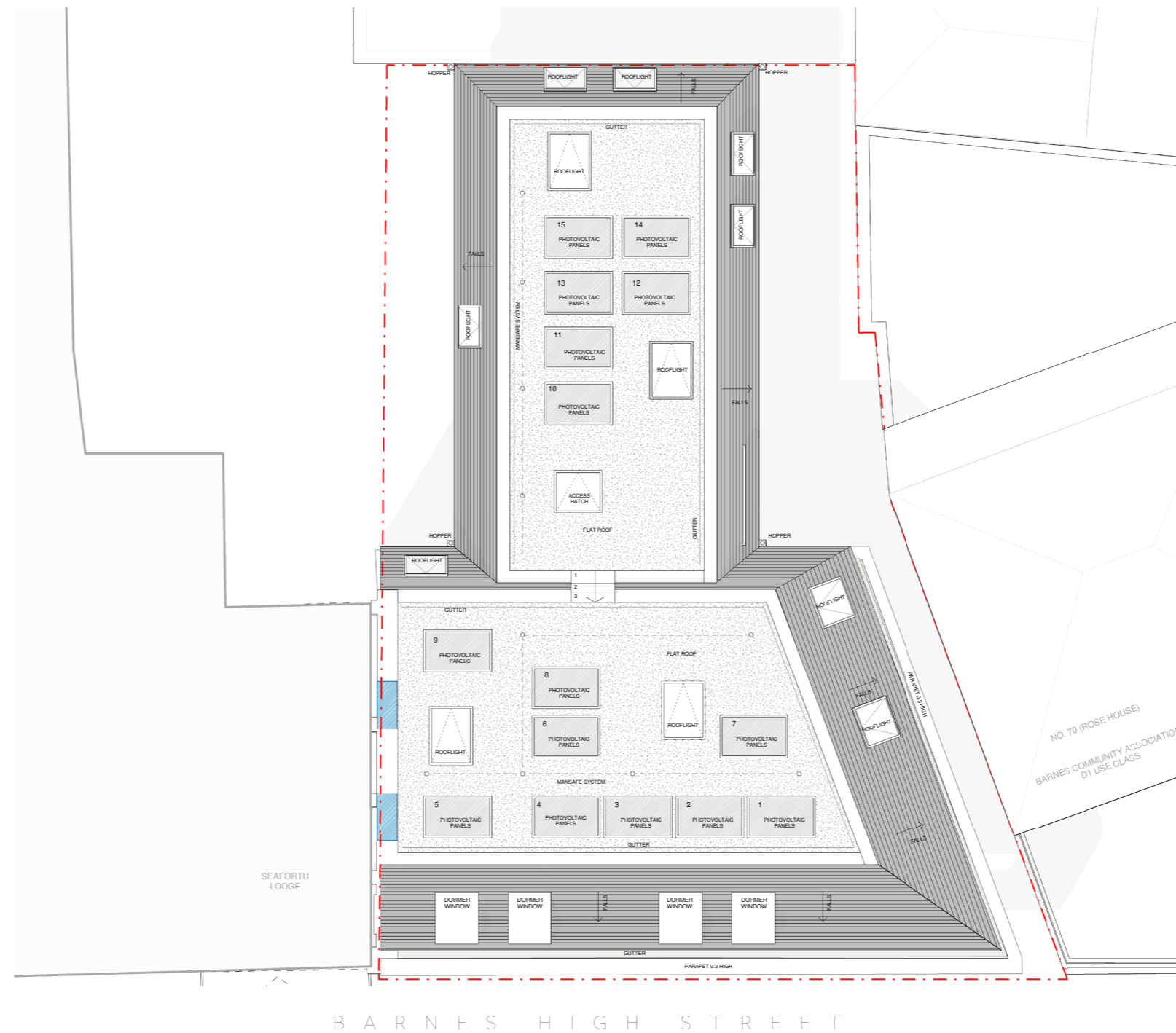


3.2 LAYOUT



ROOF LEVEL

The roof is separated onto two levels. The front element that faces onto Barnes High Street is the higher 'main' building that directly matches the existing eaves and ridge datums.

The rear element has been designed to sit approximately 550mm lower than the front element. In this way the overall shape, size and position of the rear extension does not dominate the front element. The pitched roof creates a continuation and harmonises the two elements with a consistent eaves line.

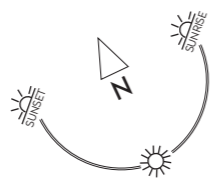
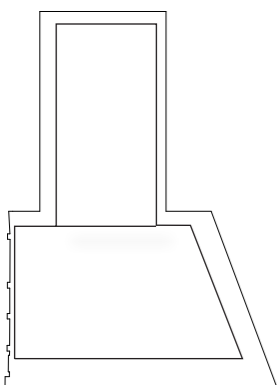
The roof that faces onto Barnes High Street has four dormer windows that relate to the vernacular set up by the neighbouring properties within the local context. A natural slate roof also complements and responds to local precedent.

Roof lights are proposed to bring additional natural daylight to the units on the second floor and there are 15 photovoltaic panels (PV) proposed as part of the energy strategy that seeks to improve the buildings sustainability credentials.

Safe access is available for maintenance via a roof access hatch that sits above the landing at the top of the main communal stair on the second floor. A man-safe system is currently proposed to ensure that those accessing the roof are safe. Stairs are proposed to allow movement between the two varying roof heights.

LEVEL

R



3.3

FORM, SCALE + APPEARANCE



KEY PLAN



PROPOSED SOUTH ELEVATION

When considering the form and scale of the proposal within its surrounding context, two main horizontal datums were taken into consideration: The horizontal alignment of existing eaves line and the existing ridge line. These datums are apparent on both the adjacent neighbouring properties, creating a successful transition between the 3 storey Rose House and the 6 storey Seaforth Lodge.

The mass of the existing building has been shown with a blue dashed line. This clearly highlights the change in overall massing of the proposal. The introduction of a pitched roof on the

east elevation has reduced the impact on the neighbouring listed building (Rose House). This can be seen on the drawing above where the blue dashed line represents the existing building line.

KEY

- 1 New aluminium dormer windows to second floor residential units
- 2 New aluminium window
- 3 Rendered finish (colour TBC)
- 4 Slate tiled roof to match existing
- 5 Parapet height to match neighbouring properties
- 6 Grade II listed Rose Cottage
- 7 Pink rendered finish
- 8 New residential entrance to units 1-7
- 9 Dark red brickwork of Seaforth Lodge
- 10 Existing signage to commercial units at ground floor
- 11 Access gate to shared bin and bike store
- 12 Existing traditional brick chimney stack to be retained
- 13 6 storey neighbouring property, Seaforth Lodge
- 14 Single storey garage to the rear of the site
- 15 Canopy to commercial units at ground floor
- 16 New boundary wall
- 17 Metal coping to parapet wall
- 18 Soldier course brick detail
- 19 New aluminium roof lights to residential units

3.3

FORM, SCALE + APPEARANCE

The 3D visualisation on the right provides a direct comparison between the existing and proposed condition, and demonstrates how the scheme positively contributes to the street scape along Barnes High Street. The proposal looks at creating a contemporary solution that harmonises with the neighbouring residential housing stock of the immediate context.

The most prominent colours/materials evident in the area are red brick and pale/painted white render/stone. With this in mind, it is proposed that the development will be finished in render (colour TBC), to match the listed buildings in the local context, with a dark slate tiled roof to match the existing condition.

It is assumed that materials proposed will be subject to condition.

The proposed development is three storeys with regular window proportions, mansard roof and a strong ground floor datum line. The neighbouring properties along Barnes High Street have a strong shop front datum and this has been continued with our proposal.

The overall massing of the proposal is reflective of the existing properties along the High Street and therefore, critically, from street level, the character of High Street is maintained and enhanced.



KEY PLAN



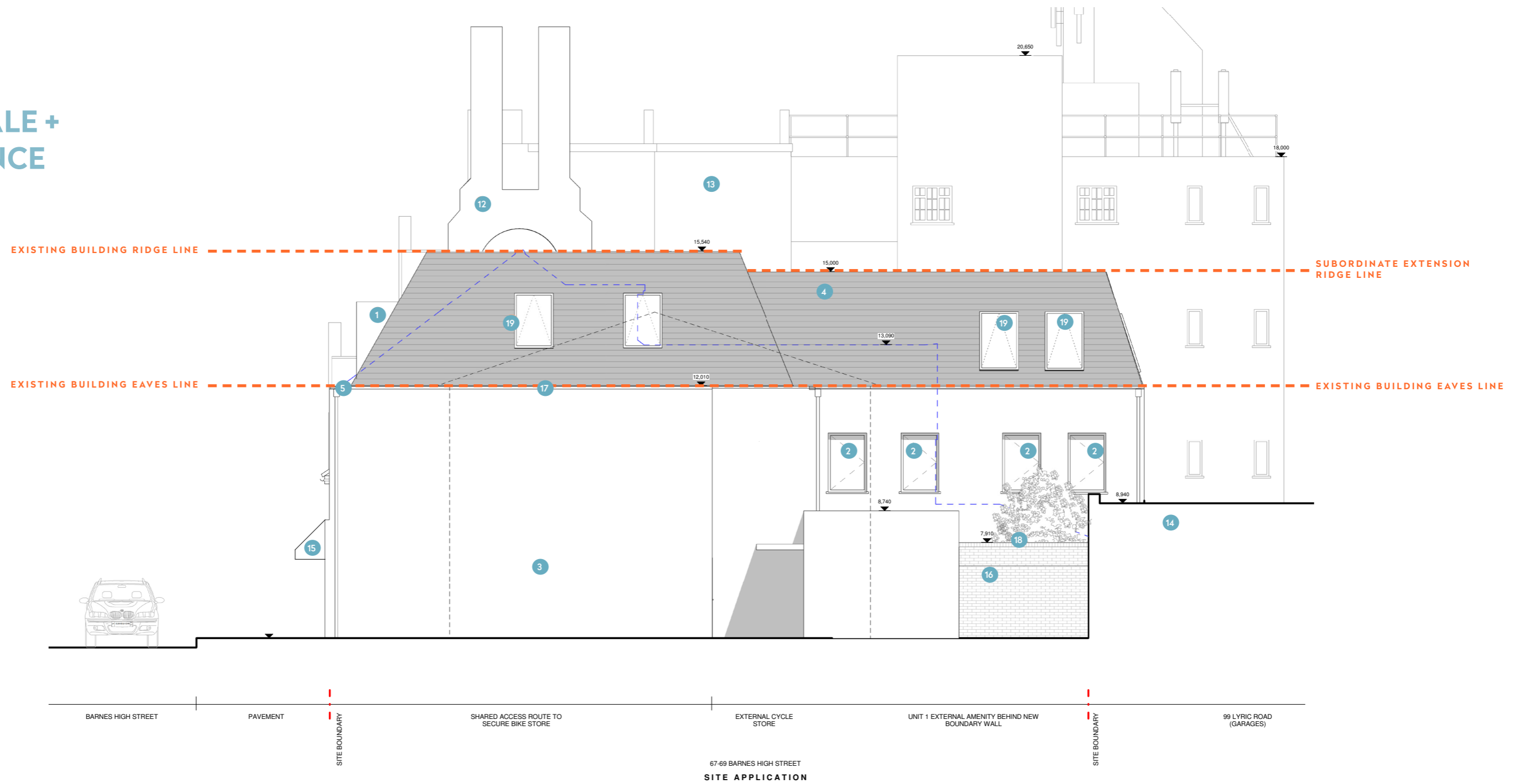
Photograph of existing building looking south west along Barnes High Street.



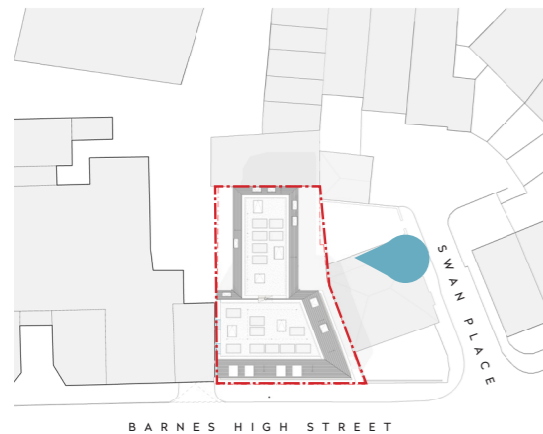
CGI visualisation of proposed scheme looking south west along Barnes High Street.

3.3

FORM, SCALE + APPEARANCE



KEY PLAN



PROPOSED EAST ELEVATION

As has previously been explained, the eaves and ridge height of the proposal line up consistently with both the existing building and Rose House through creating a common datum along Barnes High Street

The massing to the rear of the site is in line with the existing footprint. In line with the SPG 'House Extensions and External Alterations' the element to the rear appears to step down.

Windows facing out on this elevation are over the 20m facing distance between habitable rooms

and therefore do not require any further obscuring.

The window proportions are consistent with the proportions proposed on the south elevation and local context.

KEY

- 1 New aluminium dormer windows to second floor residential units
- 2 New aluminium window
- 3 Rendered finish (colour TBC)
- 4 Slate tiled roof to match existing
- 5 Parapet height to match neighbouring properties
- 6 Grade II listed Rose Cottage
- 7 Pink rendered finish
- 8 New residential entrance to units 1-7
- 9 Dark red brickwork of Seaforth Lodge
- 10 Existing signage to commercial units at ground floor
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