

Application reference: 06/1574/HOT
MORTLAKE, BARNES COMMON WARD

Date application received	Date made valid	Target report date	8 Week date
17.05.2006	05.07.2006		30.08.2006

2/6/6

28/7/6

Site:

58A Second Avenue, Mortlake, Surrey, SW14 8QE

Proposal:

Loft extension with rear dormer.

Clear FRIDAY 28/7

Present use:

flat.

Status: Pending Consideration (If status = HOLD please check that all is OK before you proceed any further with this application)

APPLICANT NAME

Mr R Peters
56 Second Avenue
Mortlake
Surrey
SW14 8QE

AGENT NAME

Ourtime Design
"Woodside" The Stables
North End
Buckhurst Hill
Essex
FG9 5RQ

Consultations:

Internal/External:

Consultee

Expiry Date

Neighbours:

- ✓ 89 Cowley Road, Mortlake, Surrey, SW14 8QD, - 06.07.2006
- ✓ 97 Cowley Road, Mortlake, Surrey, SW14 8QD, - 06.07.2006 → 27/7.
- ✓ 99 Cowley Road, Mortlake, Surrey, SW14 8QD, - 06.07.2006
- ✓ 56 Second Avenue, Mortlake, Surrey, SW14 8QE, - 06.07.2006
- ✓ 60A Second Avenue, Mortlake, Surrey, SW14 8QE, - 06.07.2006
- ✓ 56A Second Avenue, Mortlake, Surrey, SW14 8QE, - 06.07.2006
- ✓ 60 Second Avenue, Mortlake, Surrey, SW14 8QE, - 06.07.2006
- ✓ 91 Cowley Road, Mortlake, Surrey, SW14 8QD, - 06.07.2006
- ✓ 93 Cowley Road, Mortlake, Surrey, SW14 8QD, - 06.07.2006
- ✓ 95 Cowley Road, Mortlake, Surrey, SW14 8QD, - 06.07.2006
- ✓ Ground Floor, 58 Second Avenue, Mortlake, SW14 8QE - 06.07.2006

History:

Ref No	Description	Status	Date
06/1574/HOT	• Loft extension with rear dormer.	PCO	

Constraints:

Recommendation:

The determination of this application falls within the scope of Officer delegated powers - YES / ~~NO~~

I therefore recommend the following:

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

Case Officer (Initials): *JK*

Dated: *28/7/06*

I agree the recommendation:

Team Leader/Development Control Manager

John Brown
28/7/06

Dated:

This application has been subject to representations that are contrary to the officer recommendation. The Development Control Manager has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Development Control Manager:

Dated:

REASONS:
CONDITIONS:
INFORMATIVES:
UDP POLICIES:
OTHER POLICIES:

The following table will populate as a quick check by running the template once items have been entered into Uniform

CONDITIONS:
INFORMATIVES:

ADDITIONAL NOTES CONTINUED FROM ABOVE:

Notes of Telephone calls/discussions/meetings

DATE

ACTION

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Site Visit Proforma

It may be necessary to expand on answers when the report is prepared but the completion of this proforma will be part of that report reducing the need to repeat matters.

The 1.200 OS extract is intended to be used as a tool for use by the case officer & decision maker in reaching a recommendation/decision respectively. Some of the points below can be dealt with on the OS or accurate sketch.

1. Ref number	06/1574	
2. Date of Site Visit(s) & Properties Visited.		
3. Conservation Area	Yes/No	
4. Listed Building	Yes/No	
5. BTM	Yes/No	
6. Type of property	House/Flat/Bungalow/Other; Detached/semi/terraced/other	
7. Trees: 1. on site 2. 2. adj land 3. 3. on street	1. Yes/No 2. Yes/No 3. Yes/No → n/a.	Species & location: Use 1.200 OS to indicate as precisely as possible
8. Wildlife & Habitat e.g. ivy covered fences/buildings, log piles, non-maintained land, ponds, holes/setts	Yes/No	Use 1.200 OS to indicate as precisely as possible
9. Change in land levels	Yes/No-if Yes provide details	Use 1.200 OS to indicate as precisely as possible
10. Existing external materials	1. Roof — slate 2. Walls — stone 3. Windows — wooden	
11. Boundary treatment giving height & materials	conf.	Use 1.200 OS to indicate as precisely as possible
12. Position & function of windows of adj properties Normally visiting adj property(s) is required to assess internal layout including window positions/views from them unless can be done without internal visit.	as site	Use 1.200 OS to indicate as precisely as possible, + draw sketch if OS not appropriate.
13. Is BRE test necessary? possible	Yes/No. If Yes, complete at office using 1.200 OS or similar. If No, why not? Use adj box to answer.	see photos as site is deval

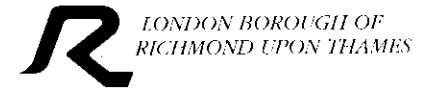
14. Other extensions &/or outbuildings to 1. app site 2. adj site(s)	1. Yes/No 2. Yes/No <i>- side & fill.</i>	Use 1.200 OS to indicate as precisely as possible
15. Parking arrangement 1. on site 2. on street-if cpz, time controls	1. Yes/No <i>none</i> 2. Yes/No <i>street, not CPZ</i>	
16. Photographs (Annotate photos with date, location, ref no) Consider street scene photos	<input checked="" type="checkbox"/> Yes/No	
17. Use 'Phone call' proforma for on-site discussions	Yes/No	
18. Check for properties not consulted, particularly flats in application property	<input checked="" type="checkbox"/> Yes or N/A	If Yes Tech support to send letters, if TL agrees

Civic Centre, 44 York Street, Twickenham TW1 3BZ
Tel: 020 8891 7300 Textphone: 020 8891 7120
Fax: 020 8891 7789
email: envprotection@richmond.gov.uk
website: www.richmond.gov.uk

Environment Directorate

PLANNING

Environment Directorate



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DELEGATED REPORT

PLANNING

Site Address: 57A Second Avenue, Mortlake

Reference: 06/1574/HOT

Policies: BLT 11, 15 and 16.

Site/Surroundings: No 57A is a first floor flat in a two terrace building. The site is not listed, nor a BTM and is not in a Conservation Area.

Proposal: Erection of roof extension (extending existing dormer). The dormer would measure 3.6m wide, and 2m tall. It would be set 1m up from the eaves, in 90cm from the side boundaries and 0.3m down from the ridge. One (obscure glazed) roof light is proposed to the front elevation. The materials used would match the main roof.

Relevant History: None

Representations: None

Professional comments:

The proposal is considered to comply with the aims and objectives of SPG for roof extensions. Although the proposal might be slightly larger than usually approved, there is an existing larger roof extension on the neighbouring building (see photos). The current proposal is considered more appropriate than the neighbouring structure, being of smaller dimensions to leave an area of original roof slope above, below and to each side. Due to the terrace nature of Second Avenue, the proposal would not be prominent in public views. The proposal is therefore considered to not cause harm to the character of the area.

Taking into account the existing overlooking from the windows on the first floor, the proposal is not considered to materially reduce the privacy of surrounding properties. As it sited up from the eaves and down from the ridge (and taking account of the length of the rear outrigger and distance to the Cowley Road properties), the proposal is not considered to have an overbearing or overshadowing impact upon surrounding neighbours.

Recommendation: Approve

Conditions: Three years

Informatives: The proposal would preserve the character of the building and the area and not cause harm to neighbour amenity through loss of light or privacy, or overbearing impact.

Drawing numbers: OS Extract and 06/19/01A received 2nd June 2006.