

PLACEMAKING

PLACEMAKING

The Landscape Masterplan is structured around a movement between the high ground on King Street and the Riverside. Figure 4.1 names the key places that together make up the Riverside public realm: Water Lane; the Square; Terrace; and, Embankment Gardens. These characterful, functional places will complement the new architecture and assist integration into Twickenham's existing fabric.

This section fleshes out the public realm proposals and briefly describes design evolution where appropriate. The design has undergone an iterative design process involving consultations with local groups, stakeholders, and formal and informal pre-application consultations with planning. Whilst some design options are included where relevant, this document does not include a narrative of their development, which is largely captured in the DAS and statement of community involvement.

The general placemaking principles are as follows:

- An active waterside which sensitively integrates with the character and activities in Diamond Jubilee Gardens;
- A series of functional and usable places with shelter, places to rest, clear circulation spaces;
- Places which feel truly public - event spaces, places to sit and watch the river, not too closely tied to commercial uses;
- A mixture of usable hard and soft landscape spaces.

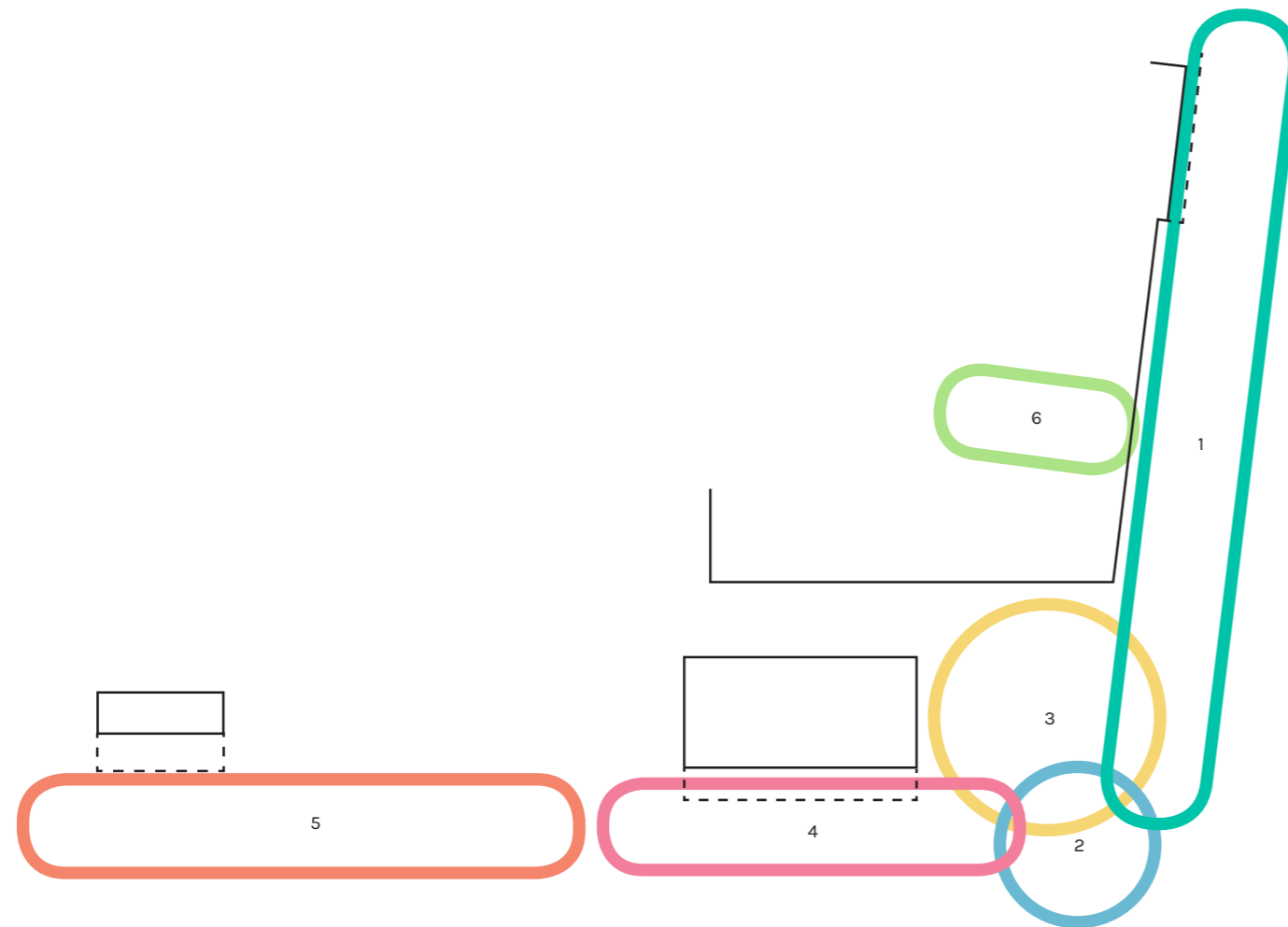


Figure 4.1
Landscape & Public Realm Key

- 1 Water Lane p24-25
- 2 Bastion p26-28
- 3 Square p29-31
- 4 Terrace p32-33
- 5 Embankment Boulder Garden p34-35
- 6 Roof Terrace p36



Placemaking precedents

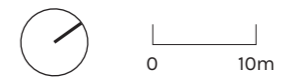
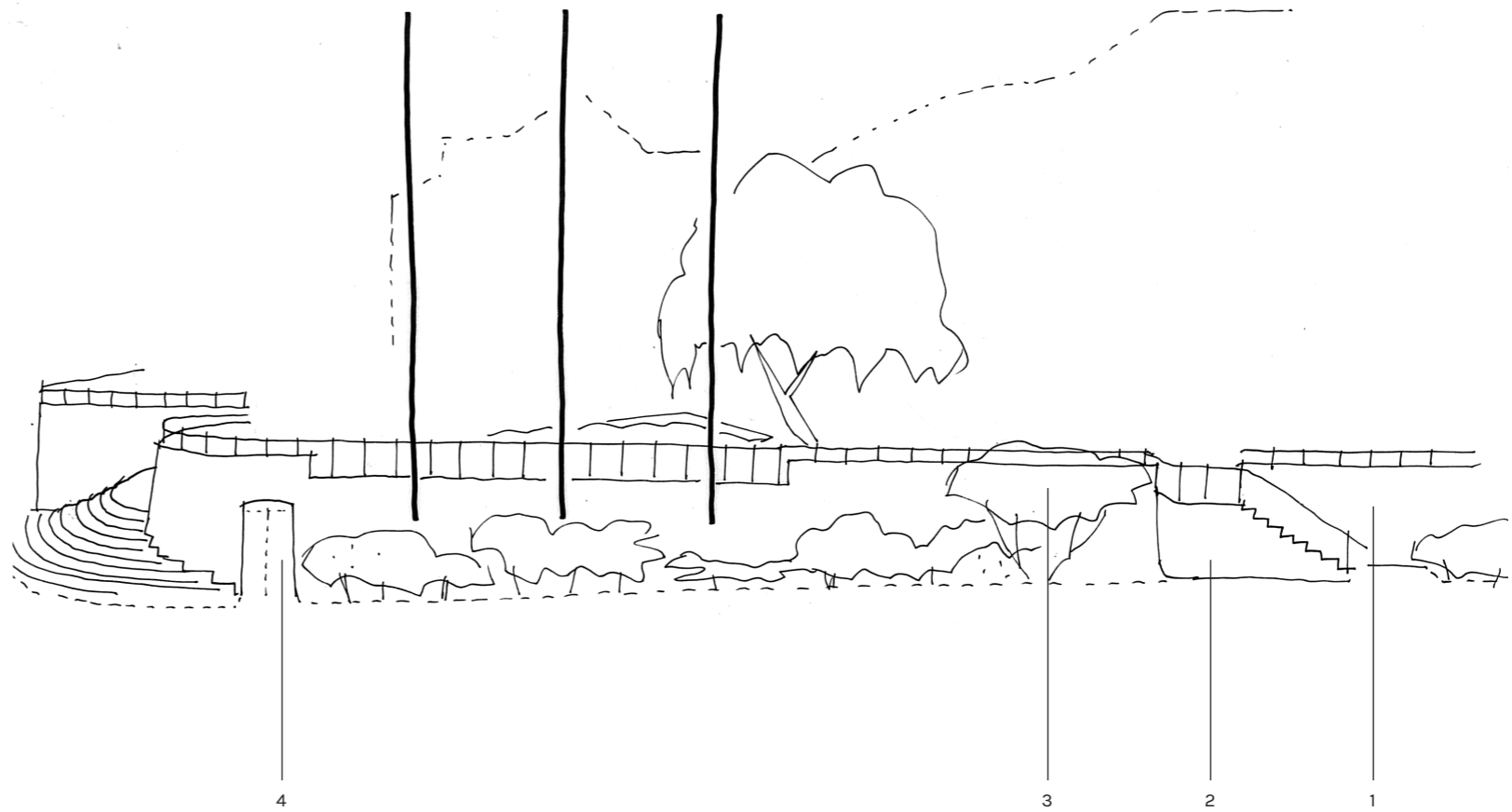


Figure 4.2
Landscape Masterplan

- 1 Square**
Public space for performances, markets and sitting out. Potential for water features, event lighting, and tree planting
- 2 Water Lane**
A much improved pedestrian route with new trees and planting.
- 3 Lookout**
Feature seating steps and bastion 'lookout' space
- 4 Terrace**
10m deep public space with outdoor seating, space for sitting and watching the river.
- 5 Embankment Access**
Level access created between Embankment and Diamond Jubilee Gardens
- 6 Embankment**
Car park entrance, some parking removed, pavements widened



Design development, Water Lane retaining wall - elevation and sketch



- 1 Retaining wall between upper and lower level walkways, steel balustrade to top to match existing DJG lido railing.
- 2 Stepped access between Water Lane and Square
- 3 Low planting and specimen shrubs to soften wall
- 4 Door in wall leading to lower ground floor parking

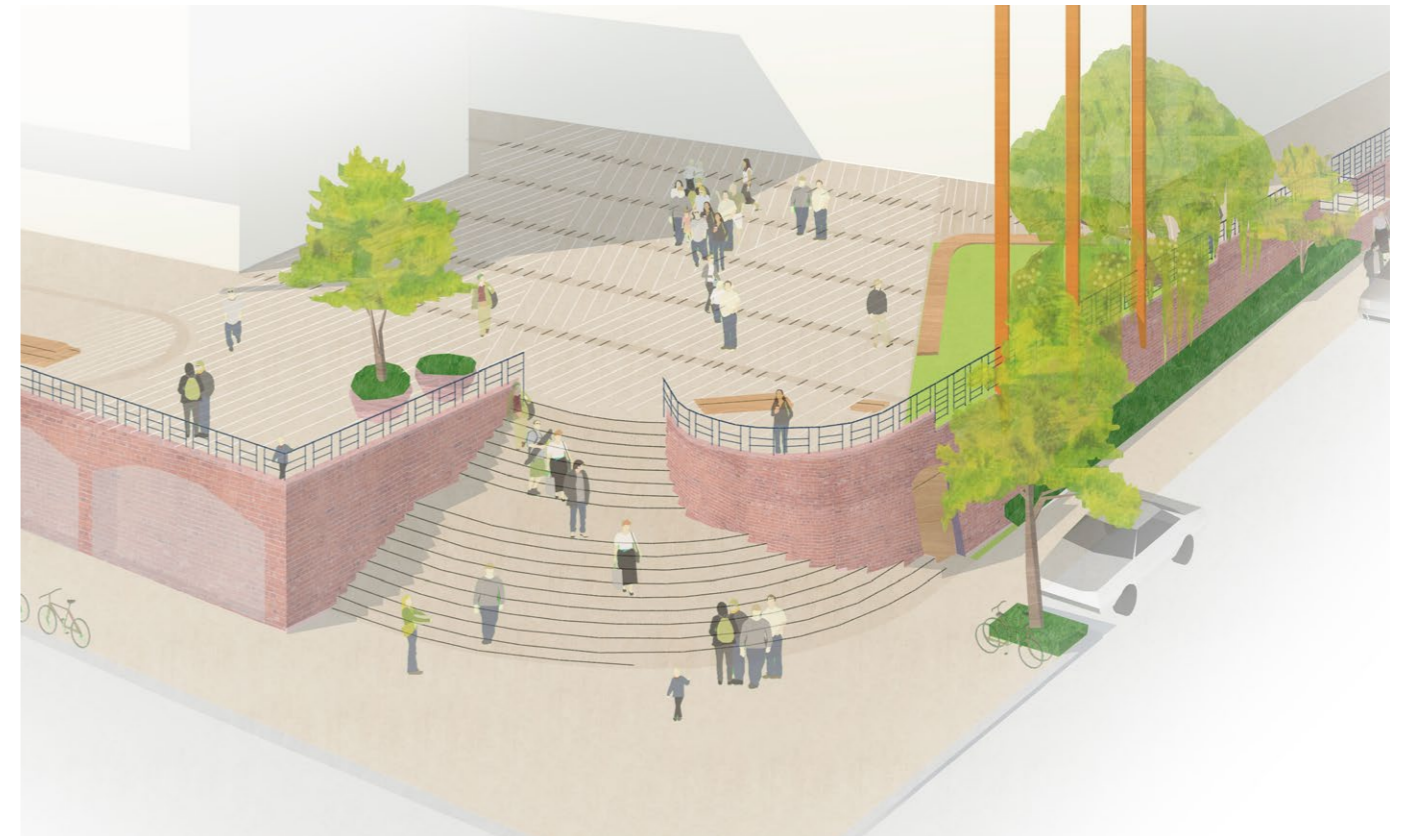
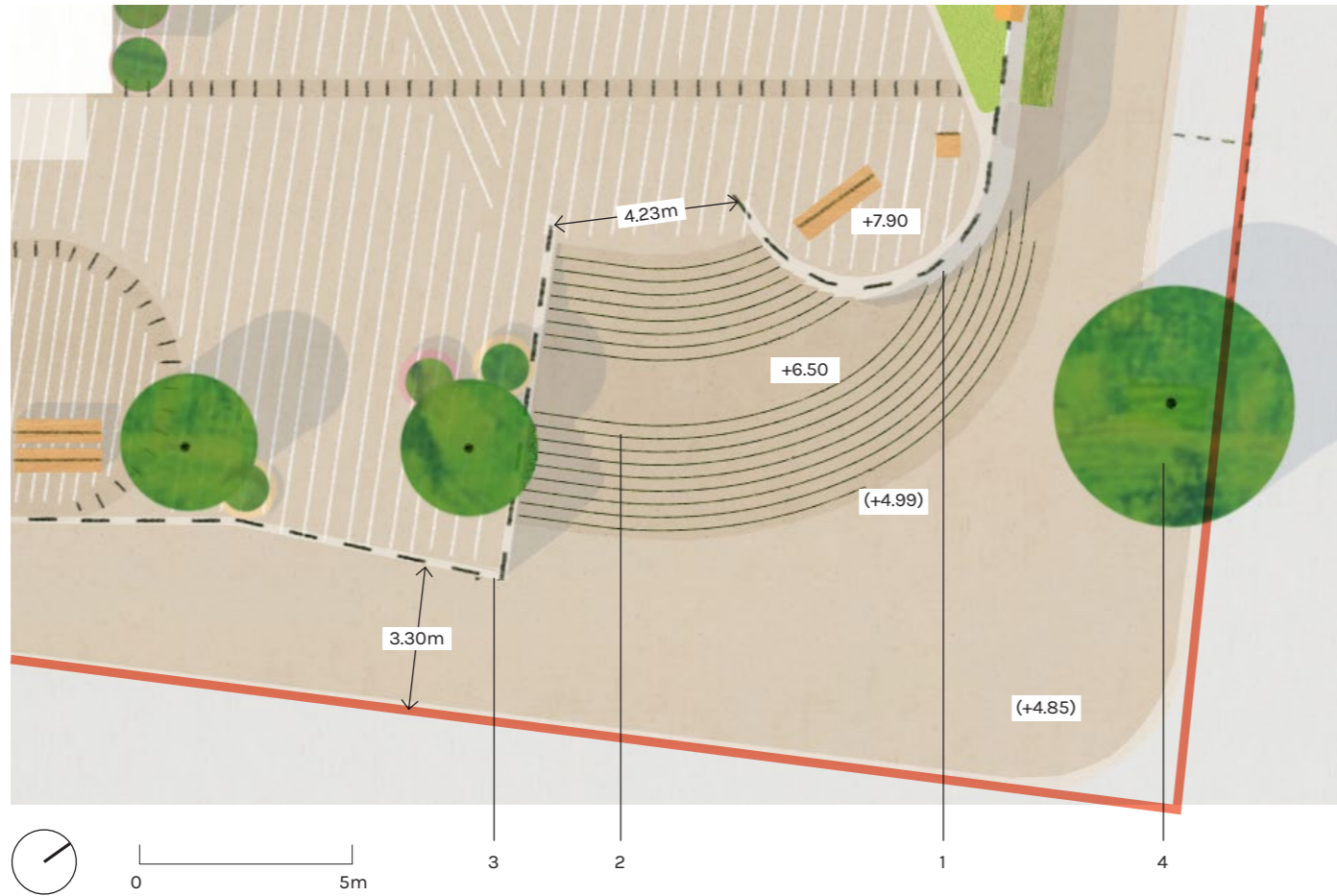
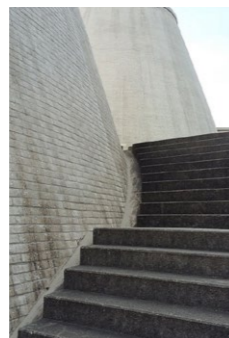


Figure 4.4
Bastion Steps, General Arrangement

- 1 Battered 'bastion' masonry retaining wall with lookout and seating space to top
- 2 Grand seating steps between Embankment and public Square
- 3 Lower ground floor wall follows line of existing wall, footway built out to increase width
- 4 New cycle parking to Water Lane



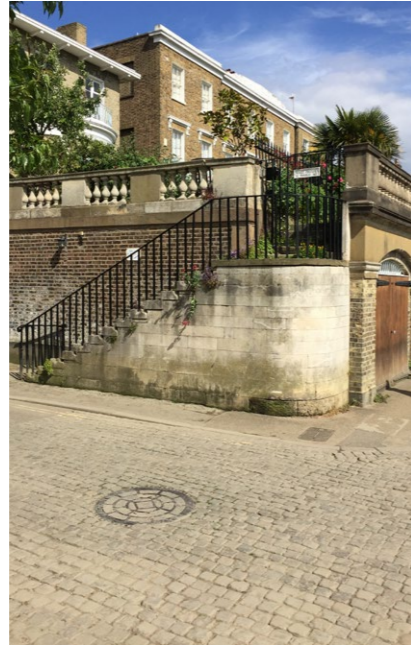
Precedent - wall/steps

Bastion

A grand flight of steps are created on the corner of the Terrace, encouraging people up to the terrace from the Riverside. The wall pushes out to create a dramatic 'bastion', making the most of what was described at an engagement event as the "best piece of real-estate in Twickenham". The intervention create a performance space and a meeting place as well as a functional access route; it reflects the constraints of the site whilst taking its cue from other similar elements around the borough (see next page).



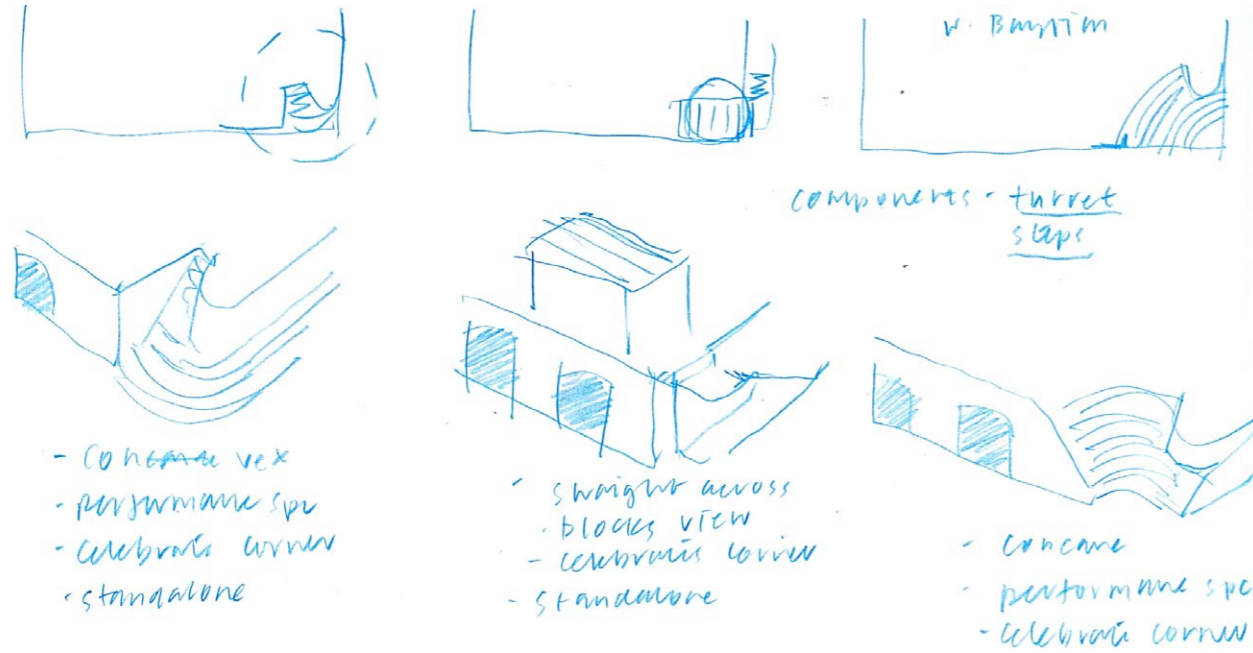
Local precedents - St Helena Terrace, Richmond



Local precedents - Twickenham Bridge



Local precedents - Champions Wharf



Design development - consideration of alternative arrangements for bastion steps



Lookout Space, Porto

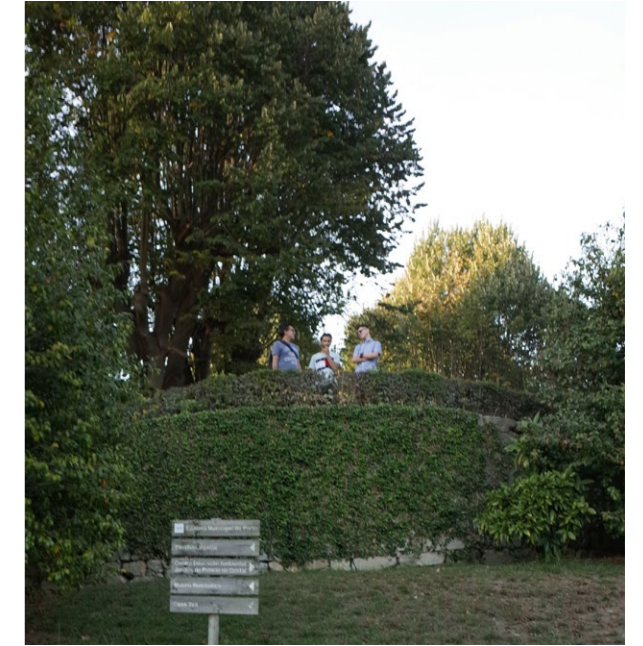
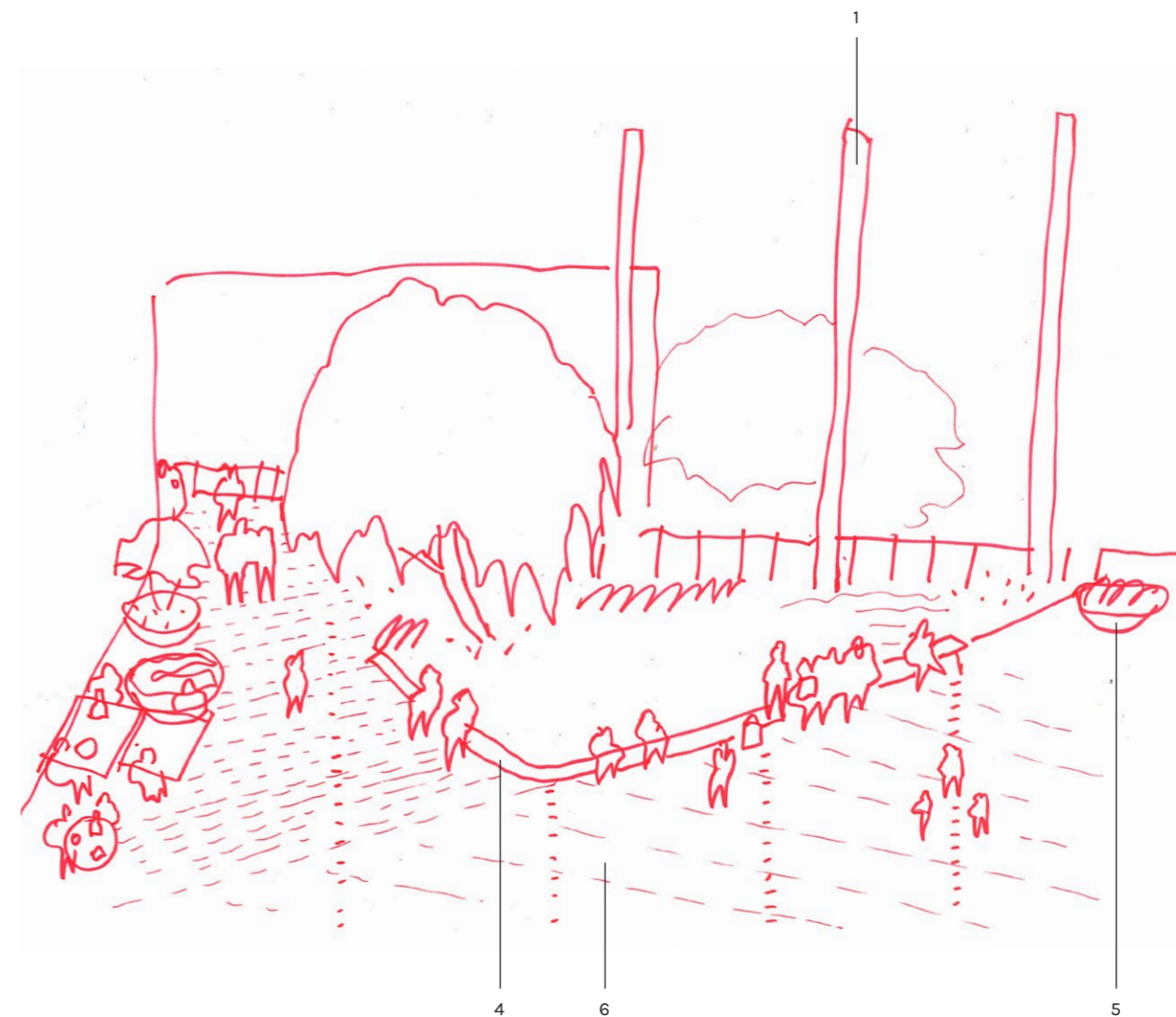




Figure 4.5
Square, General Arrangement

- 1 Bespoke corten steel lighting columns providing light and power to events
- 2 Weeping willow planted at the edge of the square, providing shade and shelter, softening the impact of the retaining wall to Water Lane, and a visual link to Eel Pie Island
- 3 Lookout space with seating
- 4 15m long curved bench - place for meeting and watching events in the square
- 5 Planting in containers over podium
- 6 Yorkstone paved surface



The Square

The square provides a clear space of around 430m² just smaller than 2 tennis courts, which will enable future flexible uses including events, markets and areas for commercial spill-out. The square is paved with best quality yorkstone and will feel 'special' to walk onto. The paving will be laid in such a way as to aid way finding and navigation, and to break up any potential monotony.

- Masts create enclosure at high level - 'describe volume' of the square, whilst providing lighting for events;
- A large planted area on the north-east side of the square, to soften and provide shade and shelter on the northern edge, softening the lower ground floor retaining wall from Water Lane;
- A 15m long curved bench facing into the square.

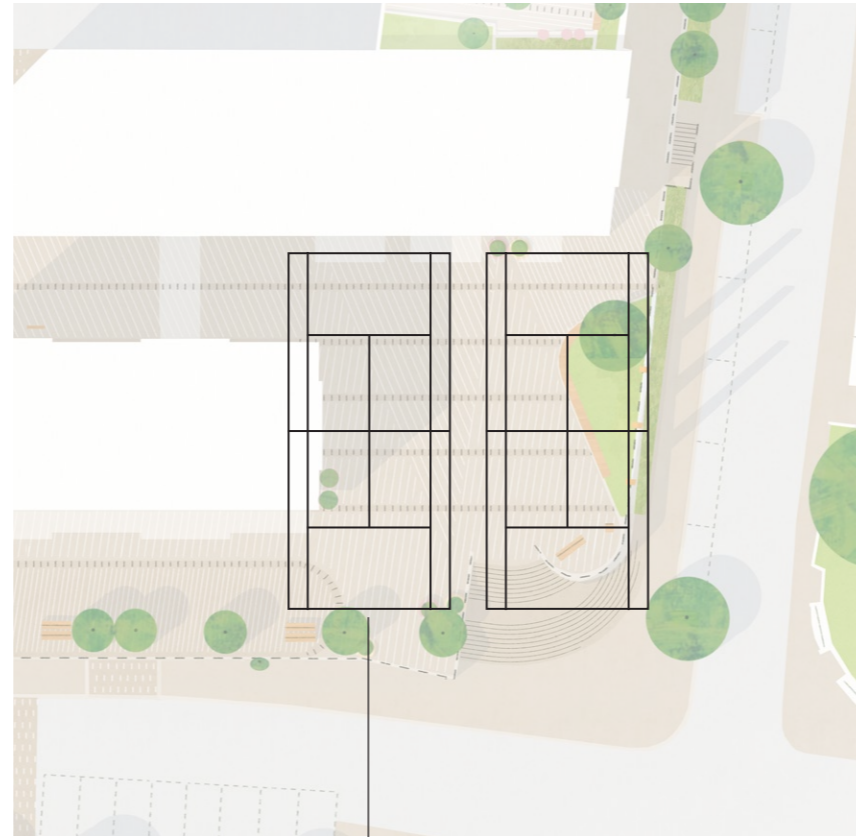


Figure 4.6
Square, Scale

- 1 Area of square approximately **437m²**
- 2 2 x standard tennis courts,
(23.77x10.97m each) **520m²**
- 3 Scale comparison, Heron Square,
Richmond **1000m²**

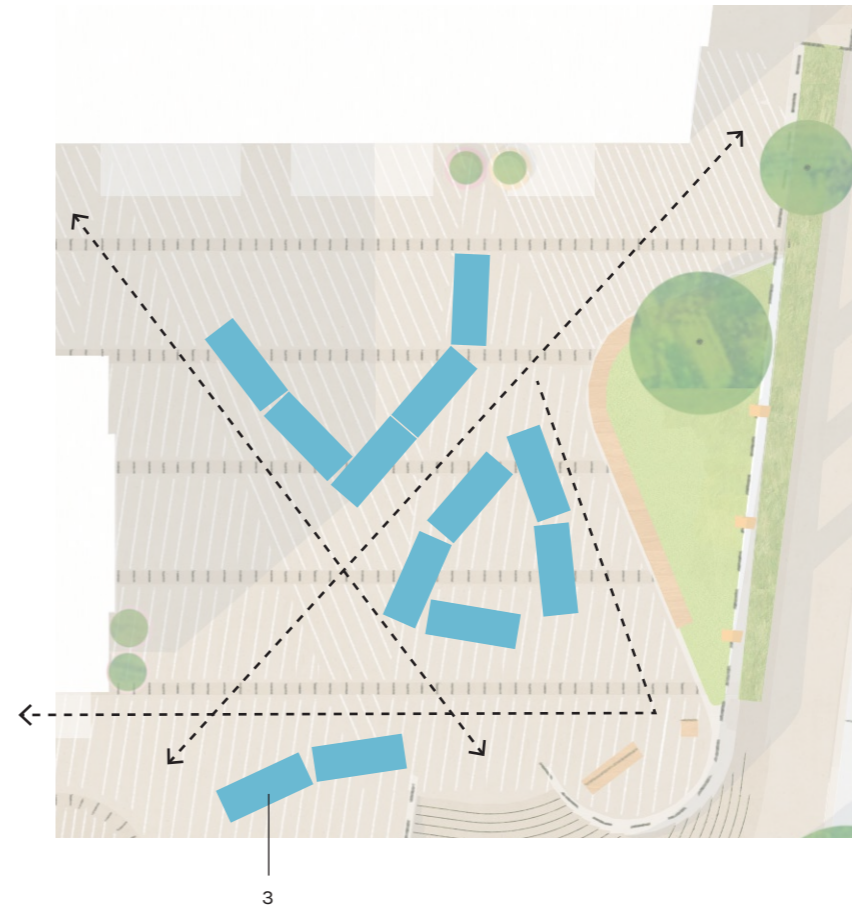
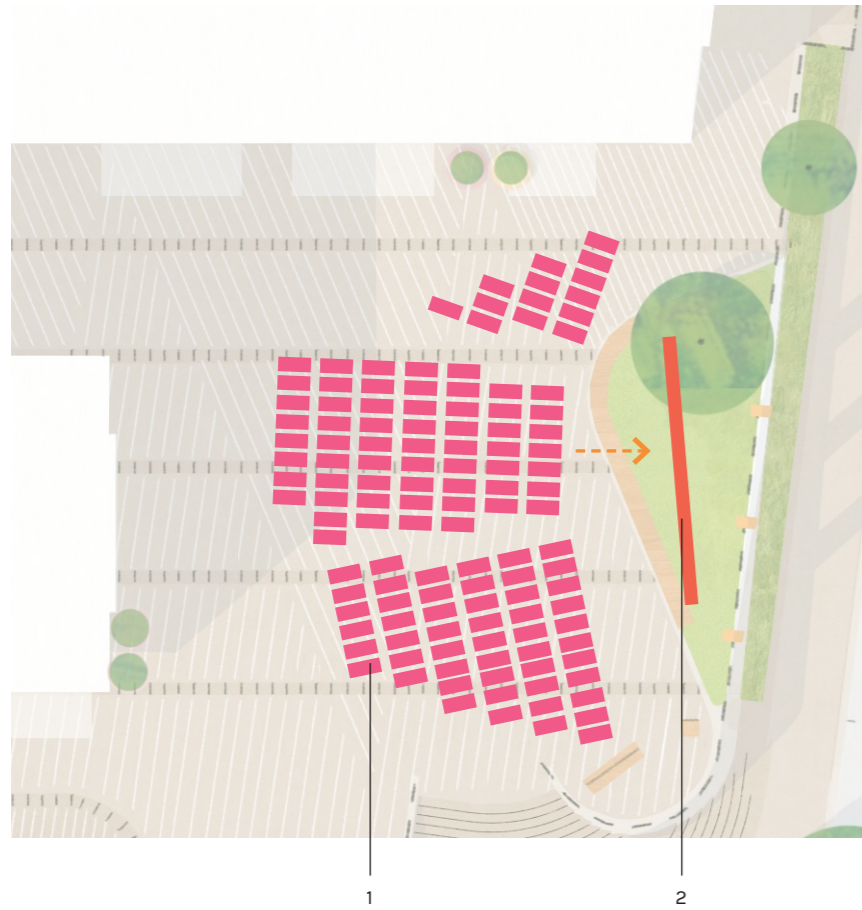


Figure 4.7
Square configurations

- 1 125 x deckchairs
- 2 8m wide outdoor cinema screen
- 3 12 x 1.2 x 3.0m market stalls

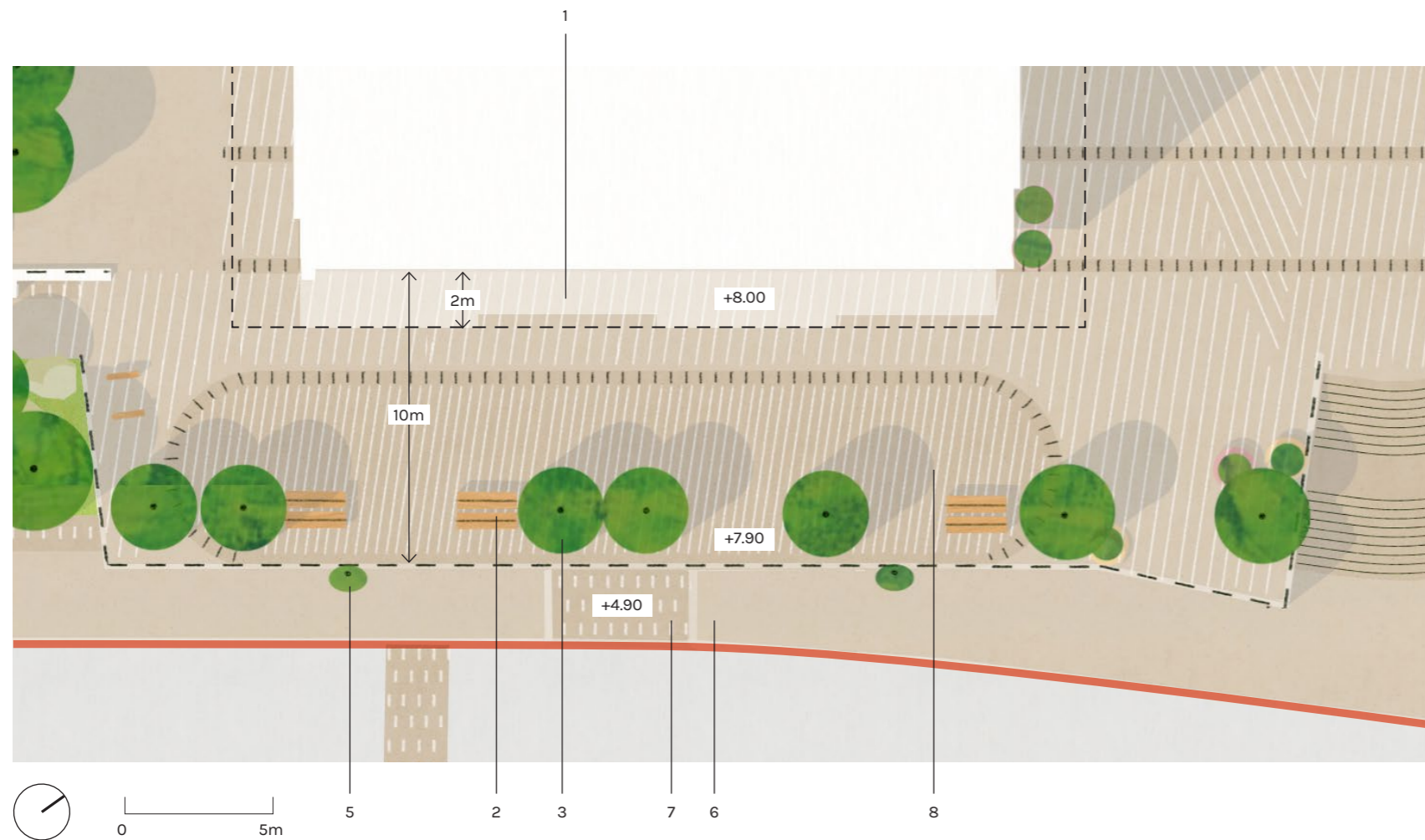


Figure 4.8
Terrace, General Arrangement

- 1 Min 2.0m depth commercial spill-out
- 2 Paired timber benches facing to the water, and into the terrace - continuing the treatment from DJG
- 3 Magnolias planted into pots
- 4 Cycle parking
- 5 Climbers trained to facade
- 6 Yorkstone footway widened, min 2.5m
- 7 Car park entrance
- 8 Terrace paved with natural stone sets - pattern in surface to break up expanse



3



8

The Terrace

A min 10m deep terrace continues the character of the space from DJG, a south-facing space to sit and watch the river. A light-touch is used to programme the space, which will need to work well when fairly empty (most of the time) as well as when very busy (rugby days, summer weekends). Commercial spill-out space is provided to the south of Block B, as well as a clear zone for pedestrian circulation.

The podium structure constrains the ability to plant the terrace, so trees are planted in giant pots which are located around the space - to soften and break up expansive hard areas and provide shelter.



Embankment

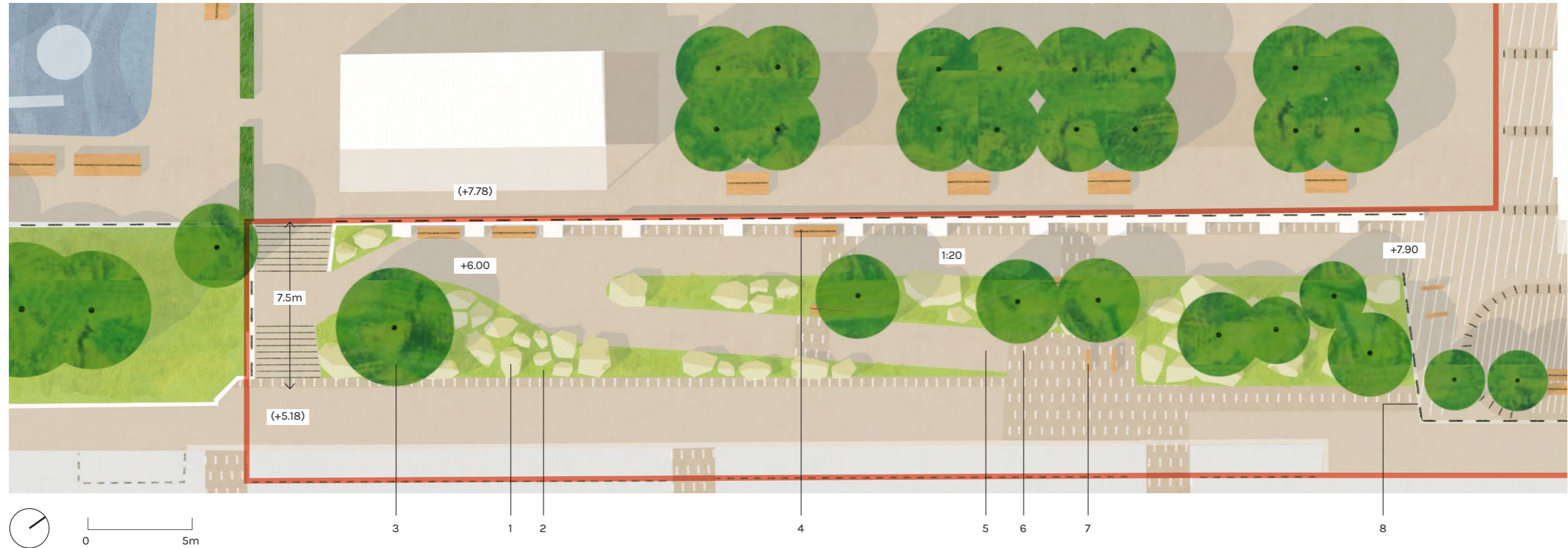


Figure 4.9

Embankment Boulder Garden, General Arrangement

- 1 Stacked boulders, concreted into place, forming 3m level change slope
- 2 Grasses & perennial planting extending character of the gardens to the street
- 3 Weeping willow on corner
- 4 Benches placed at rest points
- 5 Resin bonded gravel path
- 6 Granite setts
- 7 Cycle parking
- 8 Boulder slope interfaces with lower ground floor wall

Embankment Boulder Garden

A new gently-sloping route is created between the Embankment and DJG. The 'Embankment Garden' will take its design cue from the existing rock garden, using huge stacked boulders to build up the levels against the existing retaining wall.

- Playable landscape feature - boulders arranged to allow older children to climb;
- Resin bonded gravel provides 'crunch' underfoot - a tactile difference from the smoother surfaces elsewhere;
- Trees and planting set into the slope - design to take account of flooding.



Precedent - garden formed around an access to the banks of the Saone



Precedent - boulder garden

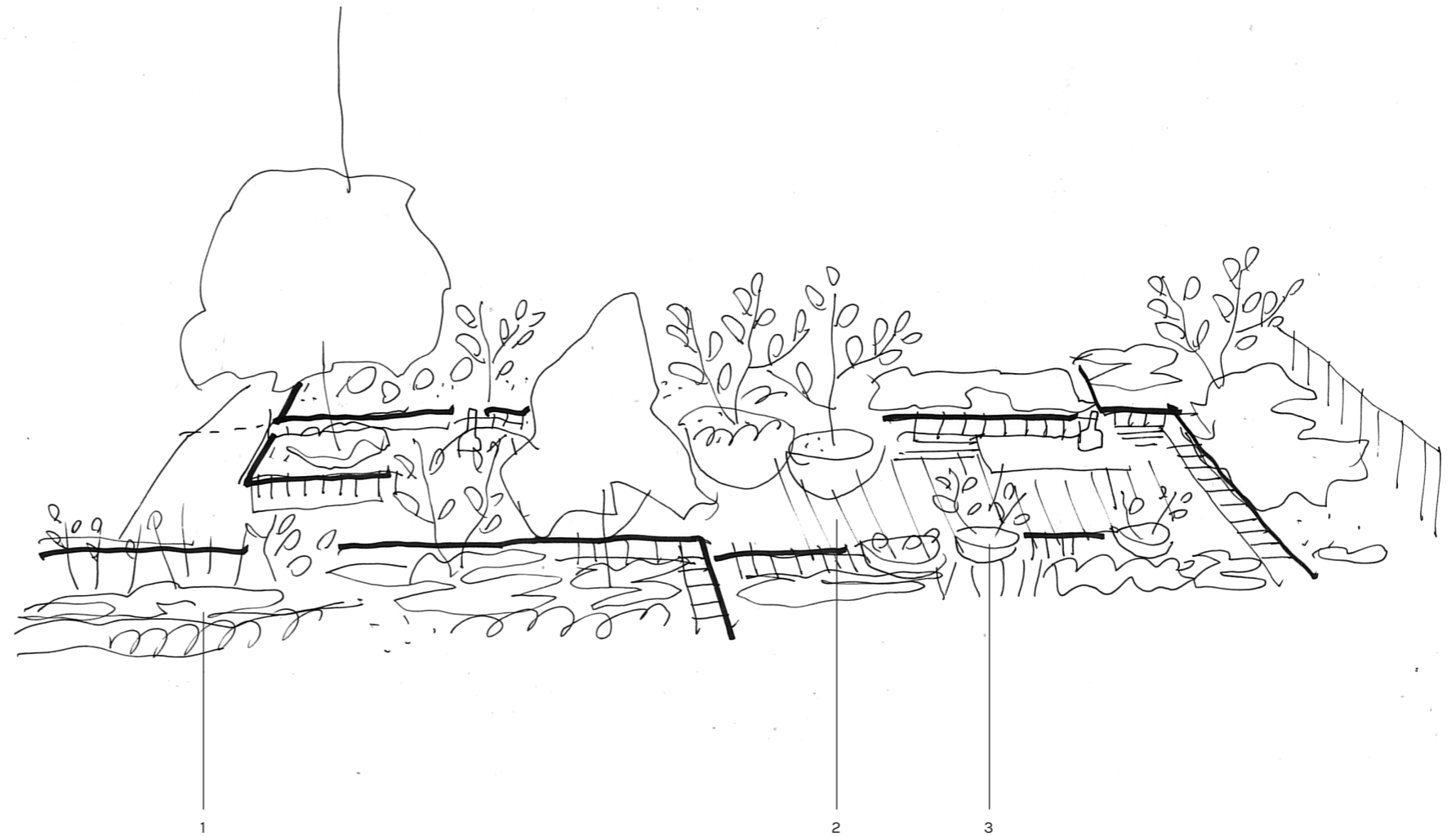
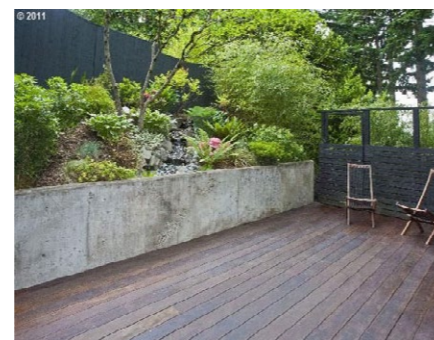


Figure 4.10
Roof Terrace - Plan & Sketch Design

- 1 Low (400-900mm) masonry planters with herbaceous planting. Small trees (Japanese maple) providing shade, shelter and softness
- 2 Stone paved terrace for tables and chairs
- 3 Pots



Roof Terrace

A roof terrace (approx 85m²) is proposed to the roof of Block A. This provides a valuable amenity space for residents for sitting out in a garden amongst planting. Space is provided for a couple of tables and chairs, raised planters and three Japanese maples.