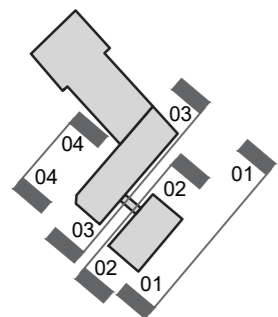


Proposed Elevation 04



The rear elevation of the embankment building continues the architectural language, detailing and materiality of elevation 03.

This elevation overlooks the service access at ground floor and as a result inset brick work at ground level has been utilised across the facade to deliver a more robust design and to defer anti social behaviour.



Proposed Elevation 05 - King Street

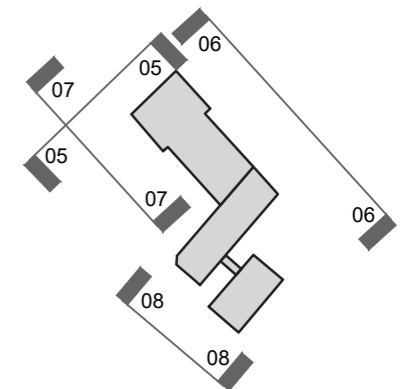


The building proposed at the junction of King Street and Water Lane takes cues from the architectural language of the existing parade building on King Street.

It has a tripartite composition expressing a retail base, residential middle section and mansard roof. The mansard roof differentiates it from its neighbour and acts as a punctuation mark in the streetscape to terminate the street facade. Mansard roofs with dormer windows are a common feature in the surrounding streets and conservation area.

A higher parapet line is provided to the building to give prominence to the corner of Water Lane and King Street.

Brickwork piers and stone columns define the elevation vertically. To the corner of King Street the building line at ground floor steps back to form a stone colonnade which references the columns of the bank building opposite.



Proposed Elevation 05



1. Stone base and Columns - King Street



2. Mansard Roof and dormer windows - King Street



3. Existing Parade - King Street

Red brickwork is proposed for the residential accommodation in order to tie in with the existing materials used on the parade building.

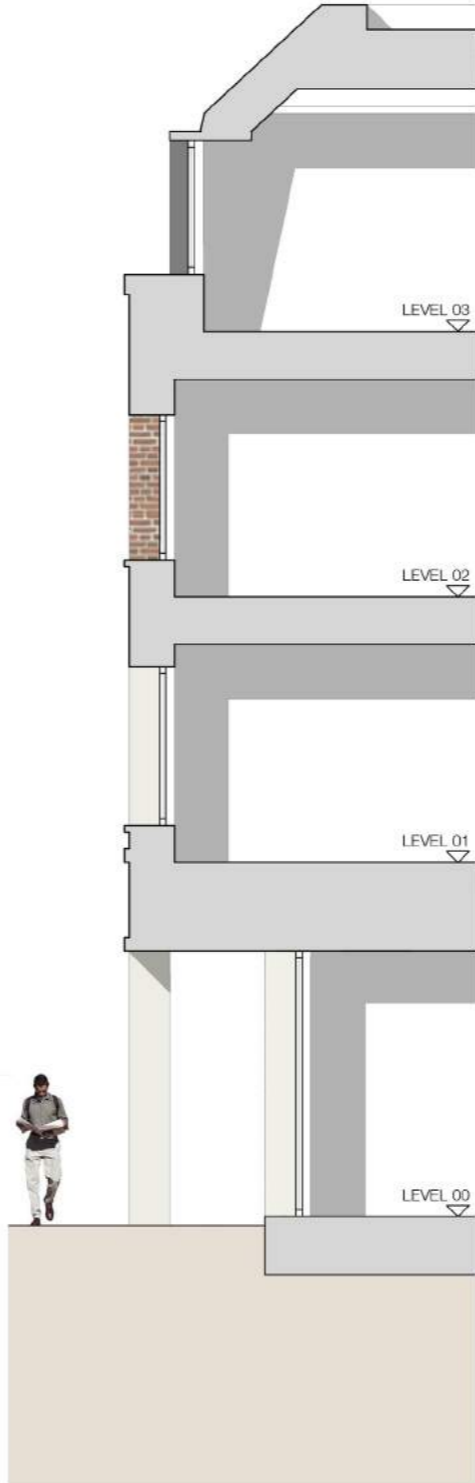
The window treatment alters at each level of the building. Stone detailing to the windows at first floor level provides hierarchy to the elevation and reflects the changes in fenestration on the adjacent building. The window frames are white to correspond with the existing buildings on King Street.

This building completes the urban street scene providing the final 'book end' piece to King Street.

Proposed Elevation 05 - Typical Bay



ELEVATION 06 TYPICAL BAY B



ELEVATION 06 SECTION B

Proposed Elevation 06 - Water Lane



The Water Lane elevation responds to all the site conditions outlined at the beginning of this section and as such is broken down in to separate elements to reflect the different townscape functions of each part of the buildings.

At its northern end the King Street facade treatment of stone base, brickwork middle section and mansard roof wraps the corner, with the stone colonnade at ground floor continuing along Water Lane.

At the point where the colonnade ends the building line steps back to demarcate the shift in language to a more contemporary domestic style. This element of the facade also has a tripartite composition with active commercial frontage at ground floor, with residential above and a set-back third floor.

The balconies proposed here are projecting and are metal

framed to form bay elements across the elevation. The bays will be open to the southern side and have been angled to optimise the River views. Filigree metal panels enclose the northern side of the balconies to give a degree of privacy.

The materiality follows the same principals as the King Street building with red brickwork below and side hung tiles above to tie in with the adjacent mansard roof.

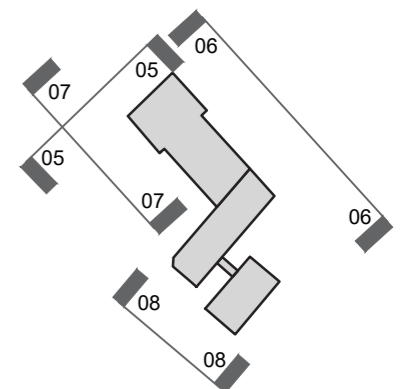
This section of the elevation was reworked in response to feedback from the public consultation and pre-application advice from planning officers. The balconies have been made less dominant and additional fenestration has been added.

A glazed link connects the northern part of the Water Lane elevation with the Water Lane Walk building. This creates a distinct break between the different elevational types and

the massing.

The flank elevations of the Water Lane Walk Building and the riverside building follow the same principals and materiality set out earlier in this section for each of the elevational types and as such both have gables and hipped and pitch roofs.

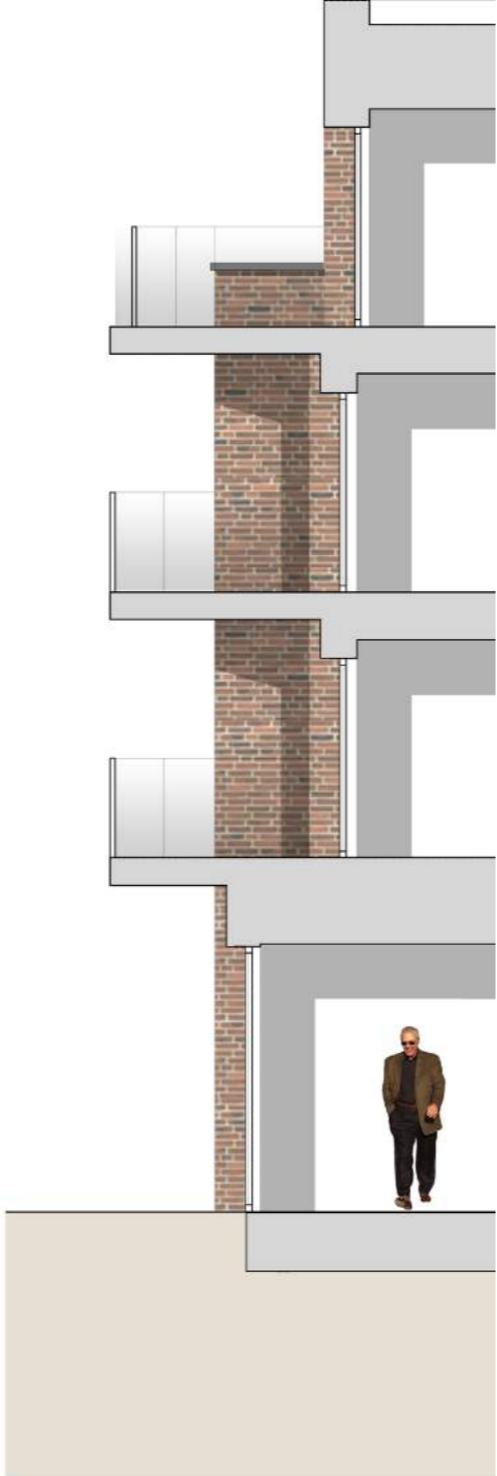
The two buildings are connected via a bridge links at first and second floor. These bridges frame the view into Diamond Jubilee Gardens.



Proposed Elevation 06 - Typical Bay



ELEVATION 06 TYPICAL BAY A



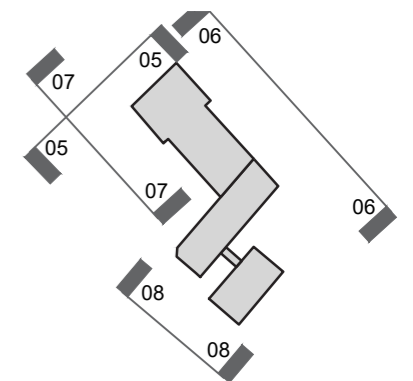
ELEVATION 06 SECTION A

Proposed Elevation 07



External walkways at the upper levels provide access to the residential units in this location. Angled filigree metal screens are proposed along the edge of the walkways to provide a degree of enclosure and to frame views from the fenestration behind. The screens will mitigate overlooking of the windows to the rear of the existing King Street Buildings.

The materials used on the elevation continue the same materiality used on the Water Lane elevation (elevation 06) and the Water Lane Walk building (elevation 03 and 04).



Proposed Elevation 07- Typical Bay



Proposed Elevation 08 - Diamond Jubilee Gardens

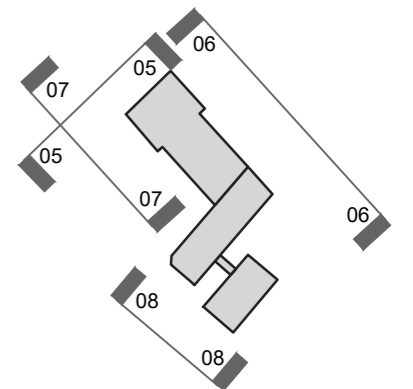


The Diamond Jubilee Gardens elevation continues the architectural language, detailing and materiality of the Embankment building (elevation 01 and 02) and the Water Lane Walk building (elevation 03 and 04).

Both have central gables which mirror each other, but that reflect the styles of their respective buildings.

The connection between the proposed buildings and Diamond Jubilee Gardens is important in providing a coherent design which links the square to the Gardens. The Embankment building has a restaurant /café use at ground floor which activates the frontage and optimises views to the Gardens, whilst the main building has a smaller unit that directly links to the Diamond Jubilee Gardens event space.

Through materiality, design and the bridge link between the two buildings they complement one another as well as framing the new street between the square and Diamond Jubilee Gardens.



Design Development- The Embankment and Square View



CGI Design Development 1



CGI Design Development 2



CGI Design Development 3

The images above show how the design has progressed for the riverside buildings throughout the planning process. The original concept was that the buildings should relate to the architectural language of the buildings across the river on Eel Pie Island.

Throughout the consultation process it was determined that this was not the right approach and that the building should align more closely with the architecture of Twickenham Village whilst still responding to their Eel Pie Island riverside setting.

The final proposal can be seen on the next page.

Proposed View - The Embankment and Square



Design Development- Water Lane View



CGI Design Development 1



CGI Design Development 2



CGI Design Development 3



CGI Design Development 4

The Water Lane elevation was conceived as a terrace of buildings to reference the existing character of Water Lane, shifting from the traditional King Street frontage to a contemporary terrace towards the riverside.

The images above show the progression that has been made in the roofscapes, the architectural composition and detailing throughout the process.

Proposed View- Water Lane



Design Development- Diamond Jubilee Gardens



CGI Design Development 1



CGI Design Development 2

The proposed buildings fronting onto Diamond Jubilee Gardens become an important back drop to a key public amenity space and will help to activate its eastern end and provide better connectivity with the town centre.

The images above shows early iterations of the Water Lane Walk building (on the left) where various gable options were considered. The final version proposes one central gable, reflecting the elevational design of the adjacent waterfront building.

Proposed View- Diamond Jubilee Gardens

