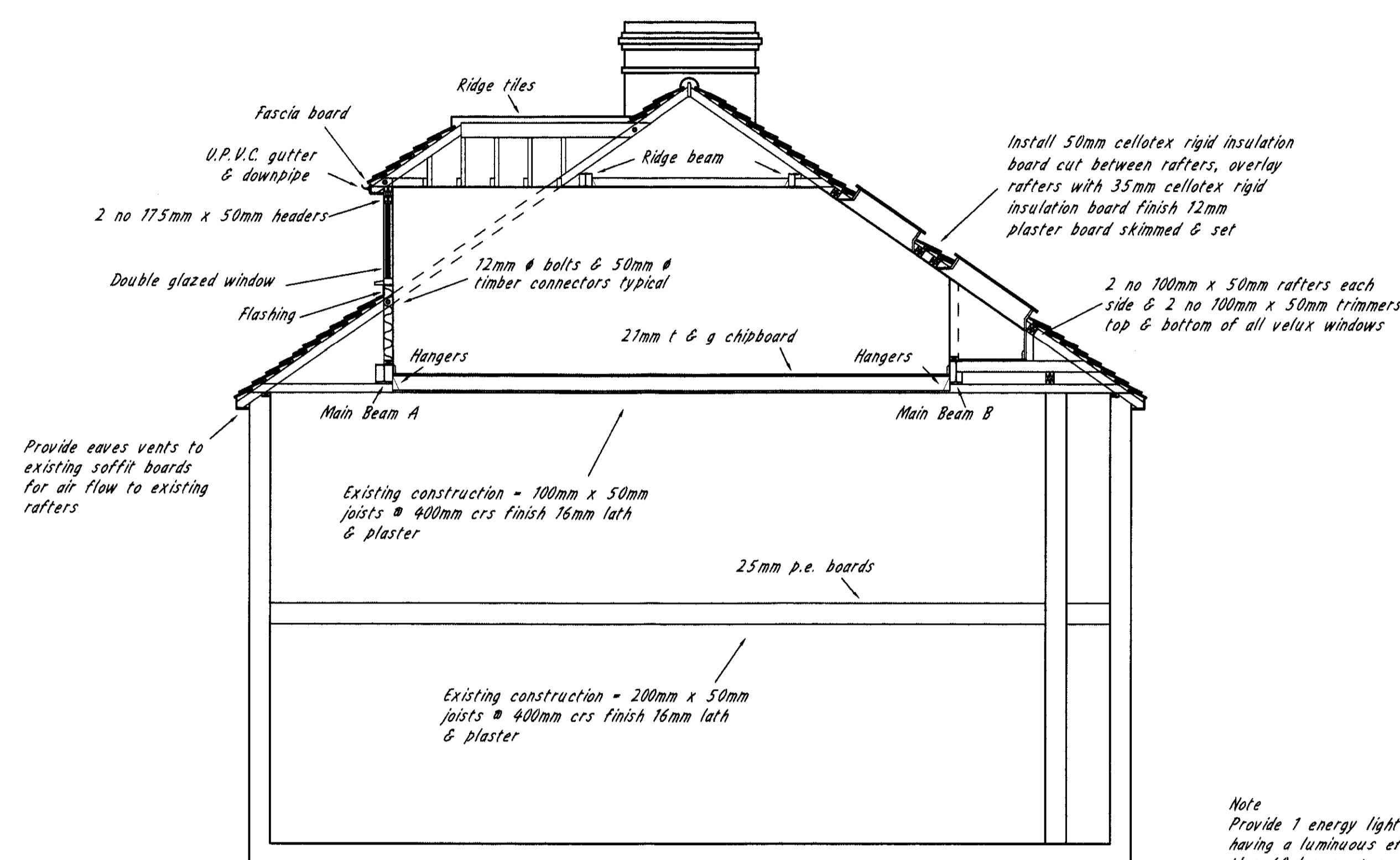


ALL DIMENSIONS MUST BE CHECKED ON SITE AND NOT SCALED FROM THIS DRAWING



SECTION THROUGH

**NOTE - PARTY WALL ETC ACT 1996**  
Building owner is responsible for serving all notices and obtaining any written consent which may be required under the above legislation before work commences

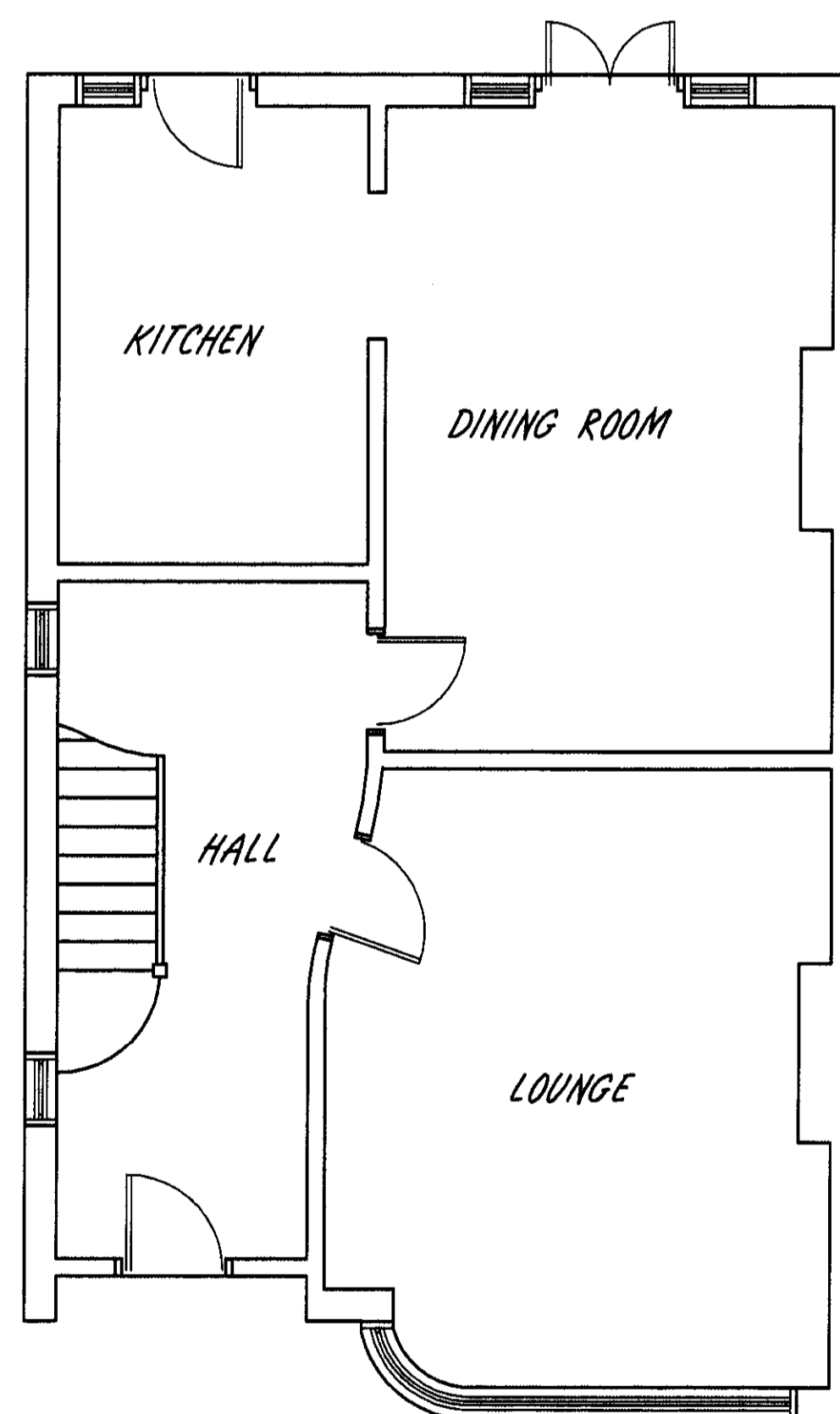
Install new smoke detectors complying to BS 5446 PART 1, alarms to be positioned in circulation spaces within 7.0m of doors to living rooms, dining rooms & kitchens and within 3.0m of doors serving bedrooms, corridors exceeding 15m in length require at least 2 detectors, alarms must be fixed at least 300mm from walls, light fittings, heaters and air conditioning. Each floor must be fitted with alarms and all alarms must be inter-connected mains operated with battery back up

All electrical work required to meet the requirements of part P (electrical safety) must be designed, installed, inspected and tested by a person competent to do so. Prior to completion the council should be satisfied that part P has been completed with this work requires an appropriate BS7671 electrical installation certificate to be issued for the work by a person competent to do so

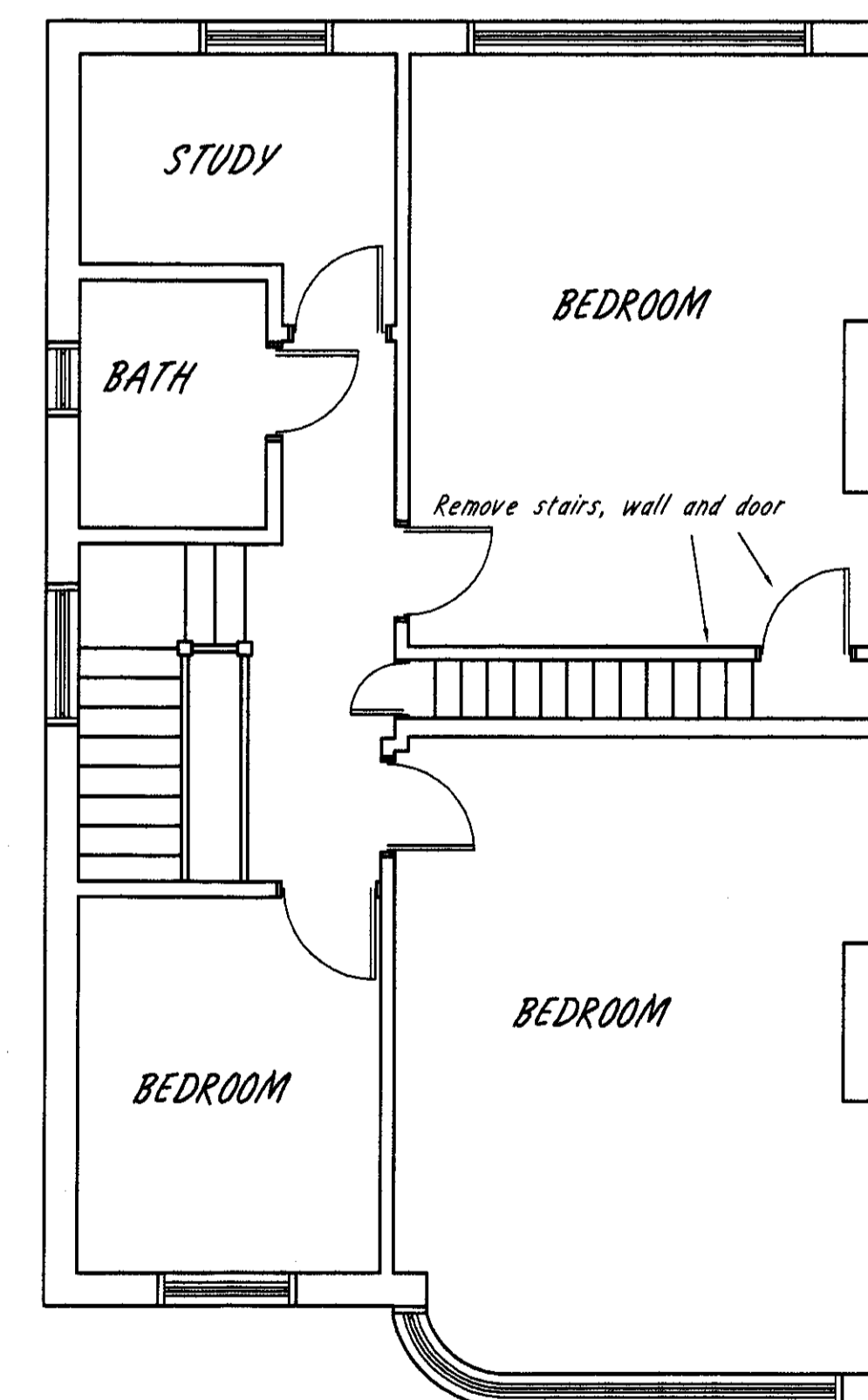
**Note**  
Provide 1 energy light to each new room having a luminous efficiency greater than 40 lumens per circuit watt  
Provide thermostatic control valves to new radiators in new rooms & all new pipework to be insulated to BS37198 or BS7206  
Provide solid strutting to new floor joists where joists exceed 2.5m span position at mid point  
Any rafters spanning more than 2.57m to be doubled up and bolted together

Provide 100m rockwool insulation slab min density 100kg/m<sup>3</sup> laid between existing ceiling joists and extend boarding into eaves

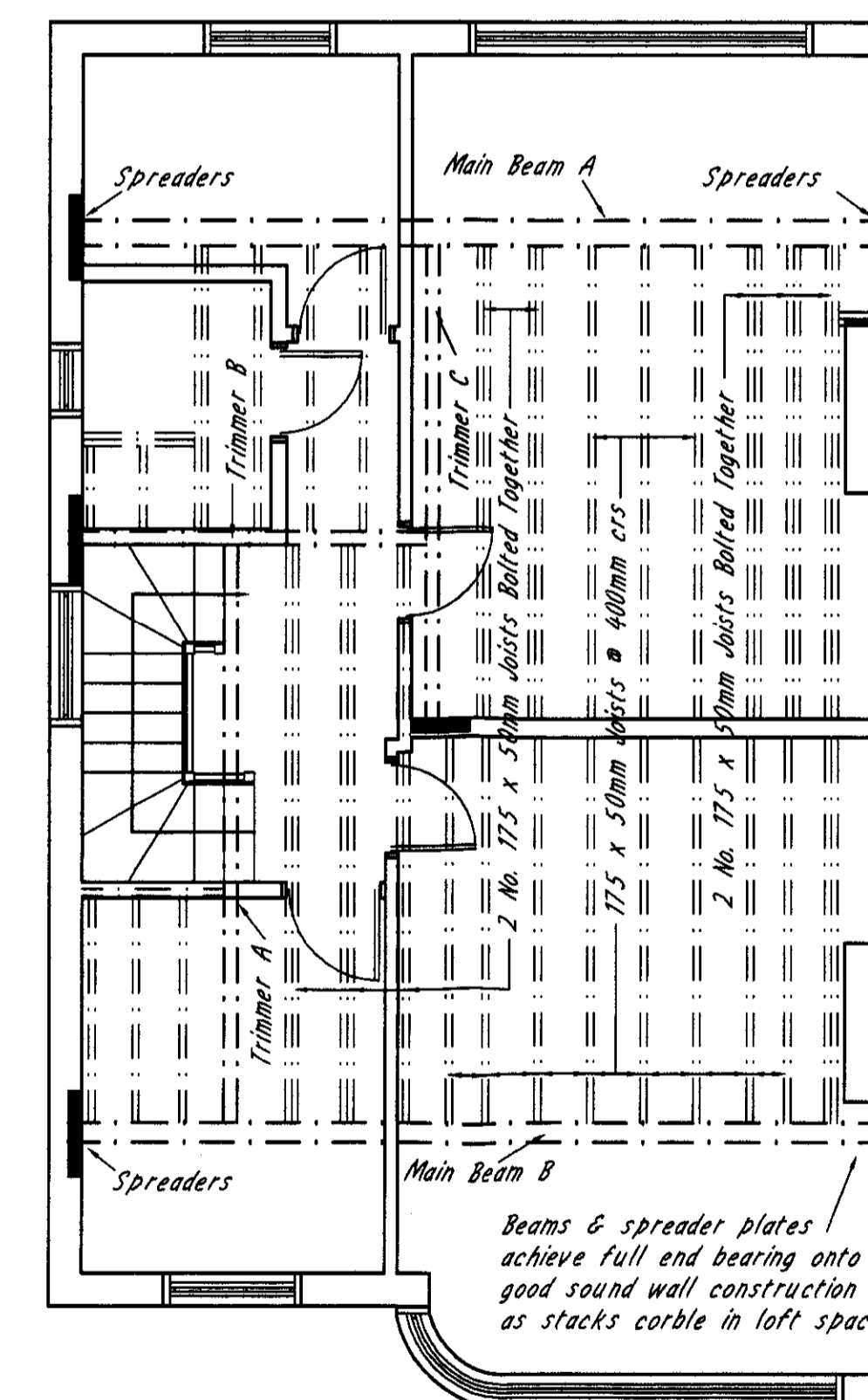
Provide mechanical vent to shower room, wired to light switch to give 3 air changes per hour with 10 minute over run and ducted to external air



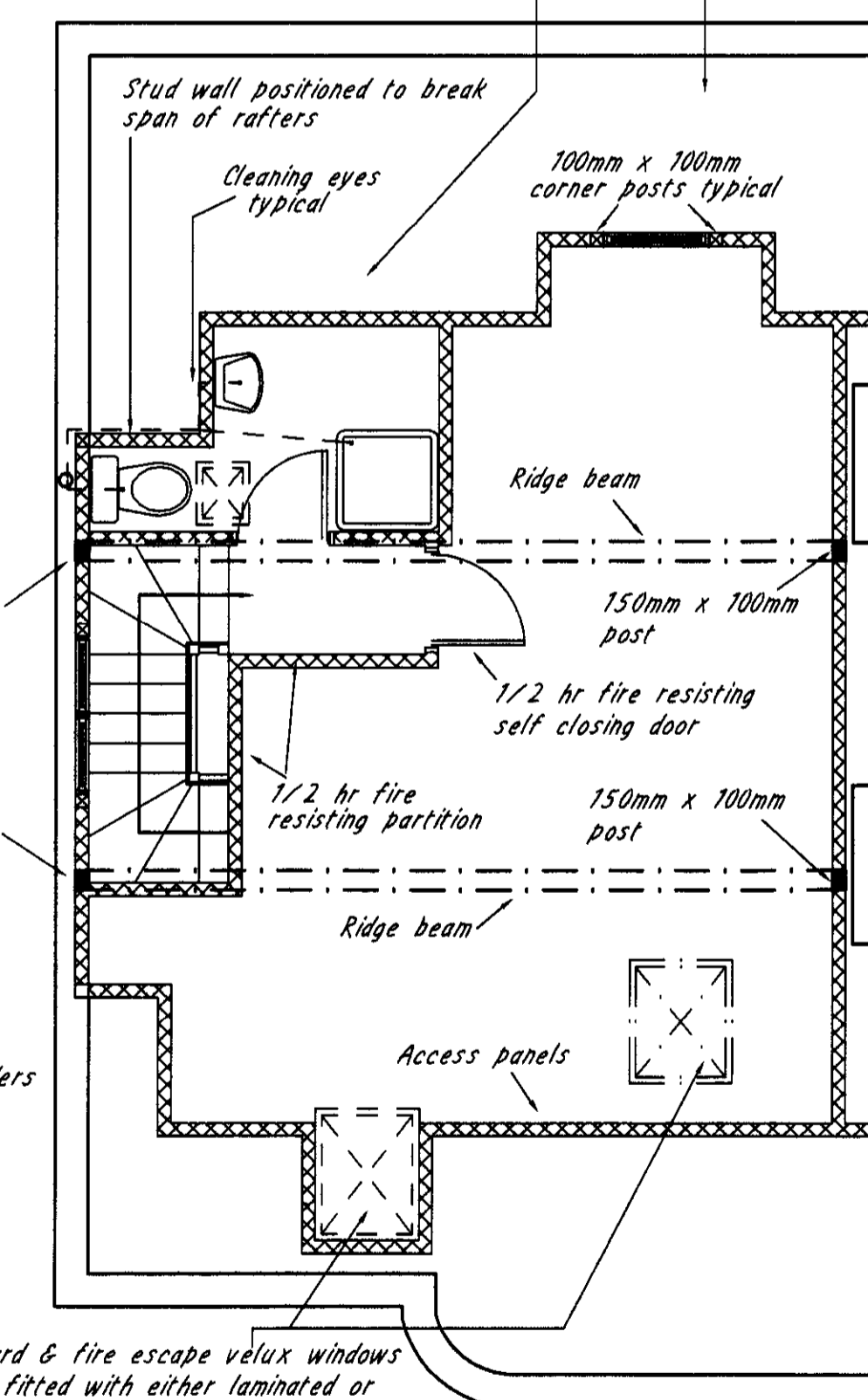
GROUND FLOOR PLAN



FIRST FLOOR PLAN



JOIST LAYOUT PLAN



ROOF SPACE PLAN

**ROOF**  
3 LAYERS BITUMEN FELT TO BS 747, CP144 WITH 12.5mm MIN MINERALITE CHIPPINGS BONDED IN HOT BITUMEN ON 22MM WEATHERING PLYWOOD ON FIRTINGS TO FALL 1:40 ON 50mm SQUARE CROSS BATTENS ON GRADE SC3 JOISTS AS PER CALCULATIONS WITH 120mm CELLOTEX INSULATION FINISH 12mm PLASTER BOARD INCORPORATING VAPOUR BARRIER SKIMMED AND SET FASCIA BOARDS KEPT 25mm AWAY FROM FACE OF TILES ON 3 SIDES FOR AIR FLOW. GUTTERS TO BE 100mm HALF ROUND, DOWNPIPES TO BE 68mm DIA P.V.C.

**DORMER WALLS**  
TILE OR SLATE HANGING TO MATCH EXISTING ON BATTENS ON UNTEARABLE ROOFING FELT ON 100 X 50mm STUDINGS & NOGGINS WITH 70mm CELLOTEX INSULATION, FINISH 12mm PLASTER BOARD INCORPORATING VAPOUR BARRIER SKIMMED AND SET

**DORMER & GABLE WALLS WITHIN 1M OF BOUNDARY**  
TILE OR SLATE HANGING TO MATCH EXISTING ON BATTENS ON UNTEARABLE ROOFING FELT ON 12.5mm SUPRALUX ON 100 X 50mm STUDINGS & NOGGINS WITH 70mm CELLOTEX INSULATION, FINISH 2 LAYERS 9.5mm PLASTER BOARD TO GIVE A FULL 1/2 HOUR FIRE RESISTANCE FROM BOTH SIDES

**INTERNAL WALLS**  
12.5mm PLASTER BOARD INCORPORATING VAPOUR BARRIER ON 100 X 50mm STUDINGS AND NOGGINS WITH 100mm ROCKWOOL (MIN. DENSITY 10kg/m<sup>3</sup>) SUSPENDED IN THE CAVITY FOR SOUND INSULATION

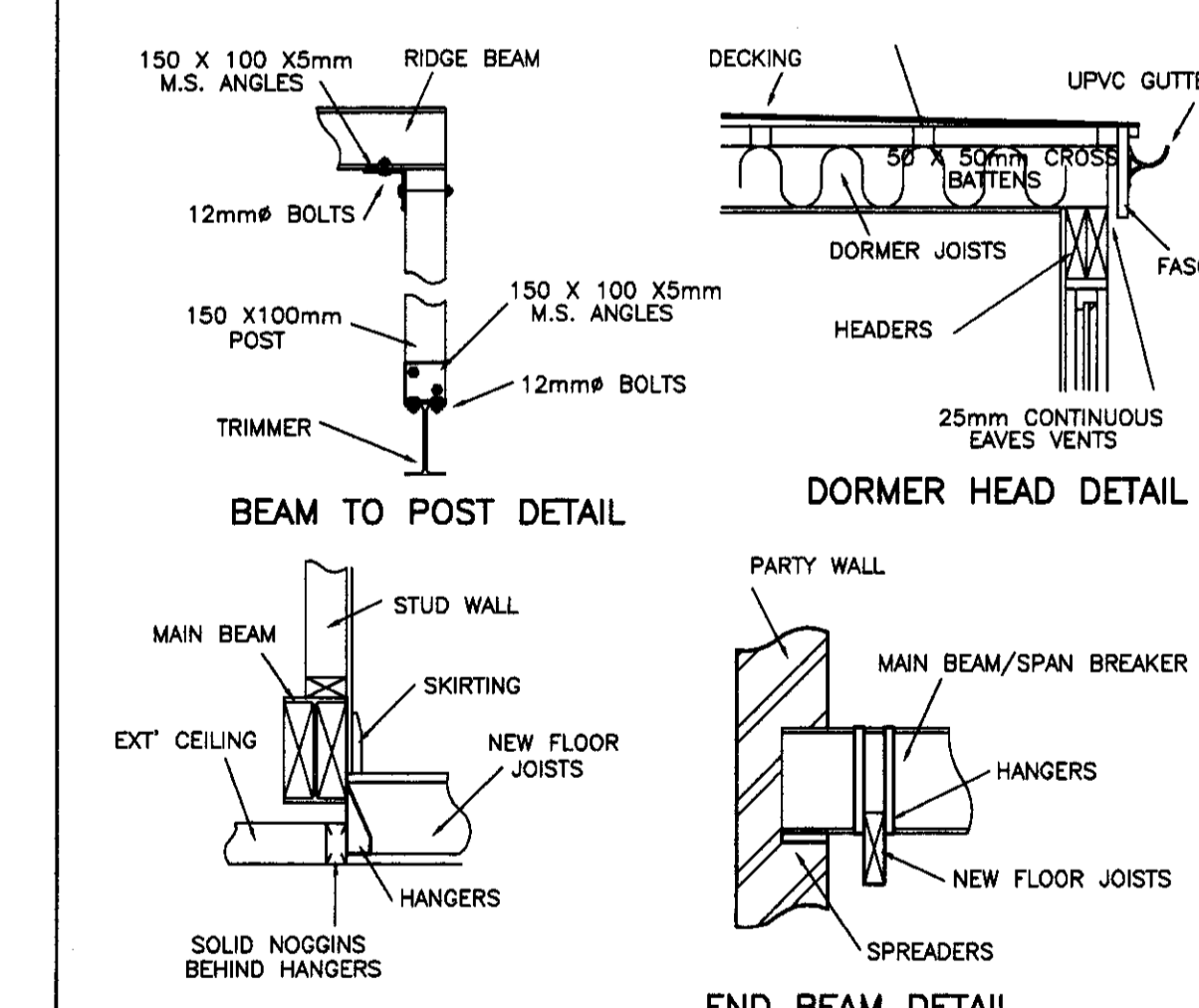
**1/2 HOUR FIRE RESISTING WALLS**  
12.5mm PLASTER BOARD SKIMMED AND SET BOTH SIDES ON A 100 X 50mm TIMBER STUDDING AND NOGGIN FRAME

**FLOOR**  
27mm T & G BOARDS OR 22mm T & G CHIPBOARD ON SC3 GRADE JOISTS AS PER CALCULATIONS SUPPORTED VIA HANGERS FROM STEEL BEAMS

**STAIRS**  
RISE = 220mm MAX, GD = 220mm MIN, 42° MAX ANGLE, 38mm STRINGERS, 18mm TREAD OVERLAP, 1.0M HANDRAIL HEIGHT, 1.1M HORIZONTAL BALUSTRADE HEIGHT, TURNED SPINDLES Ø 100mm MAX CRS 695-800mm WIDE CLOSED TREADS, 75mm ON WINDERS, EQUAL GOING ON TAPERED TREADS, 2M VERTICAL HEADROOM, 1.5M Ø RIGHT ANGLES TO NOSINGS

**PLUMBING**  
W.C. = 110mm DIA OSMA PLASTIC WASTE PIPE  
W.H.B. = 40mm DIA OSMA PLASTIC WASTE PIPE  
BATH = 40mm DIA OSMA PLASTIC WASTE PIPE  
SHOWER = 40mm DIA OSMA PLASTIC WASTE PIPE  
15mm DEEP SEAL ANTI VAC TRAPS TO ALL WASTE PIPES  
CLEANING EYES TO ALL BENDS  
SVP TO BE EXTENDED TO 1.0M ABOVE ANY OPENING WINDOWS & TERMINATED WITH WIRE CAGE

**GENERAL NOTES**  
ALL STEEL BEAMS TO BE SUPPLIED COATED WITH INTUMESCENT PAINT TO GIVE 1/2 HOUR FIRE PROTECTION  
ALL WALLS ENCLOSING NEW & EXISTING STAIRWELL AREAS TO BE A FULL 1/2 HOUR FIRE RESISTANT  
ALL STRUCTURAL TIMBERS NOT TO BE WITHIN 50mm OF ANY STACK NOR 225mm OF ANY FLUES  
ALL DOUBLE TIMBERS TO BE BOLTED TOGETHER  
ALL DRAINAGE TO COMPLY SATISFACTORY TO L.A. REQUIREMENTS  
ALL SUPPLY RUNS TO BE 15mm DIA COPPER, WATER SUPPLY TAKEN FROM EXISTING  
ALL DOORS ON GROUND AND FIRST FLOORS WITH THE EXCEPTION OF W.C. AND BATHROOM TO BE FITTED WITH SELF CLOSING DEVICES AND ANY GLAZING TO BE IN WIRE CAGE GLASS  
ALL WINDOWS TO BE DOUBLE GLAZED 16mm AIR GAP AND A SOFT LOW-E COATING  
ALL WINDOWS SERVING HABITABLE ROOMS TO GIVE A CLEAR OPENABLE AREA OF 0.33M<sup>2</sup> MIN 450mm IN ANY DIRECTION MAX OF 1.7M MEASURED UP PITCH LINE OF ROOF FROM EAVES  
ALL TIMBERS USED TO BE SC3 GRADED  
ALL JOISTS UNDER PARTITION WALLS TO BE DOUBLED UP & BOLTED TOGETHER  
PROVIDE TRICKLE VENTILATION TO ALL NEW ROOMS  
PROVIDE RAPID EXTRACTOR FAN TO NEW BATHROOM TO EXTRACT AT A RATE OF NO LESS THAN 15 LITRES PER SECOND



**CLIENT** MR & MRS WOOLWAY  
13 PARK HOUSE GARDENS  
TWICKENHAM  
TW1 2DF

**DOUBLE (H) LOFT CONVERSIONS**  
4 MAYFIELD ROAD  
WALTON-ON-THAMES  
SURREY KT12 2AD  
TEL: 07932 248631

**DATE** MARCH 2006  
**SCALE** 1:50  
**DRAWN** TURNER DESIGNS  
H. TURNER B.Eng (Hons)  
**DRG No** 3877A-3-06/2

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