

TWICKENHAM REDISCOVERED PROGRAMME RIVERSIDE PROJECT



Landscape & Public Realm Design Statement
November 2017



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Iss	Date	Version Details	Prep	Chk
1	171107	First Issue, planning draft	JB	EP
2	171114	Second Issue, planning draft	JB	EP
3	171117	Third Issue, planning draft	JB	EP
4	171120	Final Issue, for planning		

BACKGROUND & CONTEXT

BACKGROUND & CONTEXT

LUC has been appointed by the applicant, London Borough of Richmond Upon Thames (LBRUT) to develop proposals for the landscape and public realm at Twickenham Riverside, as part of the Twickenham Rediscovered Programme (TRP). LUC has worked closely with the client and design team - in particular Francis Terry & Associates (FTA), Carey Jones Chapman Tolcher (CJCT), Systra and Price & Myers - to produce design proposals that are site responsive, appropriate and of high quality.

This report outlines the landscape and public realm design to RIBA Stage 2/3 equivalent, and is to be read in conjunction with the main Design & Access Statement (DAS) prepared by CJCT.

This document begins by setting out the project background, and a summary of the landscape and planning contexts. It goes on to focus on the response to the landscape & public realm brief, the aims and objectives of which are summarised in part 2 'Vision' and part 3 'site design strategies'. The concept design is outlined in part 4 'placemaking', followed by an outline specification - for hard landscape in part 5 'materiality', and part 6 'soft landscape'. Finally an outline of the estate framework management plan is included as part 7.

Existing Site & Context

Landscape Context

The DAS provides a detailed description of the site, and its historic development, being how it arrived in its current form, and how this has influenced the masterplan. Rather than repeat this information, the following describes the key strengths and opportunities which underpin the landscape design:

- Some of the site's key assets are external, being its relationship with DJG and the water - the elevated terrace provides a place to sit and watch the south-facing river;
- The site sits at a key junction between the historic village core, cultural Eel Pie Island, and the semi-rural riverside;

A review of the site and planning context including the Twickenham Area Action Plan (TAAP) and Riverside Conservation Area guidance was undertaken. Through this it is clear that the design of the public realm in Twickenham needs to support the narrative that the development on the river frontage & historic village core is focussed on St Mary's Parish Church - so, the site is not necessarily at the centre of things and should be recessive, not grand or civic. Permeability via narrow lanes is important to the character - the topography is one of narrow streets and alleyways lined with two and some three storey buildings. The listed St. Mary's Church has remained the village's focal point. The



Natural riverside landscape



Working riverside landscape - Eel Pie Island



Historic riverside landscape



Diamond Jubilee Gardens

stone pavements, the Wisteria: the semi-rural village character is important as is retaining the link to the river.

The working riverside character is important: the riverside still serves as an important access for the residents of the island, and lacks the 'gloss' of some other riverside locations. This is to be preserved via the use of robust materiality and characterful native planting.

From an **ecology** perspective, the main habitats present include hardstanding/buildings, amenity grassland, broadleaved woodland, species-poor non-native hedgerows, dense scrub, introduced shrub and scattered trees. The ecology report (forming part of the application documents) considers habitats present of local value, including lowland mixed deciduous woodland and a hedgerow which

are Habitats of Principal Importance and Richmond Biodiversity Action Plan habitats. The site is not subject to any statutory or non-statutory nature conservation designations. There is one statutory designated sites within a 1km radius: Ham Lands Local Nature Reserve. There are seven non-statutory designated Sites of Importance for Nature Conservation with in a 1km radius. The site is located 30m from the River Thames and Tidal Tributaries Site of Metropolitan Importance. The ecological character of the site should be real and functional rather than purely an aesthetic.

So, it can be seen that the site is a complex interaction between historical conservation, social cultural and ecological themes. There is an opportunity to express all of these characteristics, but also a risk that these get rubbed out by new development. To that end, design strategies are described in the next section which address these themes.



Competing uses on the Riverside

Planning Context

A full description of the planning context of the development site is contained within the DAS and Planning Statement. From a landscape and public realm perspective, the following policy documents were used to inform the work:

- LB Richmond Core Strategy;
- Development Management Plan;
- Local Plan Review;
- Supplementary Planning Documents;
 - Twickenham Area Action Plan (TAAP)
 - Conservation Area study.
- London Plan

In particular the following relevant policies and objectives of the core strategy were deployed in developing the proposal (where achievable within the application boundary):

General

CP7, CP9, CP10, DM OS11, LP11

- Improve the environment of the main shopping area
- Protect and enhance the historic environment, riverside and the individuality and character of the reach of the River Thames; and,
- Create high urban design quality.

Access to Public Open Space

DM OS6 DM OS11 & LP1, LP18

- Where possible new Public Open Space, with access to all, should be provided, especially along River; and,
- Inclusive design, connectivity, permeability, natural surveillance and orientation are all considered when assessing layout and design.

Relationship with River

DM OS11 & LP18

- Public access should be provided in developments alongside the River Thames;
- Encourage mix of uses that enable the public to enjoy the riverside, especially at ground level; and,

- Ensure developments establish relationship with river, addressing its frontage, opening up views.

Trees

DM DC4 & LP16

Protect and enhance the boroughs trees and landscape by:

- Continuing to maintain trees in streets and public open spaces; and,
- Requiring landscape proposals in submissions for new development. Landscaping design and materials must be of high quality and compatible with the surrounding landscape and character.

Playspace

DM OS7, LP31 & SPD 'Planning Obligations'

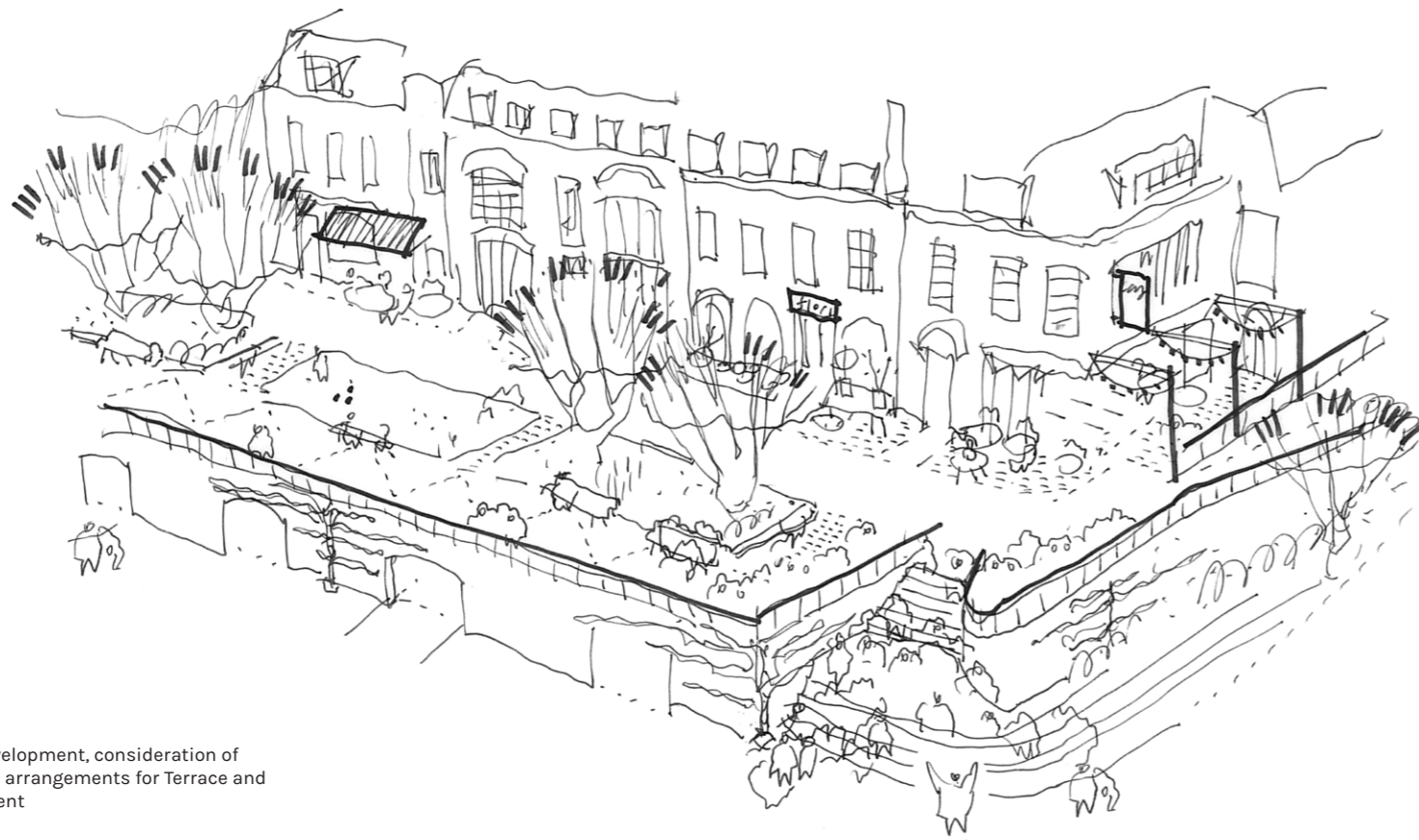
- New developments must assess the needs arising from the development by following the benchmark standards outlined in the Mayors Supplementary Planning Guidance on Provision for Children's and Young Peoples Play and Informal recreation.
- All development with estimated child occupancy of 10 children or more should seek to make appropriate play provision to meet the needs arising from the development, equating to 10m2 per child.
- Where the provision cannot be met onsite or for developments yielding less than 10 children, the Council will seek an equivalent financial contribution to fund off-site provision.

Design guideline and Key objectives

TAAP

- Enhance / extend Diamond Jubilee Gardens
- high quality landscaping, children's playspace and performance / events area;
- Along Embankment - create a pedestrian priority area;
- Water Lane frontage to complement residential development / include town centre uses;
- Link the existing service road to Water Lane;
- Create new Public Open Space and Civic Space (Principle 4);
- Lighting columns should complement the character of the area and create safe and attractive environment. (Principle 5); and,
- Markets will be encouraged (TWPI).

VISION



Design development, consideration of alternative arrangements for Terrace and Embankment

VISION

Aims & Objectives

The landscape brief has been developed following ongoing engagement work, and reflects common themes and requirements. The key aim of the project is to **respond to Twickenham's rich heritage and to celebrate its riverside location**. To that end, the landscape design contributes via the following objectives:

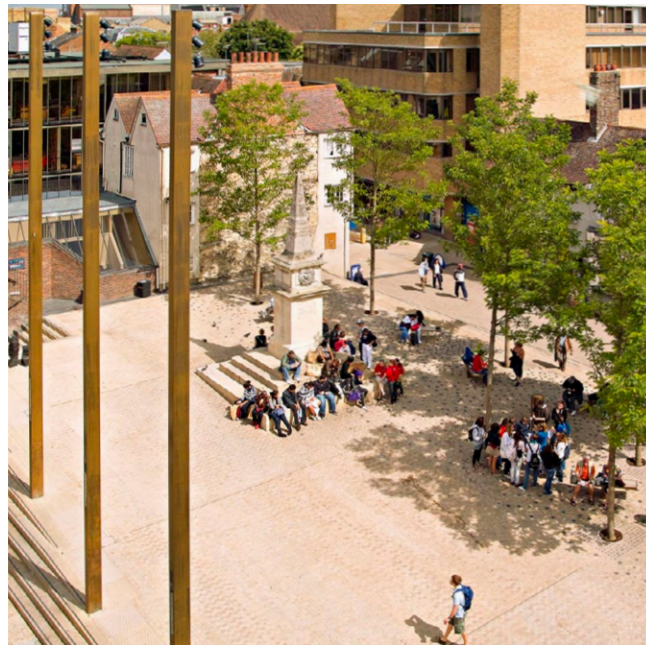
- Reflecting the site's village setting;
- having regard to the existing street framework of narrow lanes and alleys and where possible extending this into the site;
- developing a more attractive frontage on King Street;
- providing better links to the riverside and Diamond Jubilee Gardens;
- opening up and enhancing Diamond Jubilee Gardens and offering a public square and community space;
- help local businesses thrive;
- allow both 'working' and 'leisure' activities on the River to continue and grow;
- create a true community 'heart', a space that everyone can enjoy.

Healthy Streets

More specifically, the brief describes a series of design objectives related to layout, scale & massing; open space; and, access & parking. These objectives are considered here with regard to the Mayor's 10 'Healthy Streets Indicators'.

Lack of physical activity increases the risk of developing a range of chronic diseases including diabetes, dementia, depression and the two biggest killers in London - heart disease and cancer. The healthy streets approach provides a framework of strategies which can help achieve the Mayor's goal of helping every Londoner live an active life, combating London's 'inactivity crisis'. The design proposes measures to benefit:

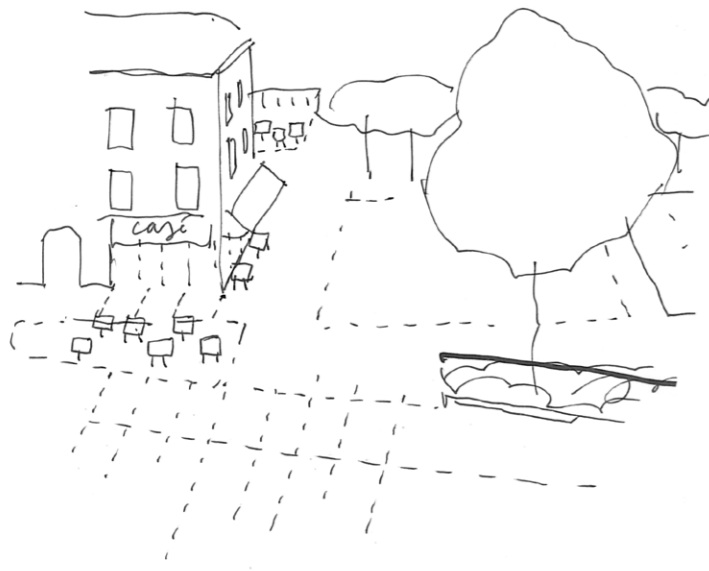
- Pedestrians from all walks of life;
- People choose to walk, cycle and use public transport;
- Clean air;
- People feel safe;
- Not too noisy;
- Easy to cross;
- Places to stop and rest;
- Shade and shelter;
- People feel relaxed; and,
- Things to see and do.



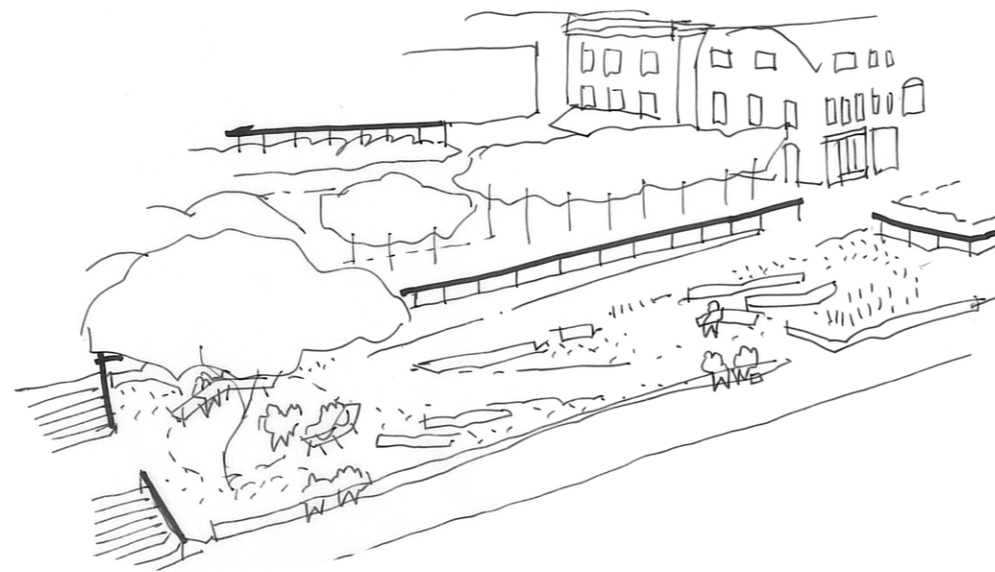
Public square, Bonn Square Oxford



Soft landscape, shade & shelter



Design development, interface with the gardens



Design development, interface with the gardens & access from the embankment

Open Space

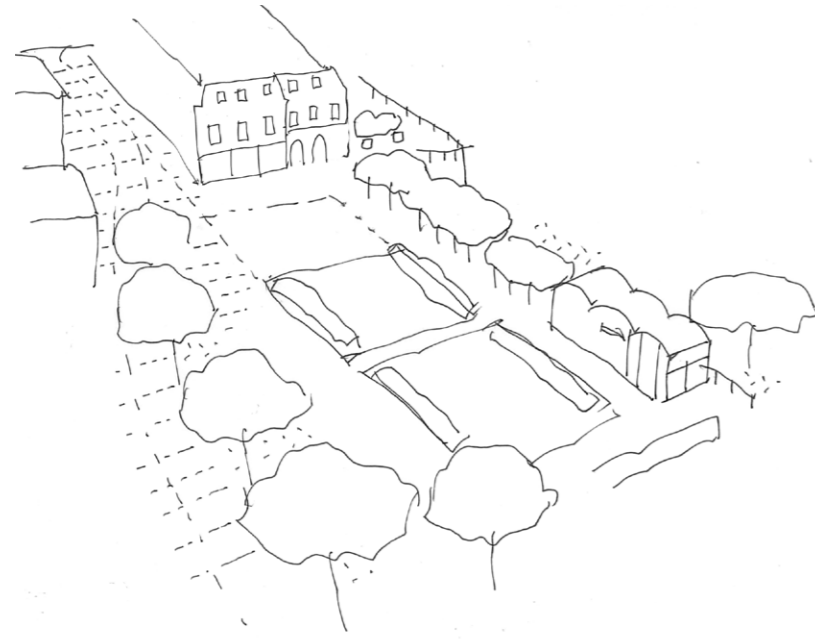
- London's streets should be welcoming places for everyone to walk, spend time in and engage in community life. The project expands on DJG's function as a hub for the local community, providing spaces for **enjoyment by people of all ages**. A range of activities will be possible in the new space including events and markets.
- Drawing people from King Street, introducing a new public square for community uses. New spaces will be linked to the embankment via the 'bastion' steps. Areas incorporating **shade and shelter** enables everybody to use the space, whatever the weather.
- Enhance and celebrate the existing raised riverside terrace for informal leisure activities: incorporating a large 10m wide space. Raising the terrace above the Embankment, **reduces the noise impacts of traffic**, directly benefits health and improves the ambience of the place.
- Integrate, enhance and complement DJG and its existing 'event space', reflecting the cultural heritage of Twickenham - eg. music at Eel Pie Island, sport and the vibrant working riverside. Creating **things to see and do**, people are more likely to use streets and open spaces when they are interesting and stimulating, with attractive views, buildings, planting and street art.
- Considering soft landscape, retaining and protecting existing mature trees, and introducing more trees onto the site. **Improving air quality** delivers benefits for everyone and reduces unfair health inequalities. Trees and planting can serve an important function in improving air quality, in particular, low-level planting in the public realm - particularly plant species with rough & hairy leaf complexes - has been shown to filter harmful particulate emissions from the air, creating a comfortable outdoor environment.
- Design and management of the spaces will be considered carefully, particularly with regard to designing out crime and anti-social behaviour (ASB). **The whole community should feel comfortable and safe on our streets at all times**, people should not feel worried about ASB or road danger. This applies to existing users of DJG and local residents as well as future site users.



Places for people of all ages



Gravel & boulder garden, Bordeaux botanical garden



Design development, interface with the gardens



Vibrant, colourful planting

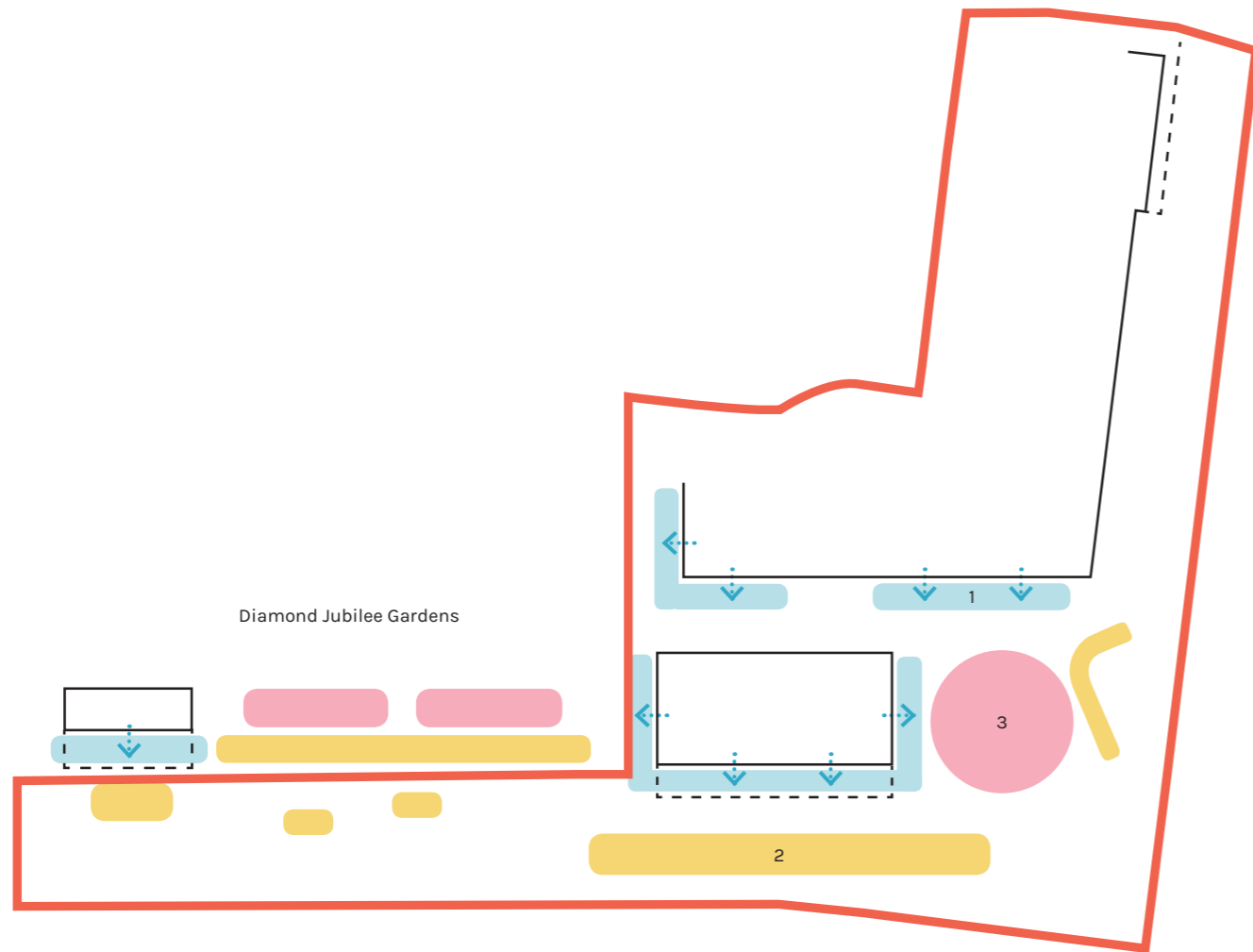


Seating steps overlooking the River - access, places to stop and rest

Streets - Access, Transport & Parking

- The proposals describe a place where people can **choose to walk, cycle and use public transport**, particularly a place which allows more people to walk and cycle more often. This will be achieved by careful consideration of cycling requirements, and by the improved connection between the Riverside and public transport on King Street and to Twickenham station.
- Consideration is given to hard landscape and surface treatments, ensuring that pedestrian routes connect the town into the new series of public places. More **people feel relaxed** and will walk or cycle if our streets are not dominated by motor traffic, and if pavements and cycle paths are not overcrowded, dirty or in disrepair. Where possible, footways will be widened, improving the connection to the Riverside and beyond.
- Linking the town to Diamond Jubilee Gardens, via an improved pedestrian access from King Street and considering how the River can be 'signposted' from the street, whilst respecting the current access and servicing arrangements for the area, ensuring that existing and new requirements are fulfilled by the design;
- To ensure that the whole development is accessible to all, with improved pedestrian and wheelchair access from the Embankment. A lack of resting places can limit mobility for certain groups of people - the proposals will integrate **places to stop and rest**.
- Making streets **easier to cross** is important to encourage more walking and to connect communities. Crossing points to Water Lane and the Embankment will be integrated into the design to facilitate easy access for all.

SITE DESIGN STRATEGIES



Use & Programme

Diamond Jubilee Gardens is a well-loved local place with a series of events taking place throughout the year. As set out in the brief, the proposed programme for the new public space should complement and expand on their offering. The Square provides a substantial public open space, just under the size of two tennis courts, approx 300m², on the corner of Water Lane and the Embankment. Bordering the square on two sides is ground-floor flexible commercial space, with predominantly restaurant / café uses.

The square will be a public flexible space for performances, markets and sitting out benefiting from the potential for event lighting. The community will be encouraged to put forward ideas for usage of the square and it is envisaged that it will provide an area for extension to some of the existing events within Diamond Jubilee Gardens. Pop-up electricity outlets will be incorporate on the north-eastern edge of the square to facilitate this range of uses.

The new spaces can be defined as:

- Spill-out space for cafés, shops etc.
- 'Dwell' space - sitting and watching the world go by, resting
- Event space - for activities, games, performances.

Further information on the programme for the public square can be found on Figure 4.7.

Figure 3.1
Use & Programme

- 1 Commercial spill-out space
- 2 'Non-transactional' dwell space
- 3 Event space



1



3

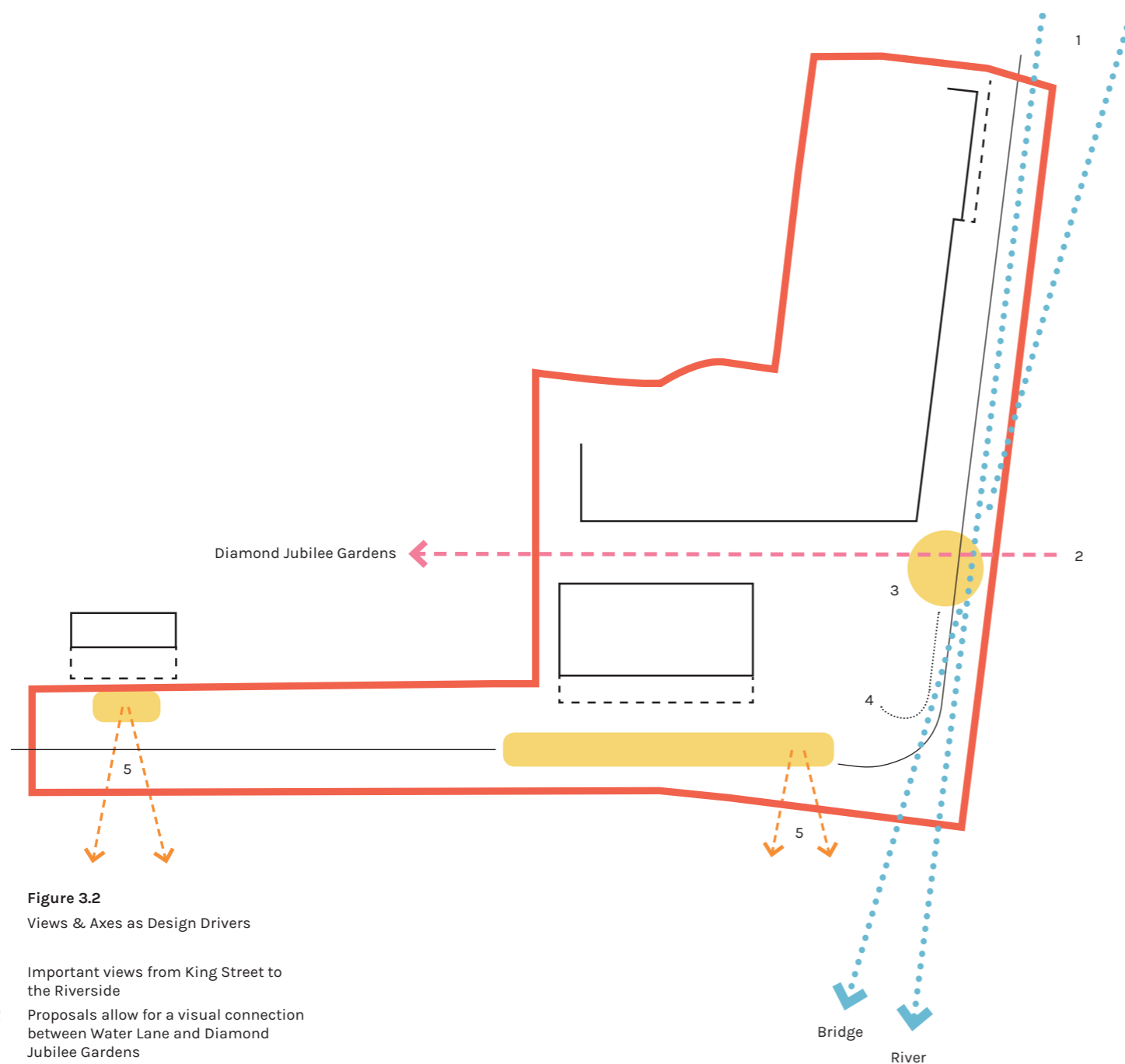


Figure 3.2
Views & Axes as Design Drivers

- 1 Important views from King Street to the Riverside
- 2 Proposals allow for a visual connection between Water Lane and Diamond Jubilee Gardens
- 3 Opportunity to 'signpost' the public square and the gardens
- 4 Careful control of the landscape elements - the battered 'bastion' wall is cut back to maximise views to the Eel Pie Island bridge.
- 5 Seating spaces making the most of free views to the water.

Views & Axes

There are perhaps three key views driving the public realm scheme:

- From King St towards the water: including to the Eel Pie Island landscape and the foot of the bridge;
- from Water Lane to DJG; and,
- the panoramic view from the raised riverside terraces.

These views are crucial in the narratives of the site, telling the story about the movement from the town to the river, and revealing the different places. For instance, DJG is largely hidden from view, and one role of the design is to 'signpost' it to people coming from town.

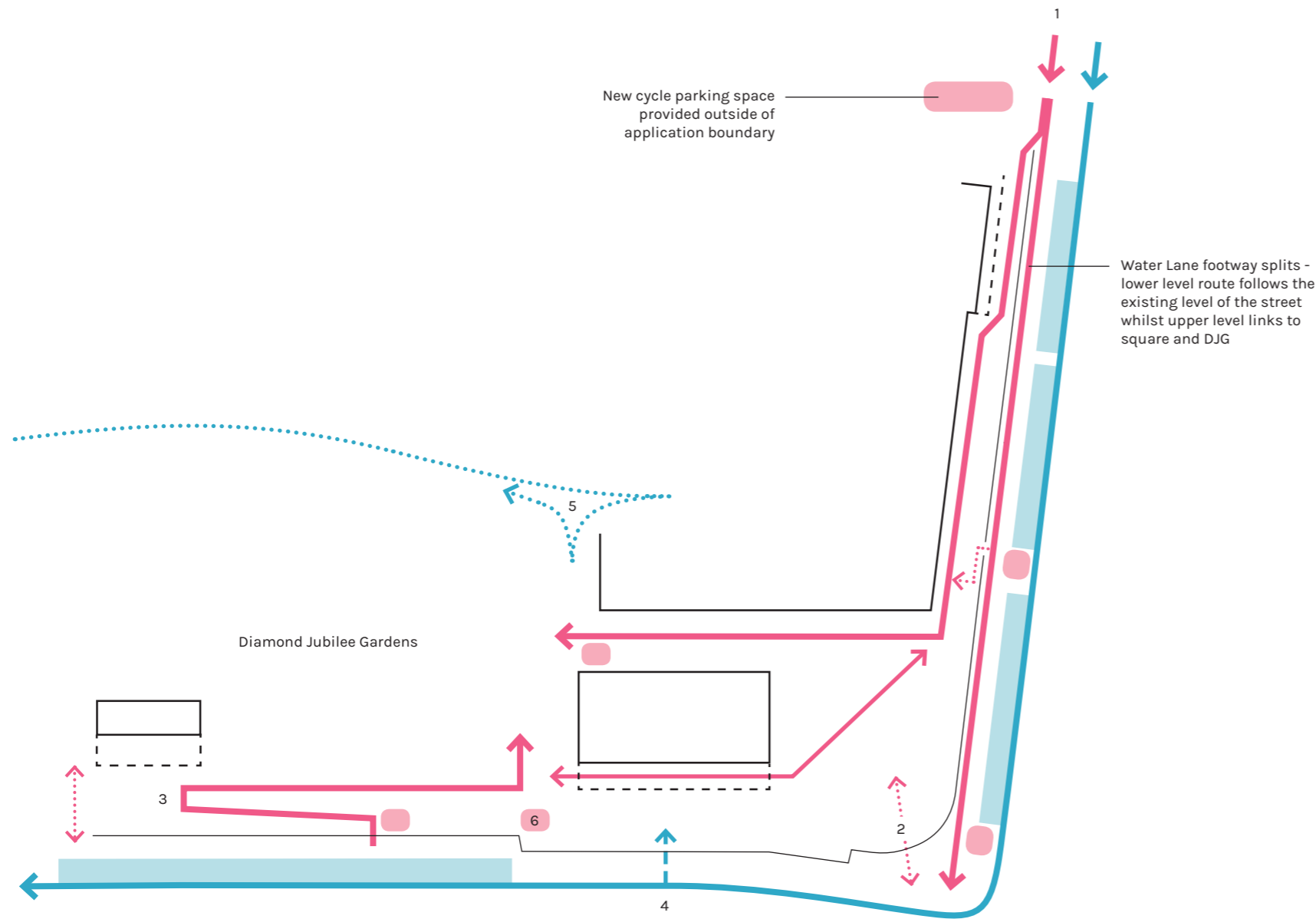


Figure 3.3
Access & Circulation

- 1 Primary route from King Street to Riverside
- 2 Stepped access from Embankment to Square
- 3 Gently sloping access from Embankment to DJG
- 4 Vehicular entrance to lower ground floor parking
- 5 Turning head for service mews
- 6 Cycle parking

Access & Circulation

Pedestrian

Opening up the site to pedestrians, improving the experience on Water Lane and the Embankment, and improving the connection to the River is a key project objective.

- Water Lane is a key pedestrian thoroughfare between the town and Riverside - the existing footway is widened from approx 1.8m to a minimum of 2.5m along its length;
- In addition, a second footway is introduced, linking to the square at the 'upper' level. This provides an improved level access to DJG and Wharf Lane along a min 2.5m wide route;
- A gently sloping route with resting places, suitable for wheelchairs and buggies, is proposed between Embankment and Diamond Jubilee Gardens;
- Pedestrian routes are maintained as well lit and surfaced with suitable hard-wearing materials;
- Stepped access to the new public square and terrace at the corner of Water Lane and the Embankment, celebrating the connection to the Water.

Cycling

The proposals will facilitate more people choosing to cycle. Cycle parking will be distributed around the site at key locations as shown. A more detailed account of cycling on the site is provided within Systra's report.

Vehicles

Much of the site is currently given over to car parking. The proposals address this as much as possible within the application boundary by relocating it below the public square. Care has been taken to ensure that the proposals do not prejudice any future works.

Whilst the scheme does not provide the shared vehicle / pedestrian link between Water Lane and Wharf Lane via the service road (this option was explored and discounted following consultation), the scheme does provide increased pedestrian permeability into the heart of the site.

- The service road is converted to a cul-de-sac with turning head - pedestrian access to Wharf Lane now via improved route through DJG. New loading bays and time limits on servicing are introduced to Water Lane and Wharf Lane;
- Access is maintained to parking on Embankment, a limited number of parking bays are removed to rationalise streetscape and to facilitate access to lower ground floor parking;



Figure 3.4
Play Provision locally

- 1 Diamond Jubilee Gardens Play Area
- 2 Holly Road Play Area
- 3 York House Gardens Tennis Courts
- 4 Radnor Gardens Play Area
- 5 Orleans Gardens Play Area



2



5

Play & Open Space

New developments must assess the needs arising from the development by following standards outlined in the London Plan. Figure 3.4 shows that the site is well served by local play and amenity space, being within 100m of Diamond Jubilee Gardens playground, within 400m of the play area at Holly Road and within 800m of the larger playground and playing field at Orleans Gardens.

According to the GLA social infrastructure calculator, the new development will yield 3 children, all of whom will be served by this existing provision. As such, no new equipped playgrounds will be provided as part of the development.

	Studio	1 Bed	2 Bed	3 Bed	Total
Social Rented					
Intermediate		4	2		6
Market		14	17	2	33
Total		18	19	2	39

Figure 3.5 Accommodation schedule, by tenure

	Nr	%	m2
Under 5	2	62	20
5-11	1	22	10
12+	0	16	0
Total	3	100	30

Figure 3.6 Child yield & play areas by age

Figures 3.7 and 3.8 on the following page show the existing and proposed external areas on the site. It can be seen that the proposed scheme represents a dramatic uplift in public space, and a reduction in space used by vehicles.

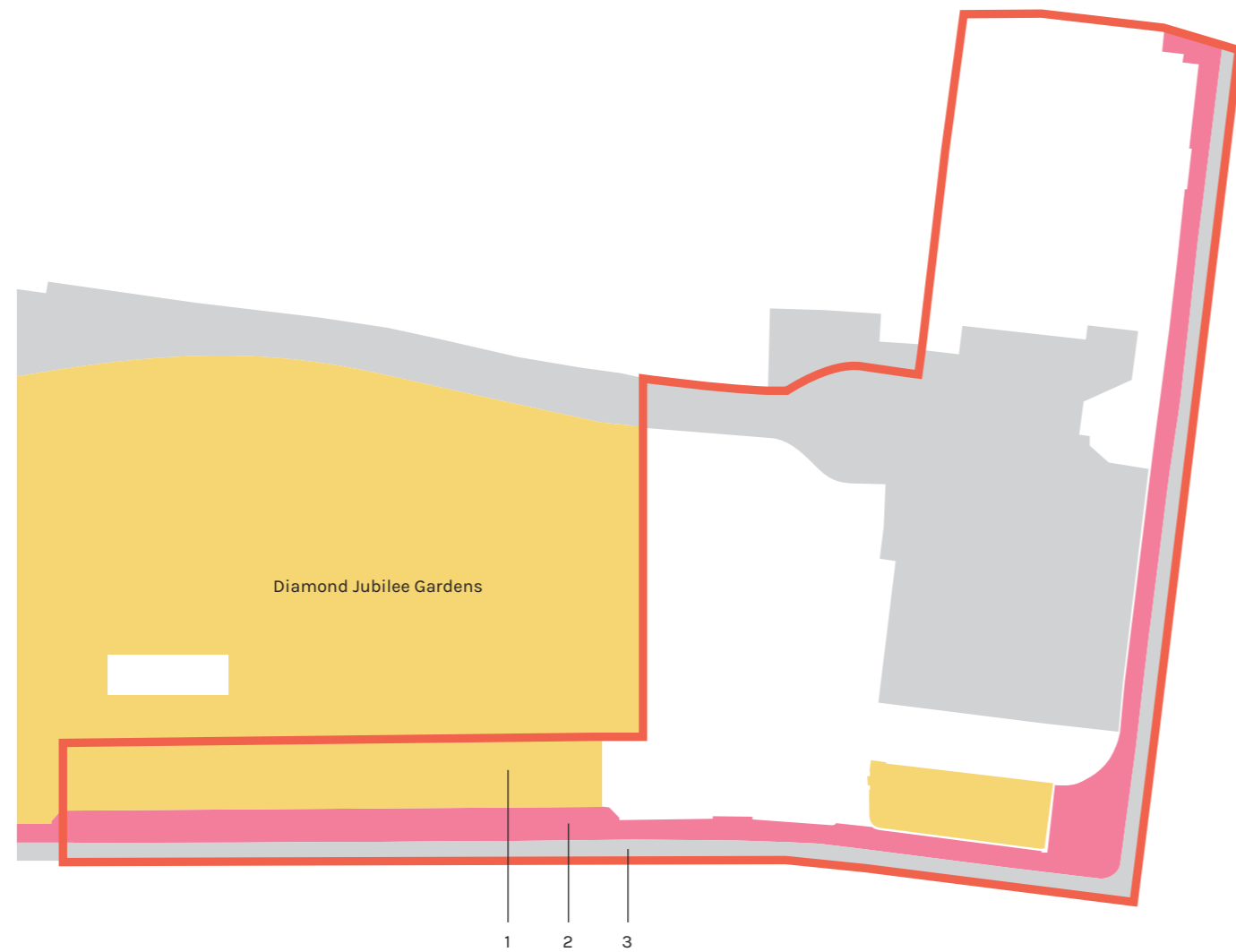


Figure 3.7
Existing Space Provision (within application boundary)

- 1 Publicly accessible open space **515m²**
- 2 Pedestrian circulation space **512m²**
- 3 Vehicular circulation space & parking **1465m²**

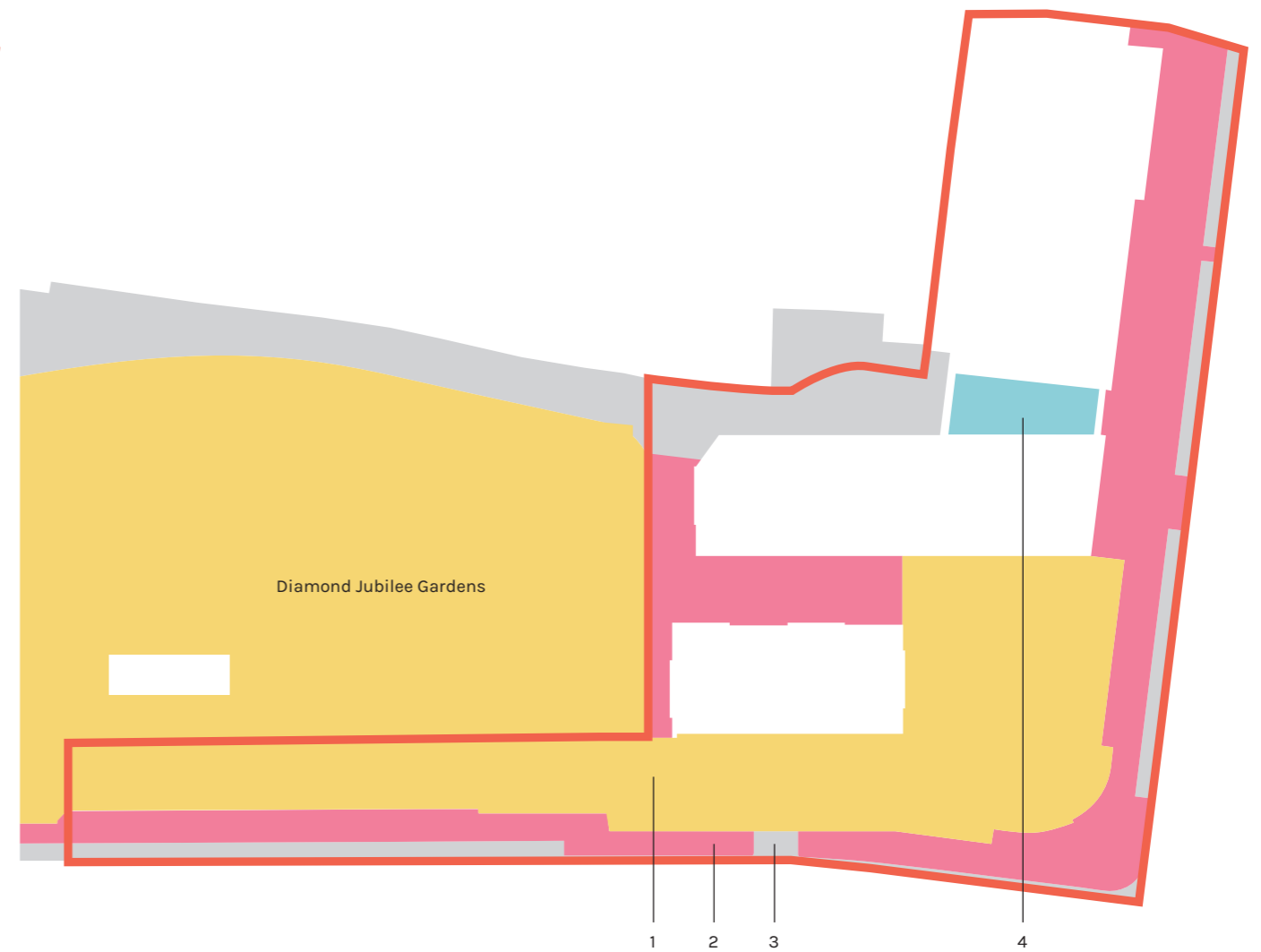


Figure 3.8
Proposed Space Provision (within application boundary)

- 1 Publicly accessible open space **1310m²**
- 2 Pedestrian circulation space **1125m²**
- 3 Vehicular circulation space & parking **476m²**
- 4 Communal shared amenity space **87m²**

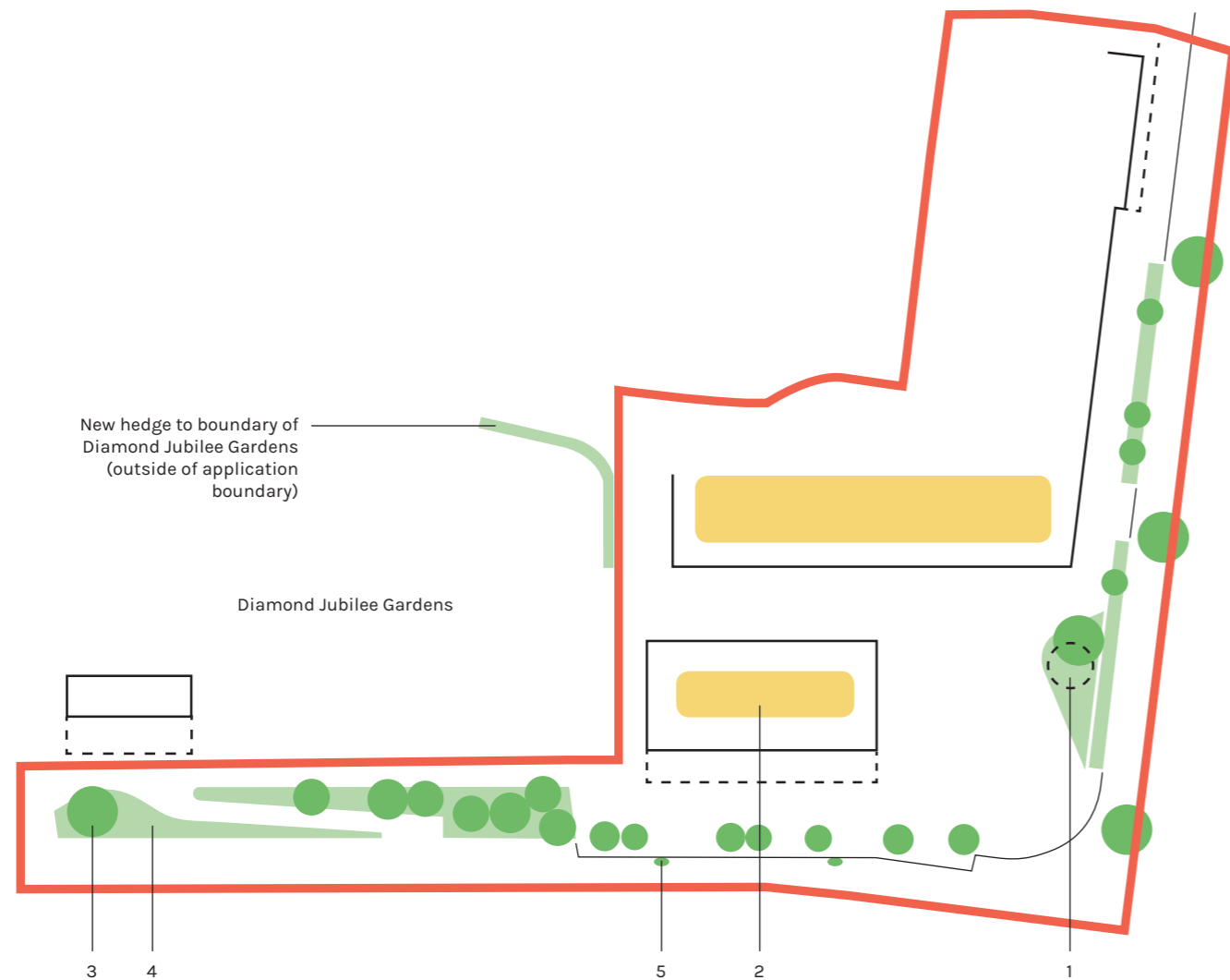


Figure 3.9
Ecology

- 1 Potential location for a small area of dead wood to be stacked on site, within a planted area.
- 2 Areas of biodiverse roof
- 3 Scattered trees, native species, underplanted
- 4 Planting, including native species and species of recognised wildlife value
- 5 Climbing plants provide vertical nesting habitats and foraging resources.
- 6 Existing 'insect hotel' to be relocated on site



1



6

Ecology

The ecology report notes that recommendations to enhance the biodiversity value of the site in accordance with national and local planning policies comprise the inclusion of sustainable drainage systems including biodiverse roofs; landscape planting of recognised wildlife value; the provision of bird nesting opportunities; and, wildlife-friendly fencing. Strategies for meeting the ecological objectives as follows:

- **Stag beetles** rely on tree stumps and dead wood for their larvae to develop. Although not identified as present on site, the larvae of stag beetle could be present in the root systems of any trees being removed. The removal of any semi-mature/mature trees will also reduce/remove suitable deadwood habitat for this species in the short-term to medium term i.e. until any retained or replacement trees have matured. A small area of dead wood will be stacked on site, within a planted area.
- In addition, the existing **invertebrate tower** will be relocated to a suitable area in order to ensure its continuing use by invertebrate species.
- Following the principal of 'no-net-loss', compensatory habitat will be established on site, including provision of scattered trees supplemented by an understorey of native forb species, and hedging as described in Chapter 6. Native species are proposed where appropriate.
- **Wildlife planting** is integral to the soft landscape plans and includes native species and species of recognised wildlife value. The use of nectar-rich and berry producing plants will attract a wider range of insects, birds and mammals and continue to accommodate those already recorded at the site.
- **Trees are under-planted** to improve structure and cover for wildlife.
- The planting design also includes the **climbing plants** (Wisteria) on the piers between the doors to the storage units to provide vertical nesting habitat and foraging resources for birds and invertebrates; and,
- Good **horticultural practice** will be utilised, including the use of peat-free composts, mulches and soil conditioners, native plants with local provenance and avoidance of the use of invasive species listed on Schedule 9 of the Wildlife and Countryside Act 1981 (as amended).

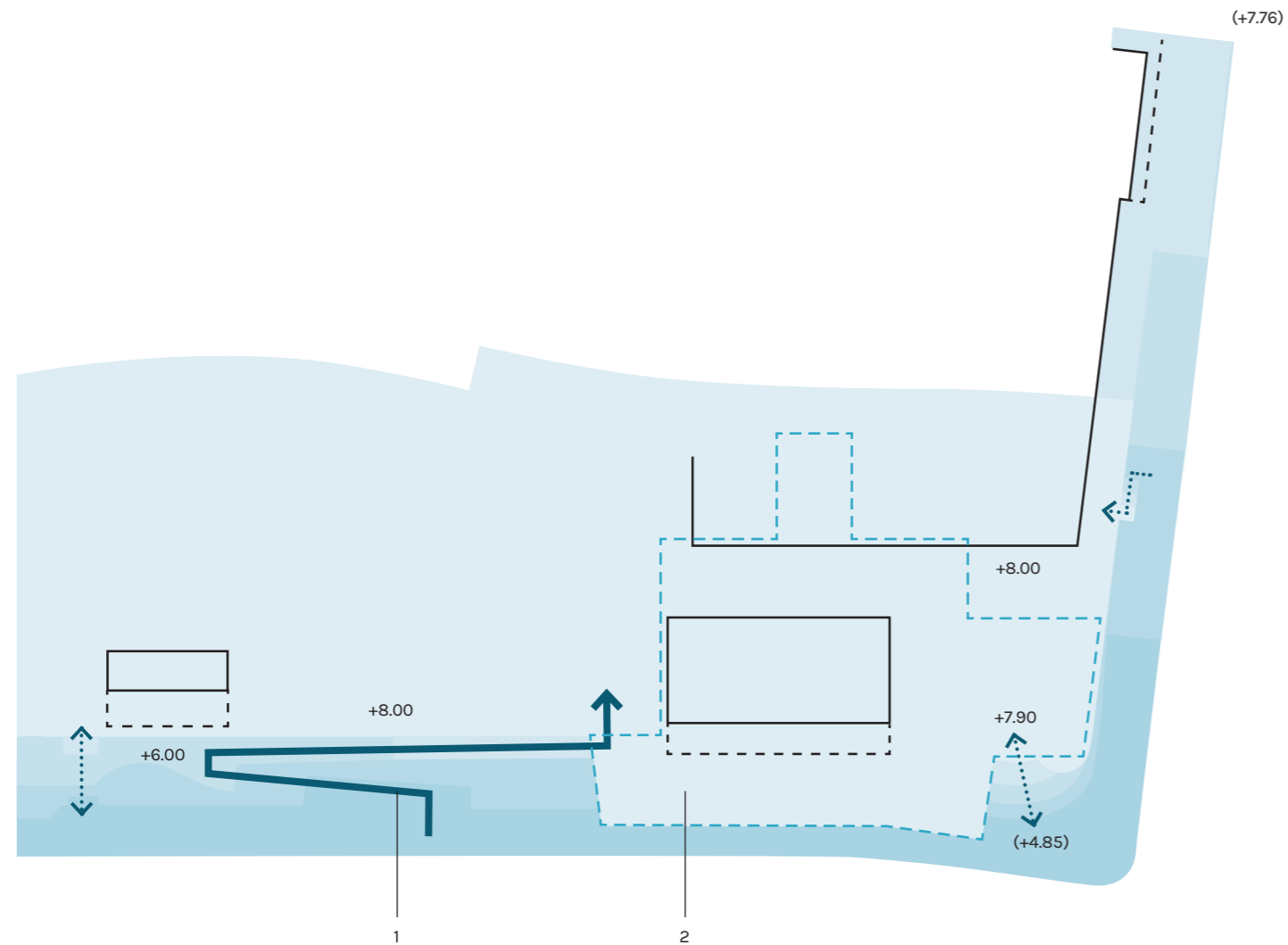


Figure 3.10
Topography

- 1 New gently sloping route between Embankment and Diamond Jubilee Gardens
- 2 Area of podium - 80mm thick layer of 'permavoid' attenuation
- 3 Potential use of grit-jointed natural stone setts



3

Topography & Flooding

There is an existing approx 3m level change between the top and bottom of the site (from around 7.8m AOD at King Street, down to 4.8m AOD on the Embankment). The proposals emphasise this change via the dramatic steps, 'bastion' wall and podium level landscape with views over the river.

Currently there is no accessible route from either Water Lane or the Embankment to Diamond Jubilee Gardens. Topography is manipulated to create these new routes as shown on Figure 3.10.

The site sits in the flood plain. Detailed discussions have taken place with the EA which have driven the levels of doorways and uses described - refer to the Flood risk assessment (FRA) for more. All materials in the landscape are positioned and designed with this in mind.

Drainage Strategy

- Due to the flood nature of the site, pavements fall at a minimum 1:60 from all buildings;
- Grit-jointed paving is used where possible, allowing water to drain freely;
- In order to reduce run-off from the site, surface water is attenuated in the sub-base where practicable - a shallow layer of permavoid or similar over podium, or type 3 granular material to solid-ground areas.
- Part M compliant threshold drainage is provided to all entrances where required.

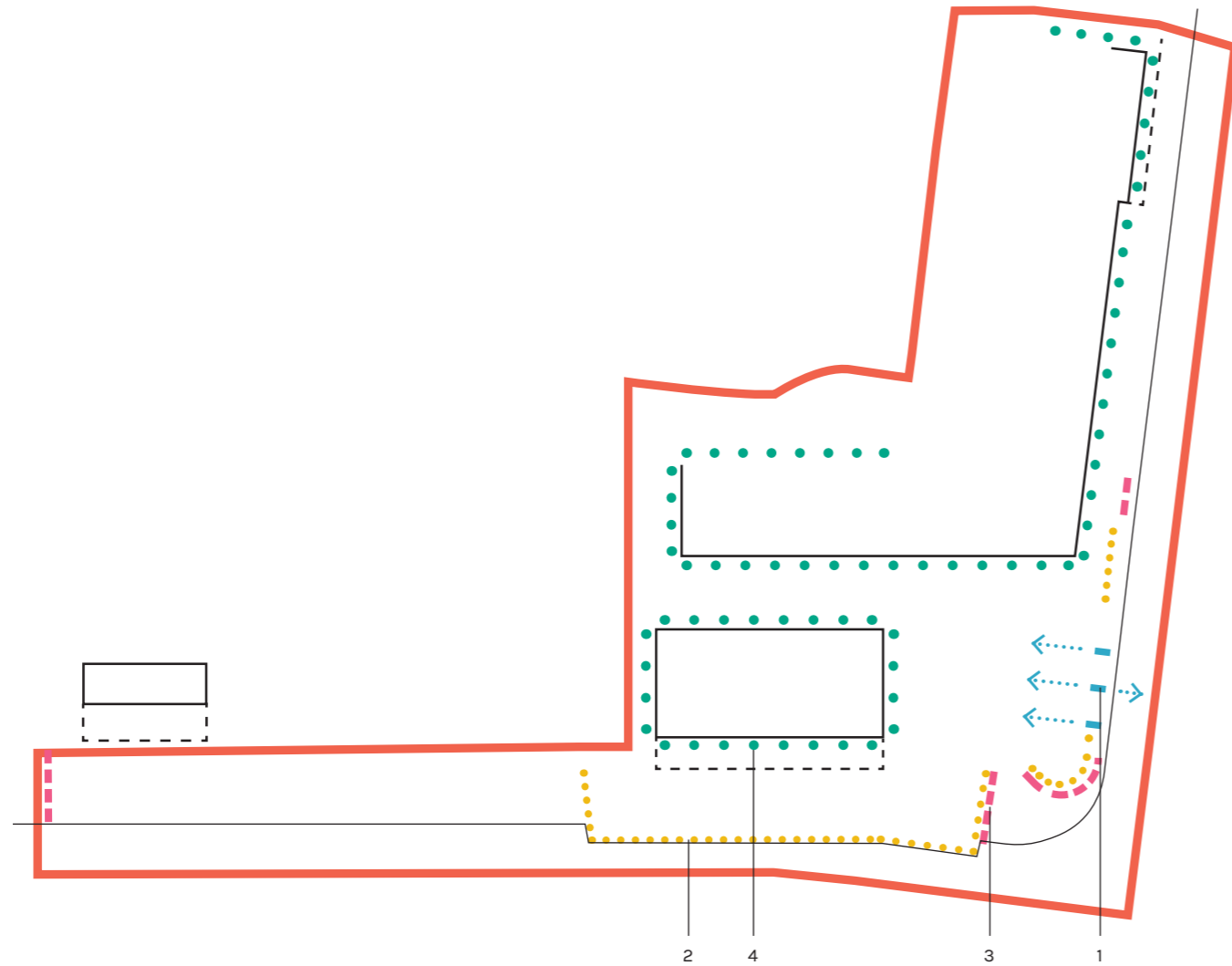


Figure 3.11
Lighting Strategy

- 1 High lighting columns on NE edge of square for event lighting
- 2 Recessed bulkhead lighting inset to parapet of wall
- 3 Recessed lighting to steps
- 4 Building mounted lighting



Lighting

The lighting design will accentuate the aesthetic and reinforce the functional aspects of the scheme, helping to create a safe and attractive environment and facilitating events in the Square. Due to the sensitive setting the scheme will need to achieve this with careful integration, subtlety and control, being mindful of:

- The setting of the conservation area;
- Ecology, reducing light spillover onto bat foraging paths or into the night sky;
- Residential nature of the area, reducing light spill to nearby bedroom windows.

The overall lighting for the site is to be kept to a minimum, using a variety of sources, including highways lighting, lighting from building fronts, feature lighting columns in the square, and bulkhead lighting recessed into the river terrace and steps.

Also see drawing 7085_LUC-LD_PLN-201

Crime & Personal Safety

A key aim of the TRP project is to ensure that the whole community feels comfortable and safe in and around the Riverside. However, the site has associations with crime & anti-social behaviour: being away from the town centre and any natural surveillance the interior of the site has been a favoured spot for after-hours drinking and drug taking.

The development represents a total shift in the nature of the site's function and management - new evening restaurant uses, homes and workplaces will bring more people into the space after dark. In order that this behaviour does not continue to exclude people from the space its prevention is therefore a driver for the design and layout.

The design has been mindful of the following points which were raised with the Metropolitan Police Service's Designing Out Crime Officer, Ray Goodlett:

- **Good legibility** of the routes and spaces through the development. Clear demarcation of territories through the design - ie. which areas are public, which are associated with tenanted units etc;
- Not creating **hiding places** within the landscape;
- A good level of **lighting** from dusk til dawn, within the constraints imposed by ecology and heritage conservation: affording good facial recognition on main routes;
- **Natural surveillance** of the publicly accessible space from habitable rooms and other new uses;
- **Management** of existing and new planting so not to spill over primary footways, no pinch points, places for concealment etc; and,
- Planting kept lower than 1.2m, trees will not have branches lower than 2m thereby providing a **clear field of vision** through the site.