

Constraints + Opportunities

Having developed an understanding of the site and context, the design team sought to identify the constraints and opportunities inherent to the site.

The key physical site constraints are the changes in level from the north to south of Water Lane, the juxtaposition of the existing neighbouring buildings on King Street and Water Lane, as well as how to respond to the context and character of the Conservation Area.

Conversely there is an opportunity for the development to make a positive contribution to the distinctive local character of Twickenham, as well as reinforcing the character of the conservation area, in a way that the existing buildings on site do not.

There is the opportunity to enhance the existing public realm and create a new high quality public square overlooking the river which will provide a high quality public amenity space maximising the potential of the riverside setting. This can be reinforced by creating better connectivity and permeability with Diamond Jubilee Gardens.

There is also the opportunity to increase the width of Water Lane to open up the view, and enhance the pedestrian experience, from King Street to the River.

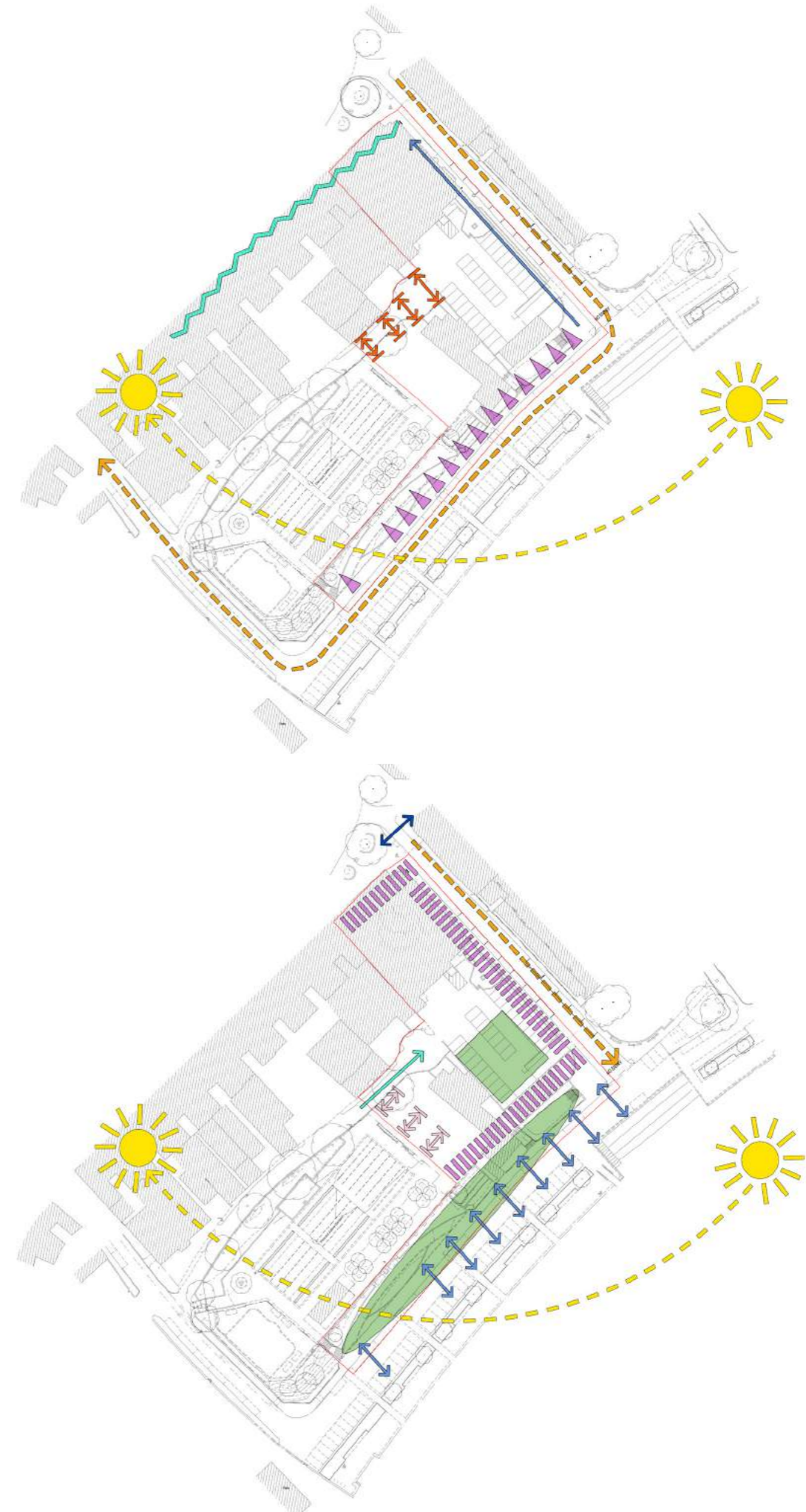
The existing buildings across the site have few active street edges and there is the opportunity to create new active frontages around the site with an emphasis on retail and leisure.

Site Constraints

- One way road 
- Close proximity to buildings 
- Sun path 
- Level change/banked area 
- Existing Retail 
- Gradual slope across site 

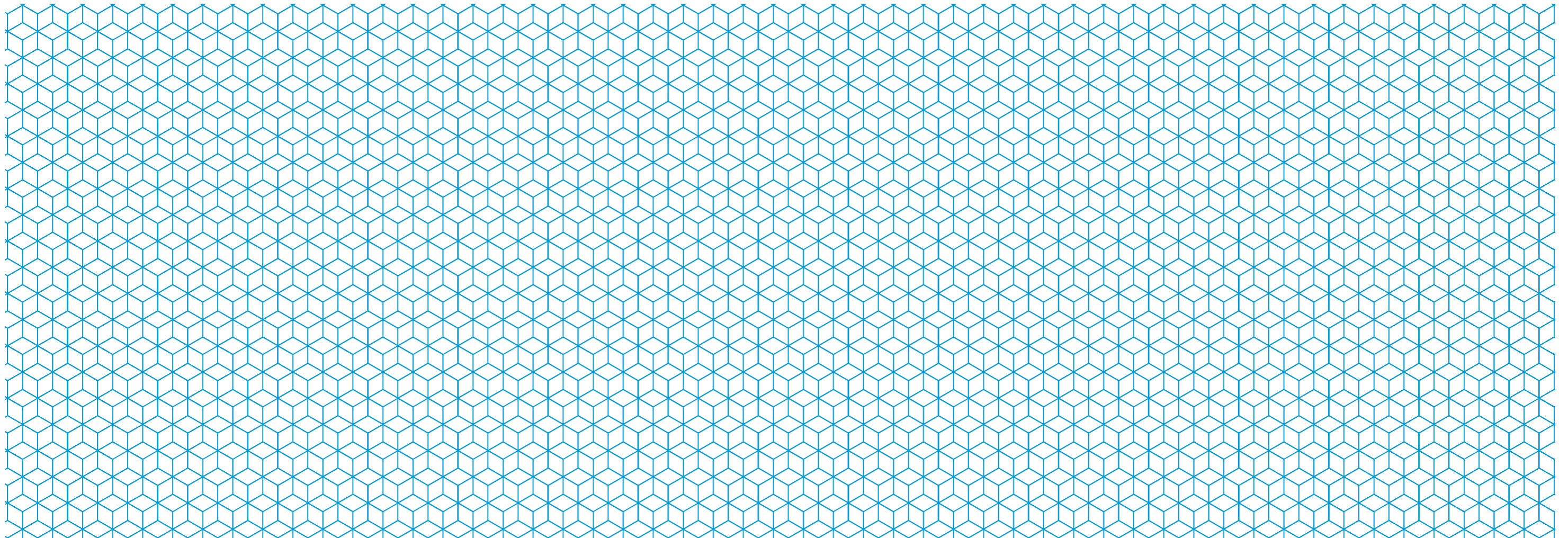
Site Opportunities

- Active street frontage 
- Optimise view to the river 
- Potential for green space & Town Square 
- Interaction & views of Diamond Jubilee Gardens 
- Service access 
- Widen view at top of water lane 
- Sun Path 



03

Key Planning Policy Context

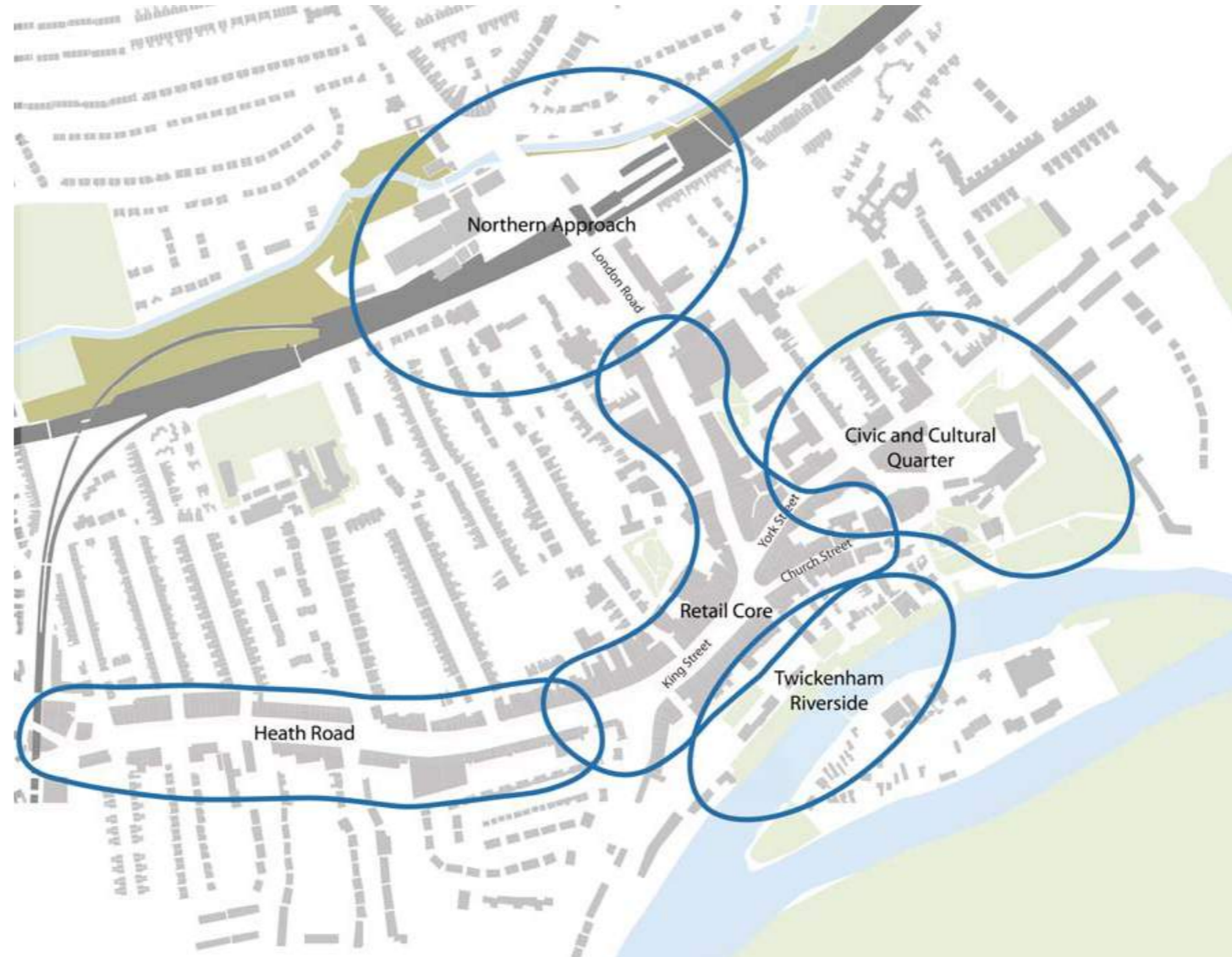


Key Planning Policy

The Planning Statement has been prepared by ECE Planning and this section should be read in conjunction with this document.

The Planning Statement provides a summary of relevant adopted and emerging plans, policies and guidance documents. This includes an assessment of National and Regional Policy from the National Planning Policy Framework and London Plan through to locally adopted and emerging policy from the London Borough of Richmond upon Thames Core Strategy, Development Management Plan, Twickenham Area Action Plan (TAAP) and the myriad of Supplementary Planning Documents. The emerging Local Plan has also been considered within the Planning Statement.

The policy framework has been fully considered throughout the design of this proposal as discussed and evidenced within in the supporting documentation.



TAAP Opportunity Areas

Key Planning Policy

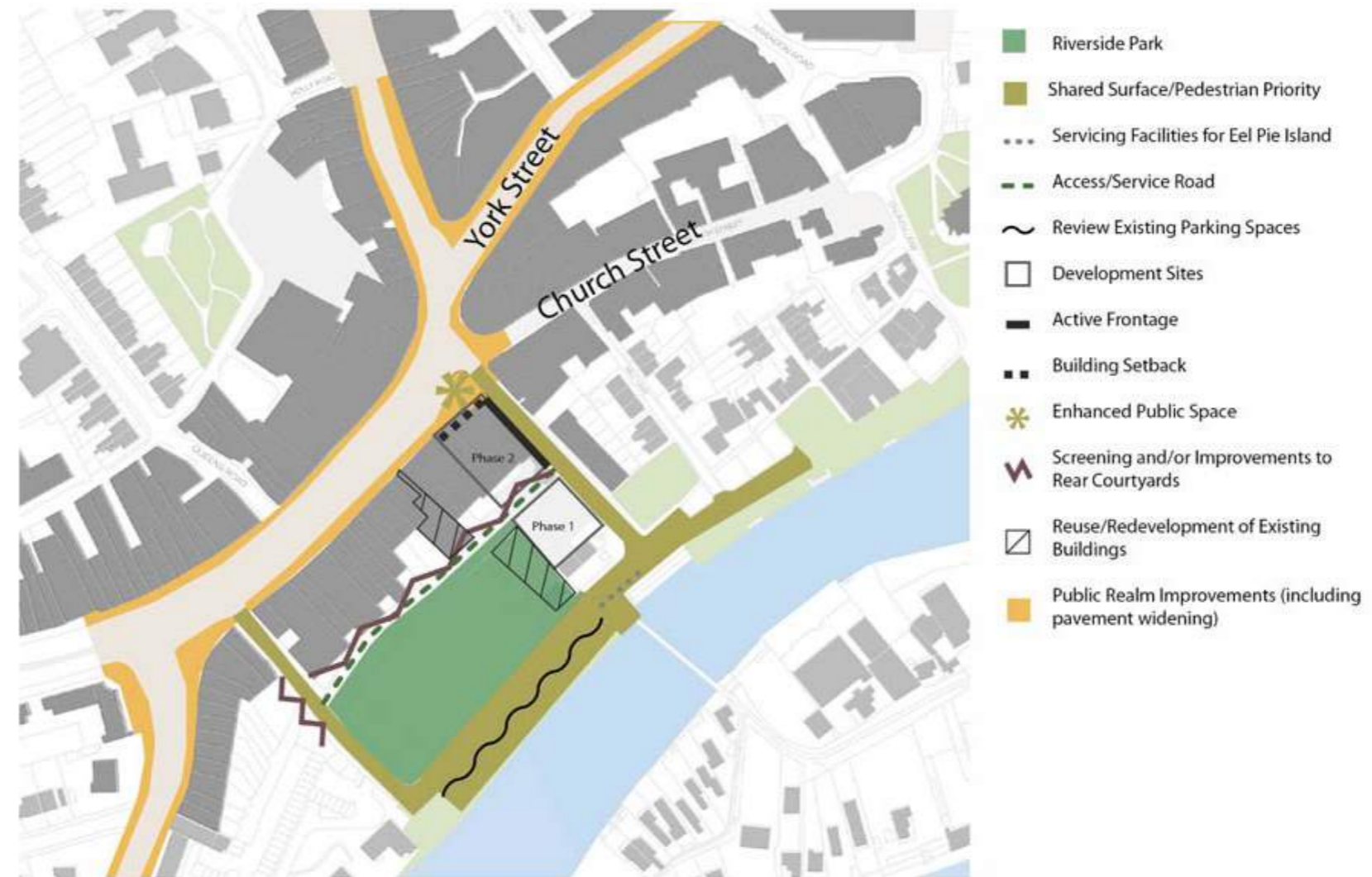
As set out within the Planning Statement, The Twickenham Area Action Plan (TAAP) provides the detailed site specific land use policy for the site and is allocated under site TW 7. The proposal has sought therefore to address the relevant requirements and objectives of the TAAP as a priority. The aim of the TAAP for Site TW 7 (within which the application site falls) is to bring this derelict site back into active use, taking advantage of its riverside location and improving links between this area and the town. The specific design guidelines of the TAAP are set out below:

- o Create a destination on the riverside with high quality facilities/events;
- o Enhance and extend Diamond Jubilee Gardens with high quality landscaping, children’s play space and performance/events space, on site of former swimming pool;
- o Along the Embankment to upgrade the areas of open space, create a pedestrian priority area and review the car parking provision;
- o Retention of significant trees;
- o Creation of pedestrian priority area on Water Lane and Wharf Lane to extend the ambiance of Church Street to riverside;
- o Development on Water Lane frontage to complement existing residential development and to include town centre uses where feasible.
- o • Future redevelopment of 1, 1a and 1b King Street to include set back of building at junction with Water Lane to create enhanced public space with views towards the river where possible.
- o • Design of new development to respect character of

Conservation Area and to minimise impact on residential amenity;

- o Promote improvements to rear courtyards of properties in King Street;
- o Encourage reuse or redevelopment of buildings to rear of King Street to create active frontage onto improved service yard.

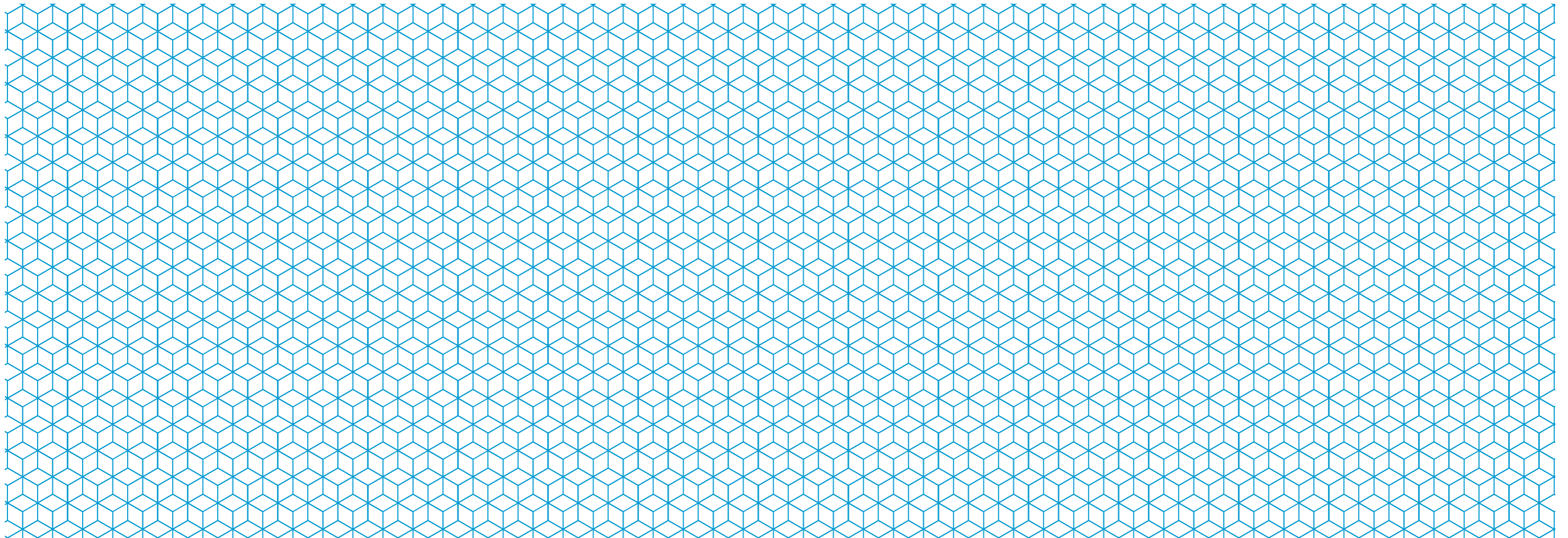
Further design aspirations are described within the TAAP and as described within the Planning Statement and the proposal has been designed to meet these aspirations as far as possible.



Twickenham Riverside and Approaches Principles

04

Consultation + Engagement



Consultation + Engagement

From the outset, Twickenham Rediscovered has adopted an approach that ensured that residents, local interest groups and businesses could input their views in the process.

LBRuT, and those appointed to the design team, have aimed to achieve exemplary practice in community involvement, engaging with local residents in matters that impact and concern them.

The objectives set for the community involvement programme were to ensure that stakeholders could:

- o Have access to information about the scheme
- o Put forward their own ideas
- o Comment on proposals as they were refined in preparation for the submission of a planning application
- o Gain feedback and be informed about progress and outcomes.

The Council first went out with a proposal for the site in 2015, following the purchase of the properties on King Street and Water Lane in 2014, but engagement on Twickenham started in 2010 with the Barefoot Consultation followed by the Twickenham Conference, All in One Survey and subsequent consultations that led to the adoption of the Twickenham Area Action Plan (TAAP) in 2013.



Public Consultation

Public Consultation

Since 2015 there have been four rounds of formal public consultation. Over the summer of 2016 we ran a consultation on the key development issues and a series of themed workshops, which informed the development of three proposals presented to the community and interested stakeholders in November/December 2016. The products of this engagement helped inform the proposal which was presented to the community and stakeholders in June/July 2017. Following that, the designs were further developed to reflect the community's and stakeholders' feedback and were consulted on in October 2017.

During these consultations residents were given the opportunity to comment through surveys and at drop in sessions, including the opening of a pop-up shop in Church Street and events in York House. The Council also engaged with a number of stakeholder groups, including community groups, voluntary organisations, business groups, young people, to name a few.

The community and interested stakeholders were kept informed about consultations in a number of ways, and while methods changed over time, the following are good examples: flyers delivered to households, media briefing and subsequent press releases in local paper, Council website, posters, Council's social media platforms, and more.

Following each period of consultation a report was made available, these can be accessed as follows:

www.richmond.gov.uk/Twickenham Rediscovered_background

These reports helped inform design development and included comments on design, scale, layout, style, uses, integration with the Diamond Jubilee Gardens, landscaping, access and parking, amongst others.

CONSULTATION TIMELINE



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DESIGN STATUS AND PLANNING APPLICATION

Design Status

We are working towards the submission of a detailed Planning Application for the end of November 2017. The project design is following the work stages set out by the Royal Institute of British Architects (RIBA) - The RIBA Plan of Work 2013 - and is currently at RIBA work stage 3 which will result in a final Developed Design, including coordinated and updated proposals for structural design, building services systems, outline specifications and cost information. This is the information required for the proposed detailed Planning Application. Further design development, which will take into consideration comments from the community, will be subject to decisions made by Cabinet.

Twickenham Area Action Plan

Twickenham Riverside has long been established as a key regeneration site of strategic importance. The planning context for the site is set out within the Twickenham Area Action Plan under Site TW 7 - Twickenham Riverside.

To bring this derelict site back into active use, taking advantage of its riverside location and improving links between this area and the core of the town.

The various objectives relevant to the application site are referenced throughout the Twickenham Area Action Plan have been summarised below:

- Maintain ground floor retail frontages on King Street and provide residential units above
- Provide new specialist retail, leisure and community uses
- Create a range of new open spaces
- Improve the Water Lane and Wharf Lane links from the town centre to the Embankment
- Provide a link between the service road and Water Lane
- To provide a link between the design and the unique setting
- Redevelopment on King Street with setback or inset to create a public / civic space with active frontage at ground floor level and residential development above
- Height and design of proposals appropriate to the location of the site
- Development on Water Lane to complement existing residential development and to include town centre uses where feasible

The proposals presented here seek, as far as possible, to address these objectives.

Proposed Planning Application

The Planning Application will be accompanied by a set of supporting technical documents including a Flood Risk Assessment, Design and Sunlight Report, Transport Study etc. The studies and technical input will demonstrate how the proposals are acceptable in Planning terms and will continue to influence the design proposals as they evolve.

Following this consultation on the Developed Design proposals, a further period of formal public consultation will take place shortly after the Planning Application submission has been validated by the local authority planners. The current target date for the detailed Planning Application is the end of November 2017.

Map 7.12 Twickenham Riverside and Approaches Principles (TAAP, p. 56)

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EXISTING SITE

The proposal site is shown edged in red adjacent. The site includes:

- 1, 1A, 1B King Street and 214 Water Lane that were acquired by the Council in 2014
- the site of the remaining former swimming pool buildings on the riverside (which has been derelict for over 30 years), and
- a new building parcel of land in front of Diamond Jubilee Gardens

The green edging indicates the area covered by Plan TW 7 of the Twickenham Area Action Plan (a copy of the TAAP can be found at www.richmond.gov.uk/Twickenham_Area_Action_Plan). This was adopted by the Council on 24 July 2013. Diamond Jubilee Gardens adjoins the site. The Gardens are leased and managed by the Twickenham Riverside Trust and is not part of the proposed application site. However, a key aim of the proposals is to enhance access to the Gardens from King Street, Water Lane and the Embankment.

KEY

- GREEN LINE INDICATES AREA SERVED BY PLAN TW 7 OF THE TAAP
- RED LINE INDICATES ACTUAL SITE
- RED LINE INDICATES POTENTIAL SITE FOR BUILDING DEVELOPMENT
- RED LINE IN COUNCIL OWNERSHIP
- RED LINE INDICATES THE COUNCIL ACQUIRED IN 2014

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PROPOSED SITE PLAN

Further to the feedback from the last public consultation, the Council has reviewed the footprint of the scheme and how the building elements respond to the local context. As can be seen the footprint has been reduced.

The proposed masterplan highlights key aspects of the scheme which have been improved based on community feedback whilst still meeting the requirements of the original brief. The below outlines these improvements:

- Retaining a colonnade at King Street and wider pedestrian routes down Water Lane to improve the connection between the River and King Street.
- Introduction of a substantial square, just under the size of two tennis courts, on the corner of Water Lane and the Embankment. This significantly reduces the footprint of the building directly facing the Embankment.
- Review of servicing facilities to the rear of King Street, introducing a serving road that allows for ease of maintaining and servicing all the buildings. As per the previous proposals, the service road will be controlled at the Wharf Lane end to limit the time of day and type of vehicles that have access.
- Proposal for refined landscaping which complements the existing Diamond Jubilee Gardens as well as optimising uses of the square. This includes landscape treatments to the walls facing Water Lane and the Embankment to soften the appearance.
- Flexible commercial space is to be provided at ground floor on all buildings, with predominantly residential / cafe uses surrounding the square. This will bring activity to the square creating a central hub that will provide the opportunity for retail, office space and community uses.
- Proposed visitor cycle storage located on Water Lane, the Embankment, King Street and around the square, in addition to provision for the new residential and commercial uses (located in the under-podium car park).
- Proposed seasonal units, 'booths' to the Embankment frontage.

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LANDSCAPE & PUBLIC REALM 2

The above image shows what some of the landscaping could look like. To the left is the informal walkway from the Embankment to Diamond Jubilee Gardens, which was the preferred option from the last consultation. The terrace, in front of what is likely to be a cafe or restaurant, will have benches and planters, offering a place to sit and enjoy the view of the River, the fact that it is raised allows for a better river panorama. To the right of the image is the square which is named by 'masts'. These 'masts' relate to the River location, as well as providing a source of light with lights built into them, for evening events. Below the 'masts' is an area of planting that will offer seating looking into the square and help to further frame the space.

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SERVICING, ACCESS AND PARKING

Existing Arrangements

The diagram shows the current parking provision in the area surrounding the site, which includes a mixture of resident, shared use, pay and display and business bays. Key areas for servicing and deliveries include the service road at the back of the King Street steps and three dedicated loading bays near El Pit Island Bridge.

The current traffic arrangement allows one-way traffic on Water Lane and Wharf Lane (with a contraflow cycle lane), whilst two-way traffic is permitted along the Embankment and along the service road. It is essential to recognise the role that these streets play in serving all road users, including pedestrians, cyclists and drivers. The Embankment, in particular, is crucial for local residents and businesses, including those on El Pit Island, as it caters for essential traffic movements in the area and attracts large numbers of visitors, particularly in the summer months.

Traffic and parking surveys were undertaken in November 2015, June 2016 and November 2016.

Key findings from surveys:

- All their busiest, the parking bays on Water Lane, Wharf Lane and the Embankment are 80% utilised.
- Resident bays are used the most (84%-100% utilisation)
- There is spare capacity in shared use and pay and display bays
- There is spare capacity in Church Lane Car Park and on Riverside
- Loading arrangements should be improved to minimise conflict with pedestrians and cyclists
- Existing service road traffic should be minimised

	Existing	Proposed
Shared Use	63	43
Pay & Display	8	2
Business	7	7
Residential	14	13
Loading	3	5
Motorcycle	1	1
Ice cream	1	1

Key

- Resident and P+D bay
- P+D bay
- Business bay
- Motorcycle bay
- Loading bay
- Residential only bay
- ST171 permit bay

Existing versus proposed parking (see next board for proposed)

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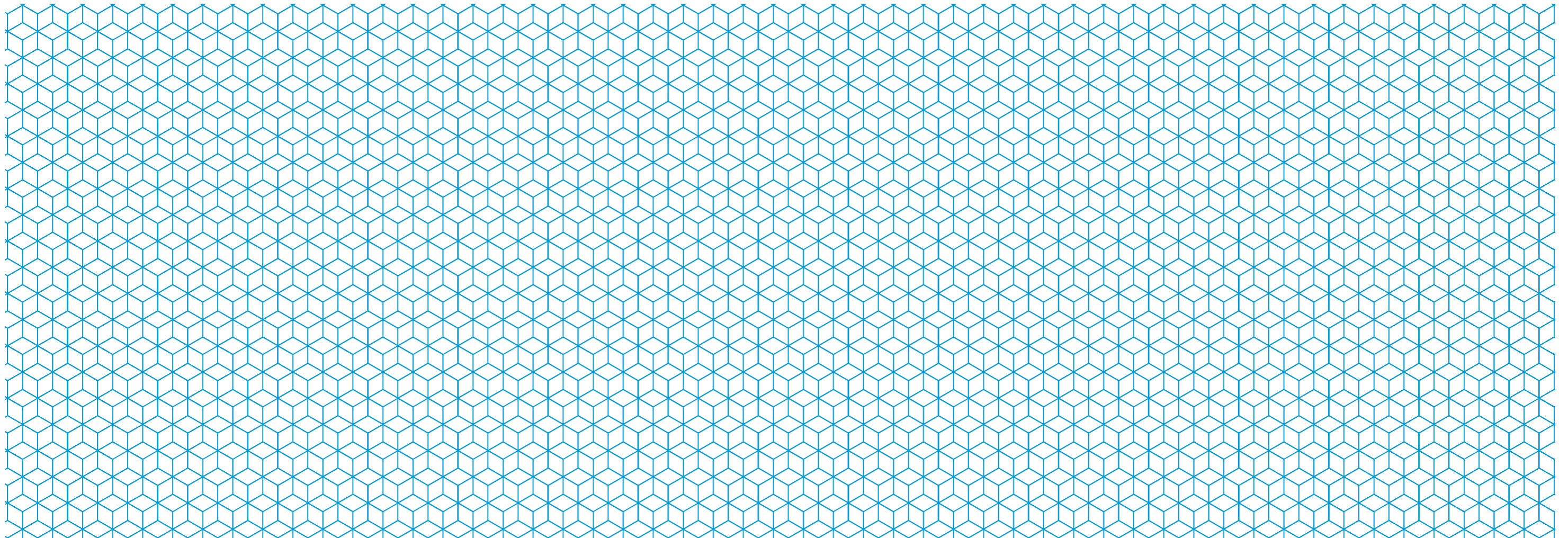
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05

Masterplan + Massing
Strategies



Initial Concept Proposal 1

Twickenham Riverside Development

A number of design proposals have been proposed for the site over recent years. In 2015 LBRuT appointed Quinlan and Francis Terry Architects to prepare design proposals for the site.

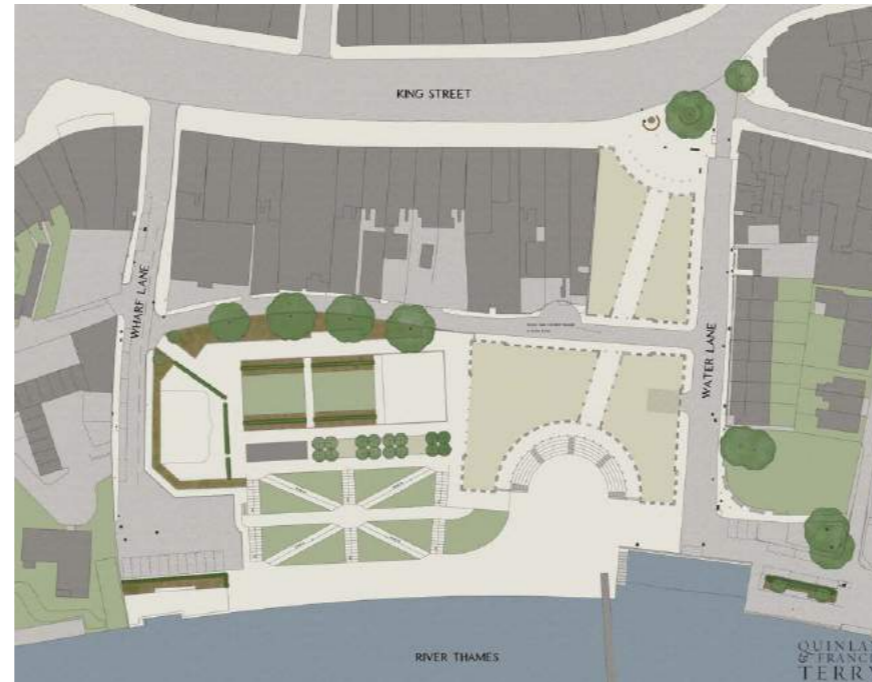
The Proposal

This proposal for Twickenham Riverside was focused around an amphitheatre which faces the Thames and the river walkway to Eel Pie Island. The development incorporated retail / restaurants / cafes at ground level and residential above. The proposal included an improved landscape garden on the riverside. A new underground car park was proposed to go under the new buildings to provide parking for the area.

Feedback on the Proposal

The key feedback received during the public consultation was as follows:

- o More open space required
- o Less building mass
- o More parking required
- o Viable business offers
- o Improved cycling opportunities
- o Better King Street links to the River
- o Improved access and connectivity with Diamond Jubilee Gardens
- o A greater celebration of the River



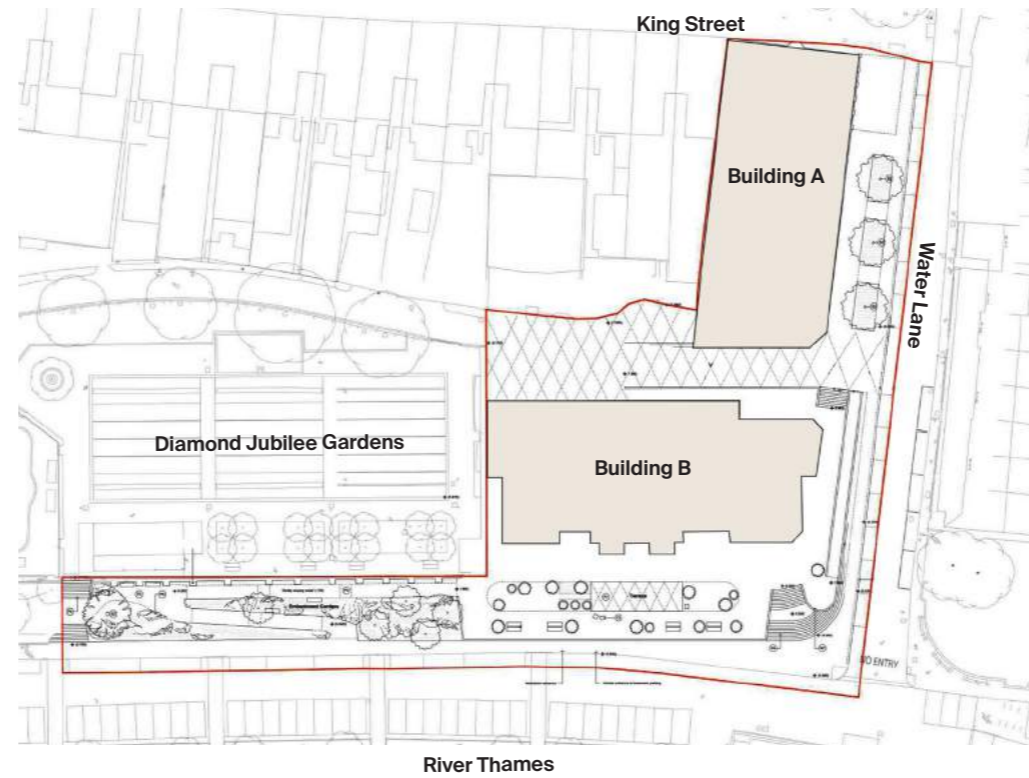
Quinlan and Francis Terry Scheme 2015

Initial Concept Proposal 2

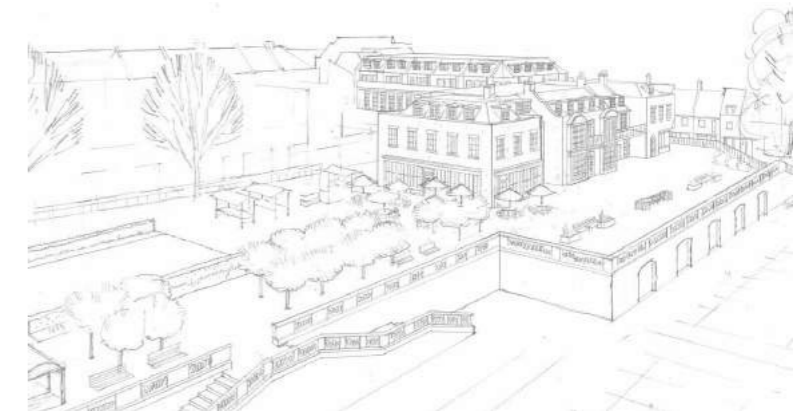
The second scheme proposed by Francis Terry & Associates proposed two Buildings. Building A extending from King Street down Water Lane and Building B extending from Water Lane along Embankment to Diamond Jubilee Gardens.

This scheme was discounted based on public consultation feedback, where the following issues were raised:

- Step down the height of the buildings on Water Lane to reduce their impact on neighbouring properties
- Limit the scale of the Embankment building and consider its impact on Diamond Jubilee Gardens
- A mix of view on the style of architecture and how this could be developed to be in-keeping with the local area reflecting range of styles in Twickenham and recognising the influence of the River Thames on the history and future of the site
- Retain a wide, riverside terrace. Respondents favoured more open space by the Embankment
- Preference for more informal approach to landscaping the proposed level access between the Embankment and Diamond Jubilee Gardens
- Site to be as pedestrian friendly as possible.
- There were mixed views on the introduction of a shared surface 'lane' behind King Street (linking Water and Wharf Lanes). Respondents supported the concept of a new pedestrian route into Diamond Jubilee Gardens but some disagreed with the proposed location.
- There were mixed view about parking outside the site on the Embankment. Some respondents expressed to see parking removed, others wanted to retain existing parking provisions.



Francis Terry & Associates Scheme November/December 2016



Embankment and Diamond Jubilee Gardens



King Street/ Water Lane



King Street View



Water Lane and Embankment



Riverside View

Design Evolution: Current Proposal

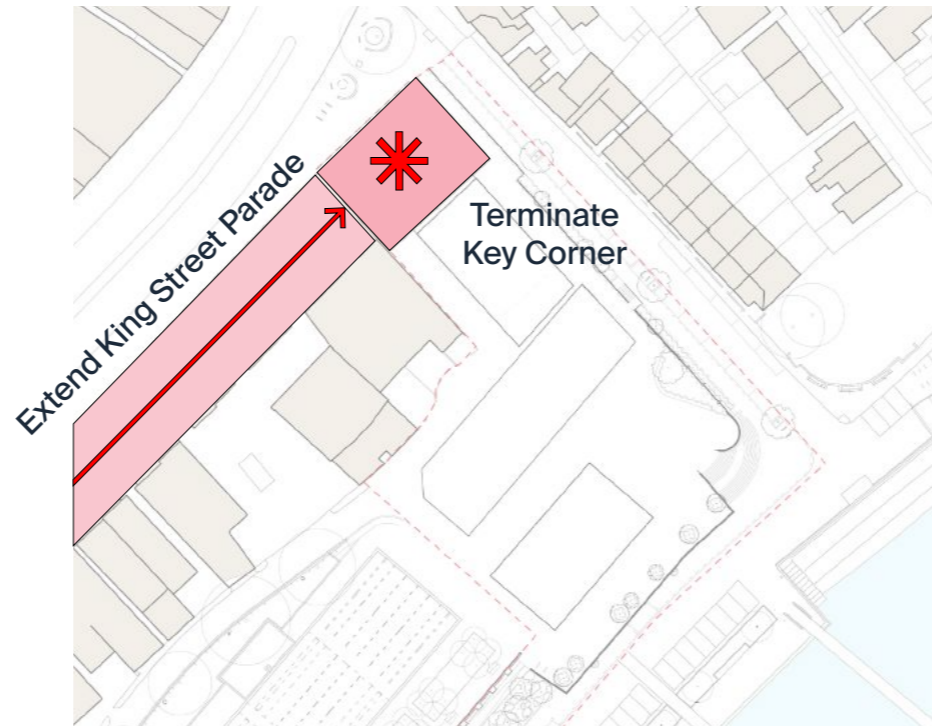
The current proposal takes on board and addresses the feedback raised during the consultation process for the earlier schemes.

The process of deriving an appropriate layout for the proposed buildings of the site began with replacing the existing building at the corner of King Street and Water Lane with a new element which extends the existing character of the adjacent King Street parade as Diagram 1 opposite highlights. The new building also needs to terminate the parade appropriately in order to highlight this key corner in the townscape, which will act to highlight the wider development towards the river.

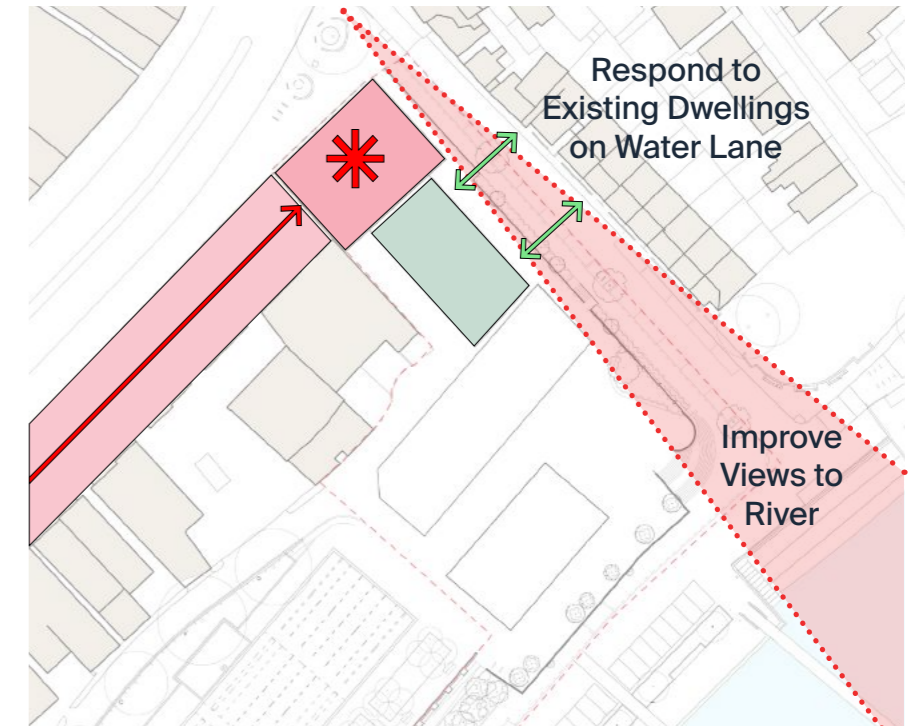
The next step was to improve the visual experience from the top of Water Lane by widening the view towards the river to promote pedestrian connectivity to the water, as Diagram 2 sets out. A second building element adjoins the King Street building, but is set back in plan to denote a shift in character and to improve the relationship with the existing dwellings opposite on Water Lane.

The third step was to create a new public square at the corner of Water Lane and the Embankment accessed via an enhanced split-level pedestrian route along Water Lane. The new public square will also provide a direct pedestrian connection to Diamond Jubilee Gardens. A new building is proposed to the north of this connection to provide it with strong frontage, which will also adjoin the new building proposed fronting Water Lane.

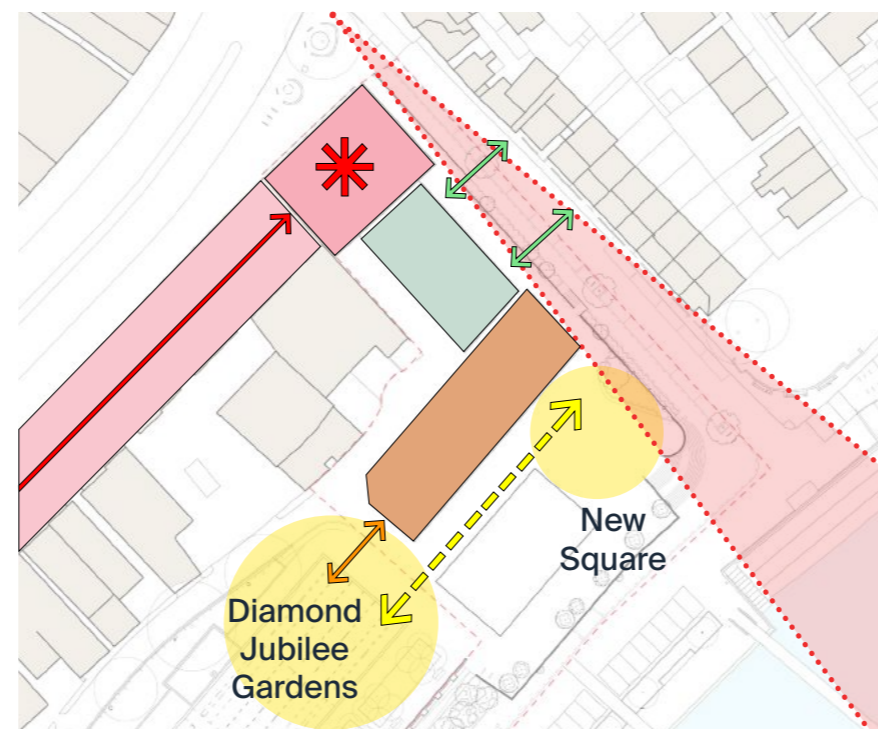
The final component was the introduction of a new building positioned between Diamond Jubilee Gardens and the new public square to provide frontage to the Gardens and enclosure to the square, as Diagram 4 illustrates. Occupying a prime location, this building will maximise the potential of the riverside setting of the site with views south over Eel Pie Island.



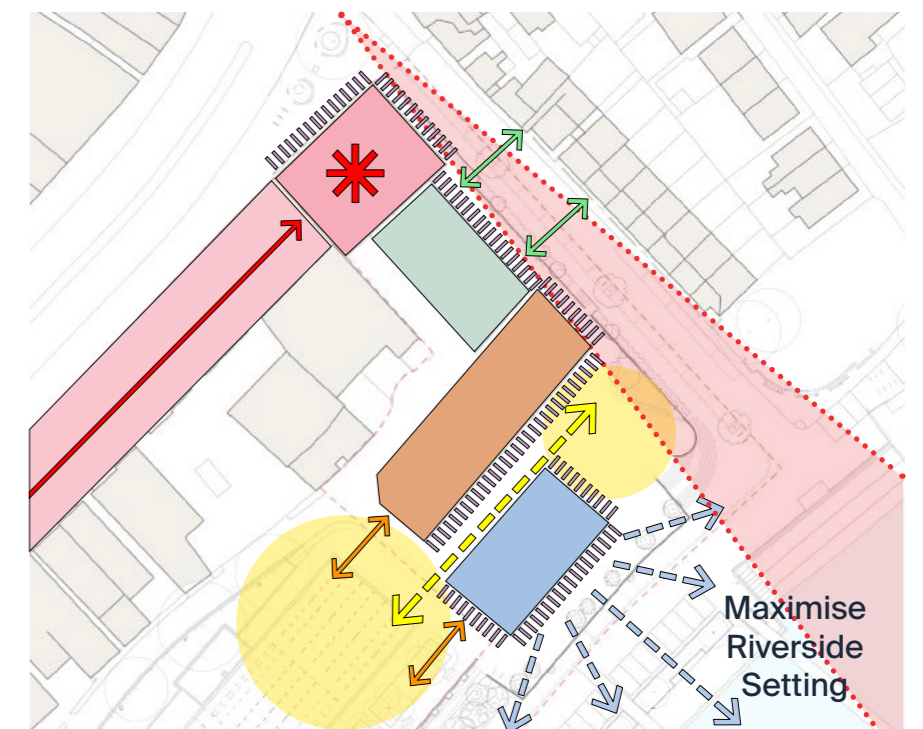
1. Extend the character, and terminate, the King Street parade



2. Improve views to river and respond to existing dwellings on Water Lane



3. New Public Square and connection to Diamond Jubilee Gardens



4. New riverside building to maximise the setting of the site

Proposed Masterplan

The proposed site layout is in-keeping with the urban grain of Twickenham, and the conservation area, and will transform the site in to an active publicly accessible destination that will enhance the existing public realm.

The resulting scheme is a well mannered and considered proposal that sits comfortably against the existing character of the town and conservation area.

The introduction of a new high quality public space at the junction of Water Lane and the Embankment is a significant benefit for Twickenham that will activate the river frontage and improve the relationship between Diamond Jubilee Gardens and the Town Centre.



Proposed Masterplan

Reinforcing Local Character

The proposed site layout reinforces the local character of the conservation area, which is characterised by narrow streets with building lines sitting to the back of pavement edges.

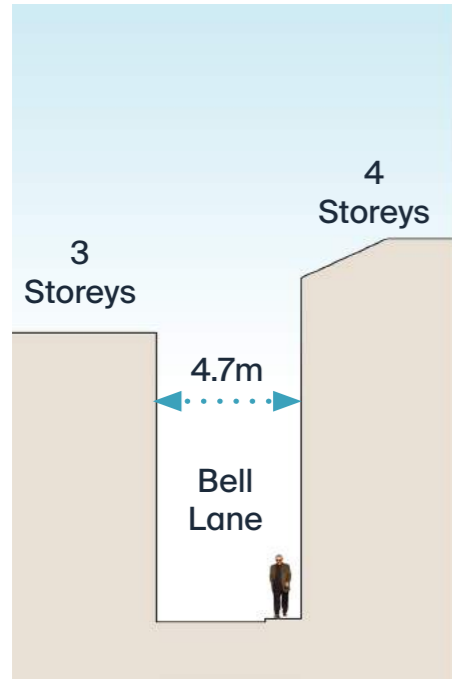
This is demonstrated by the plan opposite, which shows that the widths of Church Street and Bell Lane are between 4.7 and 7.4m. This is consistent with the new street proposed as part of the works between the new public square and Diamond Jubilee Gardens, which is also 7m.

Along Church Street the buildings typically have retail units at ground floor with residential accommodation above, which is also evident throughout the town centre and is a key component of the proposed scheme.

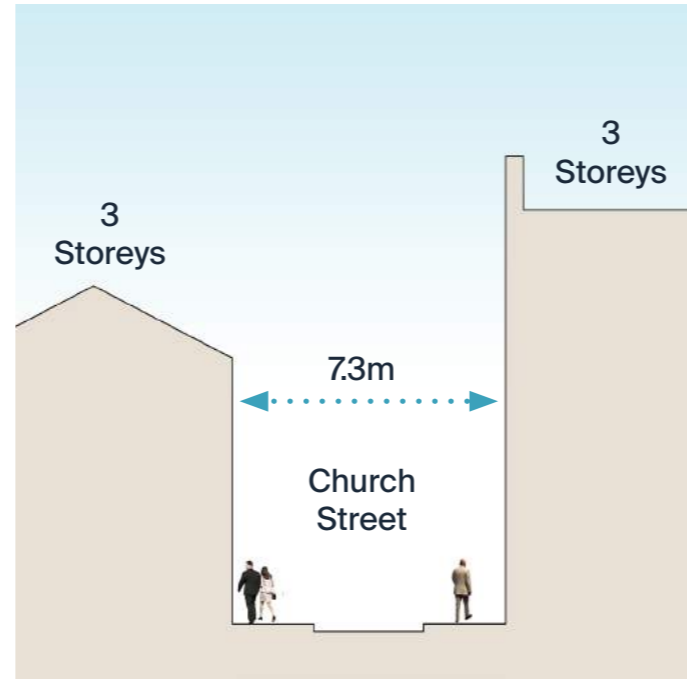
Whilst reinforcing the local character the design is mindful of residential amenity and outlook. As such residential living spaces do not front directly on to the narrower Water Lane Walk and there is no direct overlooking between windows, which would compromise privacy.



Reinforcing Local Character



01 Bell Lane



02 Church Street

The building heights in the conservation area are generally between two and four storeys, with buildings of different heights located next to each other on an adhoc basis, often as continuous terraces, which face on to the narrow streets. The streets are flanked to the opposite side by an equally random composition of scale and materiality. This can be seen in the sections and photographs above of the nearby Bell Lane and Church Street.

Roofscapes are traditionally pitched, or mansard, and faced in roof tiles, often with dormer windows.

The massing for the scheme therefore takes its cue from the existing context and proposes buildings of three and four storeys so as to sit comfortably adjacent to its neighbours and to reinforce the distinctive character of the conservation area.

The new building fronting King Street and the corner of Water Lane is four storeys in order to bookend the existing King Street parade, to act as a marker in the townscape denoting access to the new public realm adjacent to the riverside and in response to the taller buildings around the junctions of Church Street, York Street and London Road. The fourth storey is within a mansard roof, which is in-keeping with the character of existing local buildings.

The middle section of the proposal along Water Lane is also four storeys, but steps back in plan to mitigate impact on the existing dwellings opposite on Water Lane.

The buildings then step down to three storeys adjacent to the new public square and river to reflect the massing of the existing buildings along the waterfront. Traditional pitched roofscapes are proposed for these buildings, again, to reinforce the character of the conservation area.



Reinforcing Local Character: Proposed Site Sections Water Lane

Whilst Water Lane Walk reflects the narrow streets of the conservation area, there is an aspiration to increase the width of Water Lane itself to improve the pedestrian experience to the river and to mitigate any impact the development will have on the existing dwellings opposite.

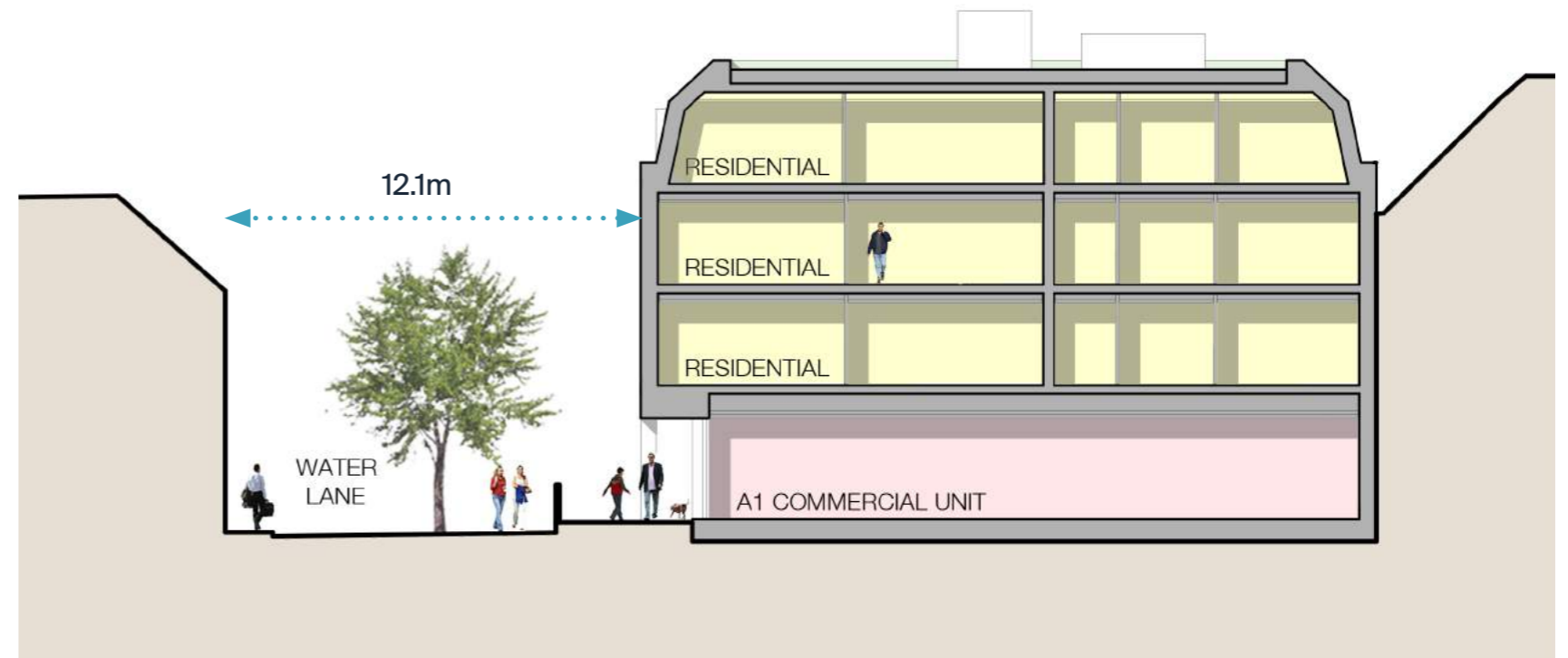
The proposed site sections here, which are cut through three locations along Water Lane, demonstrate how the proposed massing will sit comfortably against the existing buildings.

Although the proposed buildings are taller than the existing dwellings, this is entirely in-keeping with the character of the conservation area as the existing sections on the previous page illustrate.

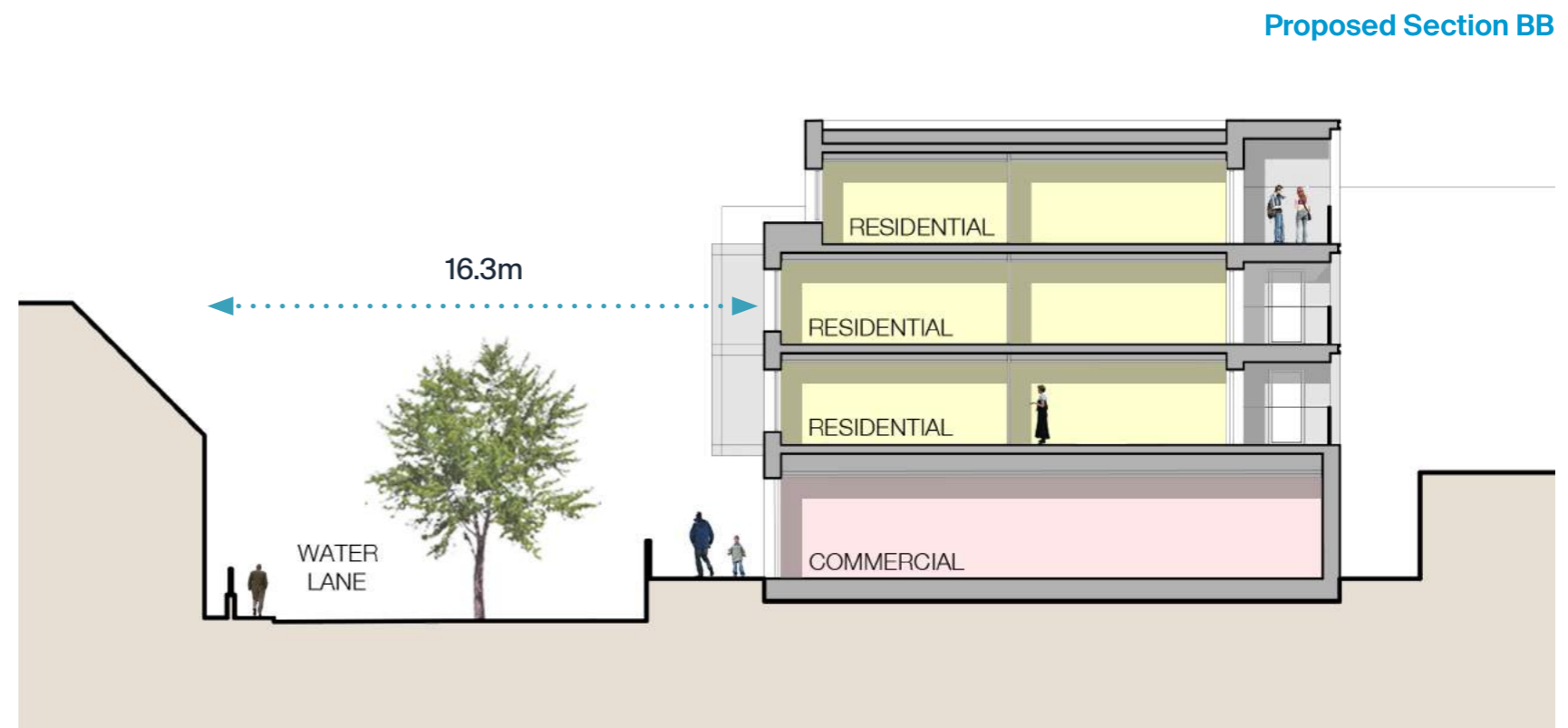
The relationship with the existing buildings changes across the scheme from north to south. Section AA is taken through the King Street building, which is three storeys plus a mansard roof. A covered colonnade at ground floor increases the available footway for pedestrians and will provide shelter during inclement weather.

Section BB is taken through the central element of the Water Lane frontage, which shows that the building steps back from the King Street frontage so as to widen the public realm and increase the distance between the new buildings and the existing dwellings opposite. The new building is also four storeys in this location, but the upper storey is setback to reduce the visual impact in the streetscape.

The third section is taken through the new building fronting the public square which steps down to three storeys, which is further mitigated by the inclusion of a pitched roof. The pitch roof forms a parapet for a flat roof section behind to mitigate the visual impact of rooftop plant.

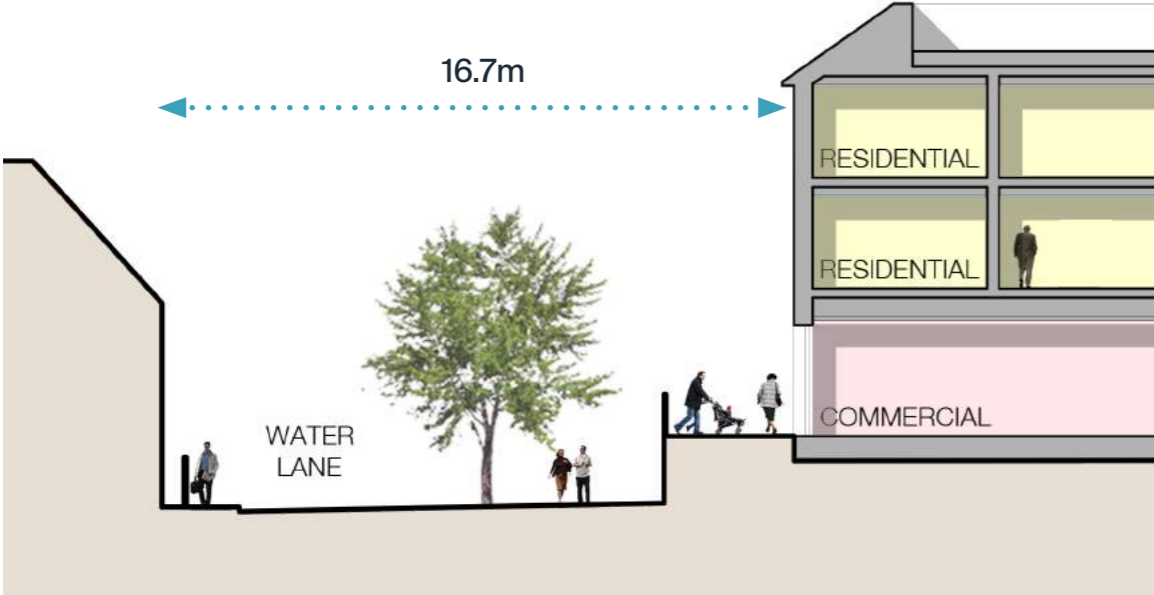


Proposed Section AA



Proposed Section BB

Reinforcing Local Character: Proposed Site Sections Water Lane



Proposed Section CC

