



# **Stag Brewery, Mortlake**

## **Built Heritage EIA Report**

For Reselton Properties

February 2018





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### Quality Assurance – Approval Status

This document has been prepared and checked in accordance with Waterman Group's IMS (BS EN ISO 9001: 2015, BS EN ISO 14001: 2015 and BS OHSAS 18001:2007)

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**Comments**

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## 1. Introduction

This built heritage EIA report has been prepared by Waterman Infrastructure and Environment Ltd (Waterman IE) on behalf of Reselton Properties Limited ('the Applicant') in relation to three linked planning applications for the comprehensive redevelopment of the former Stag Brewery site in Mortlake and land at Chalkers Corner ('the Site') within the London Borough of Richmond Upon Thames ('LBRuT').

This report presents the assessment of the likely significant effects on built heritage (above ground) assets within the Site, and those in its environs associated with the proposed demolition, alteration, refurbishment and construction works ('the Works'), and once the Development is completed and operational (see below for a definition of the Development). This report comprises the Environmental Statement (ES) Chapter and associated figures and appendices.

### 1.1 Report Context and Approach

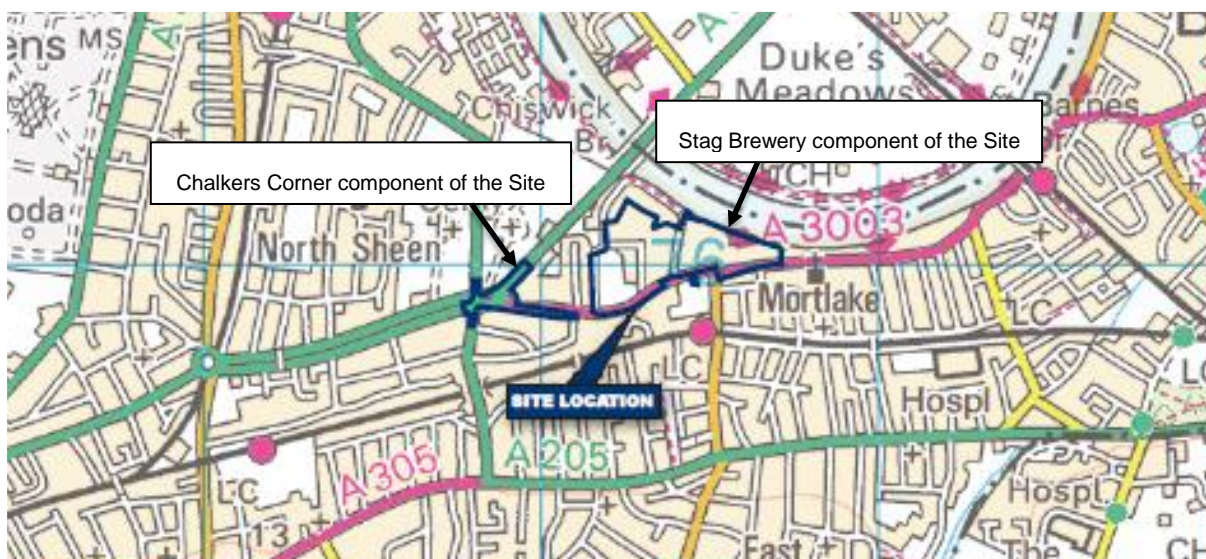
The Development is considered as EIA Development under Schedule 2, Category 10(b) (urban development projects) of the Town and Country Planning (Environmental Impact Assessment) Regulations, 2011 (as amended 2015)<sup>1</sup>.

The ES reports the key findings of the EIA process undertaken for the Development and accompanies all three Planning Applications (as described below). At the request of the LBRuT, standalone reports have been provided, but do not differ from those contained within the ES. Justification as to the scope of the ES is summarised in ES Chapter 2: EIA Methodology. Further information on the description of the existing Site and surrounds, the proposed Development, the Works, alternatives and design evolution, and cumulative effects are provided in the ES.

### 1.2 Site Context and Development Proposals

The location of the Site is shown in Figure 1 below and comprises two components referred to as the 'Stag Brewery component of the Site' and the 'Chalkers Corner component of the Site'.

Figure 1: Site Location



The Stag Brewery component of the Site is bounded by Lower Richmond Road to the south, the river Thames and the Thames Bank to the north, Williams Lane to the east and Bulls Alley (off Mortlake High

<sup>1</sup> HMSO (2015) Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (as amended 2015).

Street) to the west. The Stag Brewery component of the Site is bisected by Ship Lane. The Stag Brewery component of the Site currently comprises a mixture of large scale industrial brewing structures, large areas of hardstanding and playing fields. The Chalkers Corner component of the Site comprises highway and associated landscaping referred to as Chalkers Corner junction which includes the junction with the A316 (Clifford Avenue, A3003 (Lower Richmond Road) and A205 (South Circular). Refer to ES Chapter 3: Existing Site and land uses for further information.

The redevelopment will provide homes (including affordable homes), accommodation for an older population, complementary commercial uses, community facilities, a new secondary school alongside new open and green spaces throughout. Associated highway improvements are also proposed, which include works at Chalkers Corner junction. The proposed floorspace of the Development (made up of the three planning applications) is provided in Table 1 below. Refer to ES Chapter 5: The Proposed Development for further information on the Development. The Works would be carried out over a period of approximately 8 years, anticipated to commence in June 2019 and complete in September 2027 (as set out in ES Chapter 6: Development Programme, Demolition, Alteration, Refurbishment and Construction).

Table 1: Proposed Floorspace of the Development

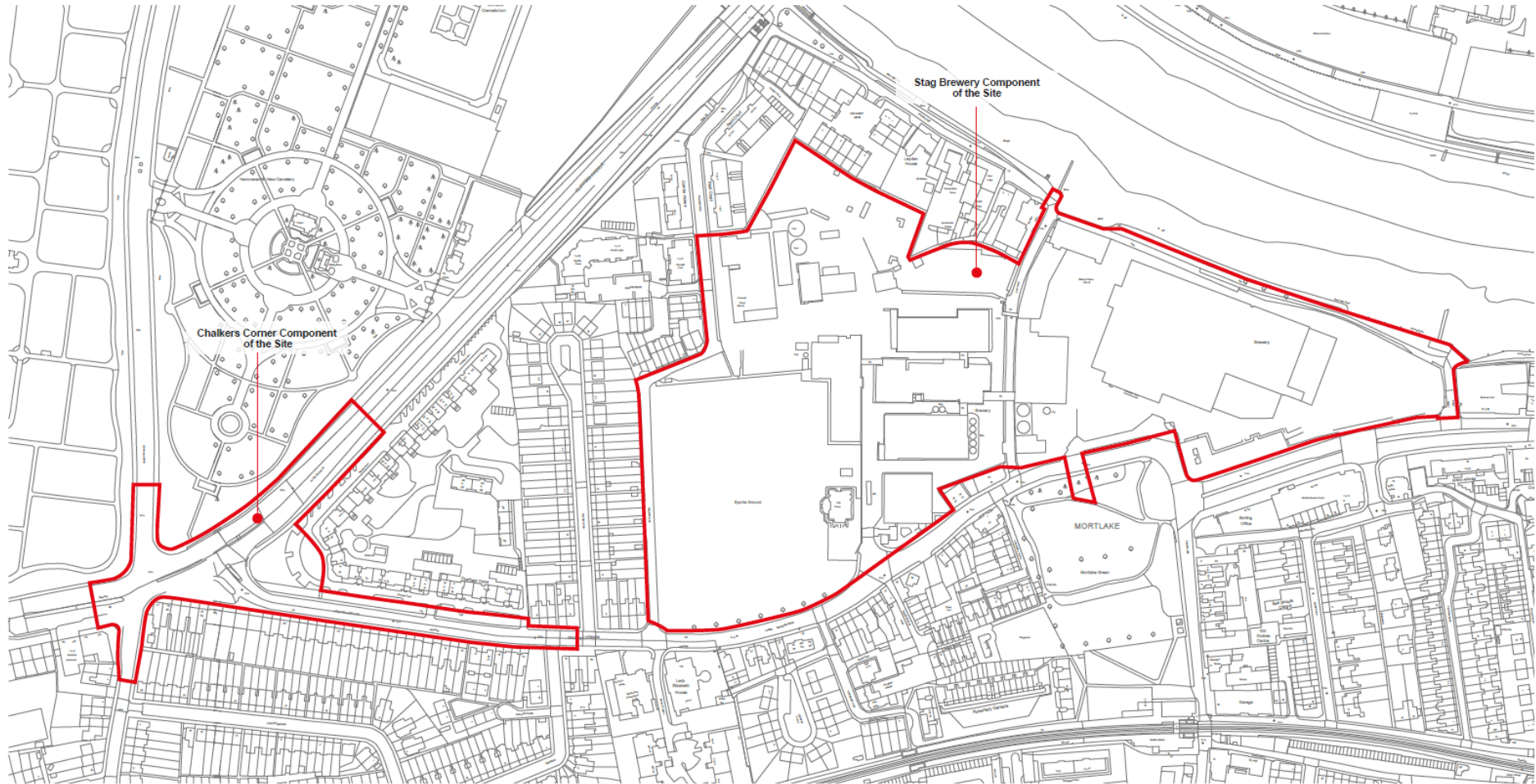
Land Use and Class	Floorspace Area (m <sup>2</sup> )	
	Gross External Area (GEA)	Gross Internal Area (GIA)
Residential (Use Class C3, excluding assisted living)	Up to 84,639 (Up to 667 units)	Up to 75,119 (Up to 667 units)
Office (Use Class B1) (including Site management office)	2,674	2,457
Cinema (Use Class D2)	2,565	2,120
Gym (Use Class D2)	912	740
Flexible Uses - Restaurant / bar / retail / community / boathouse (Use Classes A1 / A2 / A3 / A4 / B1 / D1 / Boathouse)	5,308*	4,664*
Hotel (Use Class C1)	1,858	1,668
Assisted Living (Flexible Use Class C2 / C3)	Up to 16,246	Up to 14,738
Nursing and Care Home (Use Class C2)	Up to 10,293	Up to 9,472
School (Use Class D1)	11,430	9,319
Plant and storage.	Up to 4,536 (+ Plant and storage included in school)	Up to 4,244 (+ 249 included in school)
Car parking spaces.	Up to 708 spaces	Up to 708 spaces
Cycle parking spaces.	Up to 1,611 spaces	Up to 1,611 spaces
Basement residential access / circulation	1,868	1,810
Private amenity space.	Up to 5,912	Not applicable
Public amenity space (including external and internal play space for residents and school play space).	Up to 38,943	Not applicable
Play space (including external and internal play space for residents and school play space).	Up to 14,353	Not applicable

The three planning applications are as follows:

- Application A – hybrid planning application for comprehensive mixed use redevelopment of the Stag Brewery component of the Site consisting of:
  - Land to the east of Ship Lane applied for in detail (referred to as ‘Development Area 1’ throughout); and
  - Land to the west of Ship Lane (excluding the school) applied for in outline detail (referred to as ‘Development Area 2’ throughout).
- Application B – detailed planning application for the school (on land to the west of Ship Lane within the Stag Brewery component of the Site).
- Application C – detailed planning application for highways and landscape works at Chalkers Corner.

The three Planning Applications are separate applications, but will be linked through a S106 agreement to ensure that the Application B (school) land is handed over at an appropriate time and that the Application C (Chalkers Corner) works are carried out at an appropriate stage in conjunction with either Application A or B. For the purposes of assessment, all three Planning applications are therefore considered together as one comprehensive redevelopment proposal. As such, for the purposes of the EIA and ES, the proposals defined by the Planning Applications are collectively referred to as the ‘Development’. Similarly, the collective parcels of land associated with the Planning Applications are referred to as the ‘Site’, as shown on Figure 2.

Figure 2: The Site for the Purposes of the EIA





## 2. Assessment



## 15. Built Heritage

### Introduction

- 15.1 This Chapter has been prepared by Waterman Infrastructure and Environment Ltd (Waterman IE). It presents an assessment of the likely significant effects and likely residual effects of the Development on built heritage (above ground) assets within the Site, and those in its environs.
- 15.2 This Chapter outlines the methodology used in the assessment and goes on to provide a description of the relevant baseline conditions of the Site and immediate surrounding area. This is followed by an assessment of the likely significant effects of the Development during the demolition, alteration, refurbishment and construction works ('the Works') and once the Development is completed and operational. Mitigation measures are identified where appropriate to avoid, reduce or offset any significant adverse impacts which have been identified. Taking into account the mitigation measures, the nature and significance of the likely residual impacts of the Development are also described.
- 15.3 Baseline information to support the conclusions of this Chapter can be found in a Built Heritage Statement prepared by Waterman IE, which is presented in **Appendix 15.1**.
- 15.4 It should be noted that the assessment of the likely significant effects of the Development upon below ground heritage assets is presented in **Chapter 14: Archaeology**. Furthermore, the assessment of the likely significant effects of the Development upon views and townscape character is presented in **Chapter 16: Townscape and Visual Assessment**.

### Assessment Methodology and Significance Criteria

#### Assessment Methodology

- 15.5 This assessment follows best practice procedures produced by Historic England<sup>1,2</sup>, the Chartered Institute for Archaeologists<sup>3</sup> and policy contained in Section 12 of the National Planning Policy Framework (NPPF) 'Conserving and Enhancing the Historic Environment'<sup>4</sup>. Further details of these documents are provided in **Appendix 15.1**.
- 15.6 The assessment methodology is based on that outlined in the Design Manual for Roads and Bridges (DMRB) Volume 11, Section 3 Part 2, in the amended document HA 208/07<sup>5</sup> issued by the Highways Agency in August 2007. Although this guidance was written for road schemes, it is widely accepted as a general best-practice approach to heritage impact assessment.
- 15.7 The methodology and data sources used to prepare this assessment are set out in detail within **Appendix 15.1**. However, in summary, the methodology has included:
- consultation of relevant early maps, documents and other heritage information in the LBRuT archives, to build up an understanding of the Site's history and development.;
  - consultation of online heritage information resources;
  - appraisal of designated heritage assets and areas, including conservation areas and local lists;
  - a visual survey of the Site and immediate surrounding area;
  - assessment of the heritage significance of the buildings and structures likely to be affected by the Development;
  - assessment of the effect that the Development (as known) would have on the significance of the heritage assets; and
  - consultation of local and national planning policy and guidance pertaining to heritage.

- 15.8 The Site was most recently visited on 25<sup>th</sup> August 2017. The aim of the visit and walkover was to assess the form of the buildings and identify any features of heritage interest on the Site or in its surroundings which may be affected by development on the Site. Access to all external areas of the Site was obtained during the Site visit, as well as internal access to the former Hotel building, the former Bottling building and the Maltings building.
- 15.9 Whilst the Built Heritage Statement (**Appendix 15.1**) focusses on the Stag Brewery component of the Site (and not the Chalkers Corner component of the Site), this is due to the fact that there are no built heritage assets within this area of the Site and the highway works associated with Chalkers Corner relate to highway improvements and landscaping (refer to **Chapter 5: The Proposed Development**). Accordingly, and based on professional and expert judgement, the proposals at the Chalkers Corner component of the Site are unlikely to give rise to any significant built heritage effects. The geographical coverage of the Built Heritage Statement (**Appendix 15.1**) is therefore considered to be appropriate and robust for the purposes of the assessment.
- 15.10 In respect of the assessment of the outline component of the Development, the assessment set out within this Chapter has considered the maximum allowable spatial parameters sought for approval. This would give rise to the greatest massing and so can be considered to reflect a 'worst-case' assessment. That said, based on professional and expert judgement, it is unlikely that the minimum allowable spatial parameters sought for approval would give rise to materially different built heritage effects. This is because the scale of Works that would be required for both the maximum and minimum allowable parameters would be similar and other factors such as the choice of materials and façade details of the proposed buildings would be in accordance with the Design Code also submitted for approval.

## Significance Criteria

- 15.11 Heritage Significance in a planning policy context is a specific concept which is distinct and different from the Environmental Impact Assessment (EIA) meaning of 'the significance of effect'. Heritage significance is defined in Annex 2 of the National Planning Policy Framework as:
- "The value of a heritage asset to this and future generations because of its heritage interest...[and]...derives not only from a heritage asset's physical presence, but also its setting"*<sup>6</sup>.
- 15.12 It is the sum of tangible and intangible values which make a heritage asset important to society. This may consider the evidential and aesthetic qualities of an asset as well as intangible qualities such as associations with historic people or events, or the importance of an asset to a local community. It is therefore describing the value of a heritage asset or its setting.
- 15.13 In EIA terms, the term 'significance' is used in relation to likely environmental effects on, or change to, an environmental asset or receptor. To avoid confusion, when referring to the NPPF context, the term 'heritage significance' (rather than just significance) is used within this assessment.
- 15.14 To assess the heritage significance of built heritage assets within the Site, consideration was given to guidance from Historic England, which recommends making assessments under the categories of:
- **Evidential Value:** *"Evidential value derives from the potential of a place to yield evidence about past human activity";*
  - **Historical Value:** *"Historic value derives from the ways in which past people, events and aspects of life can be connected through a place to the present";*



- **Aesthetic Value:** “Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place”; and
- **Communal Value:** “Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory”<sup>7</sup>

15.15 Taking account of the sum of evidential, historical, aesthetic and communal value of a heritage asset, the overall heritage significance (value) was assessed using a number of ratings, which are set out in **Table 15.1**.

Table 15.1: Heritage Significance (Value) of Asset

Level of Significance	Criteria
<b>Very High</b>	<ul style="list-style-type: none"> <li>• Heritage Assets identified as having Outstanding Universal Value, such as World Heritage Sites.</li> <li>• Other structures or sites of recognised international importance.</li> </ul>
<b>High</b>	<ul style="list-style-type: none"> <li>• Scheduled Monuments with standing remains.</li> <li>• Grade I and II* Listed Buildings.</li> <li>• Other listed buildings that can be shown to have exceptional qualities in their fabric or historical associations not adequately reflected in the grade of listing.</li> <li>• Conservation Areas containing high grade or very important listed buildings / historic parks and gardens.</li> <li>• Non-designated structures of clear national importance.</li> </ul>
<b>Medium</b>	<ul style="list-style-type: none"> <li>• Grade II Listed Buildings.</li> <li>• Non-designated heritage assets that can be shown to have exceptional qualities in their fabric or important historical associations.</li> <li>• Conservation Areas.</li> <li>• Non-designated historic townscapes or built-up areas with important historic integrity in their buildings, or in their settings (including surviving street furniture or other structures).</li> </ul>
<b>Low</b>	<ul style="list-style-type: none"> <li>• Non-designated heritage assets such as Locally Listed Buildings, with modest quality in their historic fabric or historical associations.</li> <li>• Historic townscapes or built up areas of limited historic integrity in their structures or setting.</li> </ul>
<b>Neutral</b>	<ul style="list-style-type: none"> <li>• A building, feature, or area which has no cultural significance but is also not considered intrusive to heritage value.</li> </ul>
<b>Unknown</b>	<ul style="list-style-type: none"> <li>• Structures or features with some hidden or inaccessible potential for heritage significance.</li> </ul>
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>• A building, structure or area which detracts from heritage significance.</li> </ul>

- 15.16 To establish the likely significant effects of the Development on heritage assets, the assessment provides a comparable analysis of the heritage significance against the magnitude of impact. Criteria based on the Design Manual for Roads and Bridges<sup>8</sup> (DRMB) and the International Council on Monuments and Sites (ICOMOS)<sup>9</sup> were used to determine the heritage significance of the asset, the magnitude of impact and the significance of effect (the overall impact) of the Development upon heritage significance (value).
- 15.17 The criteria for assessing the magnitude of impact in this assessment are set out in **Table 15.2**.

Table 15.2: Magnitude of Impact Definitions

Magnitude of Impact	Description
<b>Major beneficial.</b>	The proposed changes would significantly improve the character of the heritage asset or its setting, revealing and / or enhancing important characteristics which were previously unknown or inaccessible. There would be a substantial improvement to important elements of the asset.
<b>Moderate beneficial.</b>	The proposed changes would considerably improve the setting or overall character of the heritage asset. There may be an improvement in key uses and beneficial change (e.g. the creation of coherency) to the characteristics of the asset.
<b>Minor beneficial.</b>	The proposed changes may cause a minor improvement to the setting or overall character of a heritage asset.
<b>Negligible.</b>	The proposed changes would have a minimal positive or negative impact on the heritage asset or its setting.
<b>Neutral.</b>	The proposed changes would have no impact on the heritage asset or its setting.
<b>Minor adverse.</b>	The proposed changes would have minor negative impact on the setting or overall character of a heritage asset, such that it is slightly different or its setting slightly changed to its detriment.
<b>Moderate adverse.</b>	The proposed changes would negatively alter the setting or overall character of the heritage asset such that it is significantly modified. It will likely disturb key features and detract from the overall heritage significance.
<b>Major adverse.</b>	The proposed changes would significantly damage the overall setting and/or character of heritage assets. They will cause a notable disruption to, or in some cases, complete destruction of, important features.

- 15.18 The significance of the likely effects of the Development on the significance of heritage assets was determined by cross referencing the heritage significance (value) of the heritage assets with the magnitude of the impact to the environment resulting from the Development. To consider these in combination, a matrix of significance of likely effects was used to provide a transparent and objective assessment, as set out in **Table 15.3**.

Table 15.3: Significance of Effect

Criteria	Sensitivity/ Value				
	Neutral	Low	Medium	High	Very High
<b>Major Beneficial</b>	Minor beneficial.	Minor / moderate beneficial.	Moderate / major beneficial.	Major beneficial.	Major beneficial.
<b>Moderate Beneficial</b>	Insignificant / minor beneficial.	Minor beneficial.	Moderate beneficial.	Major / moderate beneficial.	Major beneficial.
<b>Minor Beneficial</b>	Insignificant / minor beneficial.	Insignificant / minor beneficial.	Minor beneficial.	Minor / moderate beneficial.	Moderate beneficial.
<b>Negligible</b>	Insignificant.	Insignificant / minor beneficial.	Insignificant / minor beneficial.	Minor beneficial.	Minor / moderate beneficial.
<b>Neutral</b>	Insignificant.	Insignificant.	Insignificant.	Insignificant.	Insignificant.
<b>Negligible</b>	Insignificant.	Insignificant / minor adverse.	Insignificant / minor adverse.	Minor adverse.	Minor / moderate adverse.
<b>Minor Adverse</b>	Insignificant / minor adverse.	Insignificant / minor adverse.	Minor adverse.	Minor / moderate adverse.	Moderate adverse.
<b>Moderate Adverse</b>	Insignificant / minor adverse.	Minor adverse.	Moderate adverse.	Moderate / major adverse	Major adverse.
<b>Major Adverse</b>	Minor adverse.	Minor / moderate adverse.	Moderate / major adverse.	Major adverse.	Major adverse.

15.19 The assessment of the likely effects of the Development upon the setting of identified heritage assets has been undertaken using the guidance detailed in Historic England's Historic Environment Good Practice Advice in Planning: 3 The Setting of Heritage Assets (HE 2015)<sup>10</sup>. This recommends that an assessment should consider the following factors when assessing a development's impact:

- location and siting;
- form and appearance;
- additional effects; and
- permanence.

## Baseline Conditions

- 15.21 A detailed description of the Stag Brewery component of the Site, its historical development and heritage assets assessed as being potentially affected by the Development is provided in **Appendix 15.1**. A summary is provided below.

## Designated Heritage Assets

### Listed Buildings

- 15.22 There are no listed structures located within the Site. There are seven listed buildings located immediately adjacent to the Stag Brewery component of the Site, and a further listed building within 500 m of the Stag Brewery component of the Site, the settings of which could potentially be affected by the Development and which are considered to be relevant for this assessment. For the purposes of this assessment, these buildings are grouped where appropriate.
- 15.23 The seven listed buildings adjacent to the Stag Brewery component of the Site are as follows:
- Thames Cottage: Grade II;
  - Tudor Lodge: Grade II;
  - Thames Bank House: Grade II;
  - Leyden House: Grade II;
  - Riverside House: Grade II;
  - Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court: Grade II; and
  - Gateway, formerly to Cromwell House: Grade II.
- 15.24 The location of these listed buildings are shown within **Figure 15.1**.
- 15.25 The listed building within 500 m of the Site is:
- Chiswick Bridge and attached balustrades: Grade II.
- 15.26 With reference to **Table 15.1**, all of these listed buildings are of High heritage significance. Reasons for this are provided within **Appendix 15.1**.
- 15.27 Limes House and Forecourt Piers, Grade II\*, are located along the River Thames approximately 470 m to the east of the Stag Brewery component of the Site (refer to **Figure 15.1**). Although listed as a sensitive receptor within the EIA Scoping Report (**Appendix 2.1**) and **Chapter 3: Existing Site and Land Uses**, it is considered that due to the nature of this building, its location and distance from the Stag Brewery component of the Site, and the interposing built form and vegetation, the Site as a whole does not contribute to the significance of this listed building. It is therefore not considered relevant to this assessment.
- 15.28 Other listed buildings located within 500m, including those listed within the EIA Scoping Report, but which are not considered necessary to consider due to their distance from the Site, location or lack of historical relationship, are included as part of a full gazetteer of list descriptions for structures within 500m of the Site (refer to **Appendix 15.1**, Appendix B).

### Conservation Areas

- 15.29 There are two Conservation Areas in the immediate vicinity of the Stag Brewery component of the Site. These are listed below, and their boundaries are indicated on **Figure 15.1**.

- Mortlake Conservation Area (Medium Heritage Significance); and
  - Mortlake Green Conservation Area (Medium Heritage Significance).
- 15.30 Part of the Stag Brewery component of the Site running along Mortlake High Street and the Thames shoreline is located within the Mortlake Conservation Area. The Maltings building, former Bottling building, former Hotel and parts of the surviving boundary wall of the Site are identified by LBRuT as contributing, in varying degrees, to the significance of the Conservation Area.
- 15.31 To the south of the Stag Brewery component of the Site is the Mortlake Green Conservation Area. This is centred on Mortlake Green, and includes a residential area to the west. The former Hotel building within the Site is identified in the appraisal as contributing to the character of this area, despite its location just outside the boundary.
- 15.32 In addition to the two Conservation Areas noted above, to the north of the River Thames in the London Borough of Hounslow (LBH) is the Grove Park Conservation Area. This covers the northern half of Chiswick Bridge. However, it is not considered relevant to this assessment due to its distance from the Site. This is also due to the topography of the land around the Great Chertsey Road which obscures the Site from the Grove Park Conservation, including the existing tall brewery buildings from within it. Sheen Lane Conservation Area is also not considered relevant to this assessment due to its considerable distance (over 500 m) from the Site.

### Non-Designated Heritage Assets

- 15.33 Non-designated heritage assets include structures identified by LBRuT as being of heritage interest. In addition, for the purposes of this assessment, non-designated heritage assets include four structures within the Site which were deemed to be of heritage interest by Waterman IE.
- 15.34 Three structures within the Stag Brewery component of the Site are specifically identified by LBRuT as ‘Buildings of Townscape Merit’<sup>1</sup> (BTM), as shown on **Figure 15.1**. These comprise:
- the former Hotel Building;
  - the former Bottling Building; and
  - the (former) Maltings Building.
- 15.35 **Table 15.4** lists the non-designated structures within the Site and ascribes their level of heritage significance, with reference to the criteria set out in **Table 15.1**. Further detail is provided in **Appendix 15.1**.

Table 15.4: Non-Designated Heritage Assets Within the Site

Building Name	Heritage Significance
Former Hotel Building (BTM).	Low.
Former Bottling Building (BTM).	Low.
Maltings Building (BTM).	Medium.
Northern Boundary Walls.	Neutral - Low.
Eastern Boundary Wall.	Neutral.
Southern Boundary Wall.	Low.
Railway Tracks, Granite Paving and River	Low.

1 [https://consultation.richmond.gov.uk/environment/buildings\\_townscape\\_merit/consult\\_view](https://consultation.richmond.gov.uk/environment/buildings_townscape_merit/consult_view). Accessed 07/12/2016.

Building Name	Heritage Significance
Moorings.	
Memorials.	Low.
Historic Gate.	Low.

- 15.36 In addition to those located within the Site, there are a number of BTMs, which are situated in the vicinity of the Stag Brewery component of the Site to the north, east and south of its boundaries. These include:
- the Ship Public House, Thames Bank;
  - the Old Stables, Thames Bank;
  - 6 and 7 Thames Bank;
  - 1-14 Parliament Mews; and
  - The Jolly Gardeners Public House, Lower Richmond Road.
- 15.37 These are also highlighted on **Figure 15.1**.
- 15.38 The above BTMs could potentially be affected by the Development and are therefore considered to be relevant for this assessment.

### Historical Overview

- 15.39 A summary of the Site’s history is provided as follows. Full detail can be found in **Appendix 15.1** including the presentation of relevant historic maps.
- 15.40 Mortlake, within which the Site is located, has been a settlement since the early Medieval period, belonging to the Archbishops of Canterbury until the 16th century, then Henry VIII and subsequently Thomas Cromwell. It was famous for the production of tapestries in the 17th century, and subsequently became well known for manufacturing and brewing, the latter particularly from the 18th century onwards.
- 15.41 The earliest mention of the brewing industry is in the late 15th century, when a brewery is thought to have been set up in the village by a John Williams from Wales. It was located on the eastern side of the Stag Brewery component of the Site, to the east of Ship Lane. The brewing and malting industry grew from this point onwards, with several expansions of the brewery to the west and north west between the early 18th and the late 19th centuries.
- 15.42 The brewery was purchased by Charles John Philips in 1852 and then subsequently bought out by a partnership of Phillips and James Wigan, who developed the business through the purchase of nearby properties and an industrious period of expansion. This included the reorganising of the village’s road system in 1865. Following this, construction of the new brewery began and expansion continued throughout the late 19th century.
- 15.43 By the end of the 19th century the brewery had considerably expanded, particularly to the west, and much of the Stag Brewery component of the Site to the east of Ship Lane had been developed, with new structures including the former hotel/public house and the bottling plant buildings. The business was bought by Watney, Combe, Reid and Co. in 1898.
- 15.44 At the beginning of the 20th century, a large eight and part nine storey Maltings was constructed, as well as other new and larger structures which faced the river. Part of this Maltings still stands on the Stag Brewery component of the Site today and is now a well-known landmark near the finishing line of the annual Cambridge / Oxford boat race. During the first half of the 20th century,

considerable expansion occurred within the eastern part of the Stag Brewery component of the Site and the brewery also completely developed the western part of the Stag Brewery component of the Site on the western side of Ship Lane.

- 15.45 Following the Second World War, the majority of the 19th and early 20th century buildings within the Stag Brewery component of the Site were demolished to facilitate the modernisation of the brewery, leaving only the remaining Maltings building, former Hotel and former Bottling building, and parts of the former boundary walls of the Stag Brewery component of the Site. A new bottling and packing building was constructed in the 1990s, however the Stag Brewery component of the Site has remained largely unchanged since the turn of the twenty first century. Brewing ceased in late 2015.

## Likely Significant Effects

### The Works

#### Direct Effects

- 15.46 Primary direct effects include the material alteration to a built heritage asset, such as its extension, alteration to fabric or design or its demolition. There will be no such primary direct effect to any heritage assets of high heritage significance, namely the listed buildings which fall outside of the Site boundary; however, there will be direct effects to the heritage assets located within the Site that are of low - medium heritage significance.
- 15.47 **Table 15.5** summarises the direct effects of the Works on the heritage significance of buildings within the Site in the absence of mitigation. This assessment is based on **Table 15.3**, which assesses the significance of effect combined with the assumed magnitude of impact.

Table 15.5: Likely Direct Effects of the Works and their Significance

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Direct Effect
Former Hotel Building (BTM).	Low.	Major adverse.	<b>Direct, permanent, local, adverse</b> effect of <b>minor to moderate significance</b> .
Former Bottling Building (BTM).	Low.	Major adverse.	<b>Direct, permanent, local, adverse</b> effect of <b>minor to moderate significance</b> .
Maltings Building (BTM).	Medium.	Moderate adverse.	<b>Direct, permanent, local, adverse</b> effect of <b>moderate significance</b> .
Northern Boundary Walls.	Neutral - Low.	Major adverse.	<b>Direct, permanent, local, adverse</b> effect of <b>minor to moderate significance</b> .
Eastern Boundary Wall.	Neutral.	Major adverse.	<b>Direct, permanent, local, adverse</b> effect of <b>minor significance</b> .
Southern Boundary Wall.	Low.	Major adverse.	<b>Direct, permanent, local, adverse</b> effect of <b>minor to moderate significance</b> .
Railway Tracks. Paving and	Low.	Neutral.	<b>Insignificant.</b>

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Direct Effect
Moorings.			
Memorials.	Low.	Negligible.	<b>Insignificant to direct, permanent, local adverse</b> , effect of <b>minor significance</b> .
Historic Gates.	Low.	Negligible.	<b>Insignificant to direct, permanent, local, adverse</b> effect of <b>minor significance</b> .

15.48 The direct effects of the Works on the heritage significance of the structures within the Site are described in more detail below to provide context to **Table 15.5** above.

*The Former Hotel Building (BTM)*

15.49 It is proposed that the façade of the former Hotel building would be retained and the remainder of the building would be demolished. As such, the Development would result in the loss of part of the historic structure and its historic plan form, as well as the historic features that survive, which include the timber panelling, skirting, cornicing and door surrounds to the interior of the locally listed building. Although some of these surviving elements of historic fabric are in poor condition, they contribute to the aesthetic value of the heritage asset and, along with the historic plan form of the building, provide an understanding of its former use. The partial demolition of this locally listed building would therefore erode the appreciation of its significance. As such, it is considered that there would be a **direct, permanent, local, adverse** effect of **minor to moderate significance** on the heritage significance of the former Hotel building.

*The Former Bottling Building (BTM)*

15.50 The Development would involve the façade retention of the former Bottling building and the demolition of the remainder of the building. The Development would therefore result in the loss of part of the historic structure and its historic plan form, as well as the loss of surviving internal historic features. This would include the internal cast iron columns and brick arches, which are characteristic architectural features that are indicative of the buildings industrial history and which contribute to its aesthetic and evidential values. The proposals also include the creation of new window openings within the façade of the building, which would involve the removal of historic fabric. As such, the Development would diminish the understanding and appreciation of the significance of the locally listed building and it is therefore considered that there would be a **direct, permanent, local, adverse, effect of minor to moderate significance** on the heritage significance of the former Bottling building.

*The Maltings Building (BTM)*

15.51 It is proposed that the cast iron columns, horizontal I-beams and the original stairs to the interior of the Maltings building would be removed. These are surviving elements of historic fabric that enable an understanding of the former layout of the Maltings building and contribute to its evidential and aesthetic value. In addition, several windows are proposed to be elongated, which would involve the removal of historic brickwork in some locations. This change would alter the height of some of the windows, which at present are illustrative of the shallow floor to ceiling heights that existed historically. These changes would diminish the appreciation of the



significance of the locally listed building and as such, it is considered that there would be a **direct, permanent, local, adverse, effect of moderate significance** on the heritage significance of the Maltings building.

#### *Northern Boundary Walls, Eastern Boundary Wall and Southern Boundary Wall*

- 15.52 It is proposed to demolish the historic brick boundary walls to the perimeter of the Stag Brewery component of the Site, minus a small section of boundary wall to the north east corner of the Stag Brewery component of the Site, which is proposed to be retained. **Appendix 15.1** identifies that these walls are representative of the industrial history of the main Stag Brewery component of the Site and provide evidence of structures that formerly existed on the Stag Brewery component of the Site. As such, their removal would result in the loss of part of the historic fabric of the Stag Brewery component of the Site. The boundary walls are, however, assessed as being of neutral to low heritage significance. Therefore, it is considered that there would be a **direct, permanent, local, adverse effect of minor to moderate** significance on the heritage significance of the boundary walls.

#### *Railway Tracks, Paving and Moorings*

- 15.53 There would be no direct effect on the heritage significance of these heritage assets arising from the Works as these features are being retained in-situ. The likely effect would therefore be **insignificant**.

#### *Memorials*

- 15.54 The memorials would be retained and relocated within the Stag Brewery Component of the Site. However, the existing modern section of the southern boundary wall within which they are located would be demolished. As such, it is considered that there would be an **insignificant to direct, permanent, local, adverse effect of minor significance** on the heritage significance of the memorials.

#### *Historic Gates*

- 15.55 The surviving historic gates would also be retained, relocated and reused as part of the Development. However, one set of gates currently forms part of the modern boundary wall along the west boundary of the Site, which would be demolished. Accordingly, there would be an **insignificant to direct, permanent, local, adverse effect of minor significance** on the heritage significance of the historic gates.

#### *Indirect Effects*

- 15.56 The indirect effects of the Works are assessed in two instances. The first relates to the indirect effects on the heritage significance of the historic structures within the Stag Brewery component of the Site and the heritage assets within the environs of the Site resulting from the demolition of the existing modern brewery structures within the Stag Brewery component of the Site, presented in **Table 15.6**. The second relates to the potential for noise, vibration dust and additional traffic from the Works in the absence of mitigation to have a detrimental effect on the setting of the heritage assets identified, presented in **Table 15.7**.

Table 15.6: Likely Indirect Effects of the Works and their Significance (Setting Effects Arising from the Demolition of Modern Brewery Structures)

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Indirect Effect
Former Hotel Building (BTM).	Low.	Moderate beneficial.	<b>Indirect, permanent, local, beneficial effect of minor significance.</b>
Former Bottling Building (BTM).	Low.	Moderate beneficial.	<b>Indirect, permanent, local, beneficial effect of minor significance.</b>
Maltings Building (BTM).	Medium.	Moderate beneficial.	<b>Indirect, permanent, local, beneficial effect of moderate significance.</b>
Remainder of Boundary Wall.	Neutral - Low.	Minor beneficial.	<b>Insignificant to indirect, permanent, local, beneficial effect of minor significance.</b>
Railway Tracks, Paving and Moorings.	Low.	Minor beneficial.	<b>Insignificant to indirect, permanent, local, beneficial effect of minor significance.</b>
Memorials.	Low.	Minor beneficial.	<b>Insignificant to indirect, permanent, local, beneficial effect of minor significance.</b>
Historic Gates.	Low.	Minor beneficial.	<b>Insignificant to indirect, permanent, local, beneficial effect of minor significance.</b>
Group of listed and locally listed buildings and garden wall on Thames Bank.	Low - Medium.	Minor beneficial.	<b>Insignificant to indirect, permanent, local, beneficial effect of minor significance.</b>
Gateway, formerly to Cromwell House.	Medium.	Minor beneficial.	<b>Indirect, permanent, local, beneficial effect of minor significance.</b>
Chiswick Bridge.	Medium.	Minor beneficial.	<b>Indirect, permanent, local, beneficial effect of minor significance.</b>

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Indirect Effect
Mortlake Conservation Area.	Medium.	Minor beneficial.	<b>Indirect, permanent, local, beneficial</b> effect of <b>minor significance</b> .
Mortlake Green Conservation Area.	Medium.	Minor beneficial.	<b>Indirect, permanent, local, beneficial</b> effect of <b>minor significance</b> .
The Jolly Gardeners Public House.	Low.	Minor beneficial.	<b>Insignificant to indirect, permanent, local, beneficial</b> effect of <b>minor significance</b> .

15.57 It is considered that there would be **insignificant** to likely **indirect, permanent, local, beneficial** effects of **minor to moderate significance** upon the medium and low value heritage assets identified within and surrounding the Site. This would be a result of the demolition and removal of modern brewery structures on the Stag Brewery component of the Site which currently detract from the appreciation of the heritage assets assessed.

Table 15.7: Likely Indirect Effects of the Works and their Significance (Setting Effects Arising from Noise, Vibration, Dust and Construction Traffic)

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Indirect Effect
Former Hotel Building (BTM).	Low.	Minor adverse.	<b>Insignificant to indirect, short to medium-term, local, adverse</b> effect of <b>minor significance</b> .
Former Bottling Building (BTM).	Low.	Minor adverse.	<b>Insignificant to indirect, short to medium-term, local, adverse</b> effect of <b>minor significance</b> .
Maltings Building (BTM).	Medium.	Minor adverse.	<b>Indirect, short to medium-term, local, adverse</b> effect of <b>minor significance</b> .
Remainder of Boundary Wall.	Neutral - Low.	Minor adverse.	<b>Insignificant to indirect, short to medium-term, local, adverse</b> effect of <b>minor significance</b> .
Railway Tracks, Paving and Moorings.	Low.	Minor adverse.	<b>Insignificant to indirect, short to medium-term, local, adverse</b> effect of <b>minor significance</b> .

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Indirect Effect
Memorials.	Low.	Minor adverse.	<b>Insignificant to indirect, short to medium-term, local, adverse effect of minor significance.</b>
Historic Gates.	Low.	Minor adverse.	<b>Insignificant to indirect, short to medium-term, local, adverse effect of minor significance.</b>
Group of listed and locally listed buildings and garden wall on Thames Bank.	Low - Medium.	Negligible.	<b>Insignificant to indirect, short to medium-term, local, adverse effect of minor significance.</b>
Gateway, formerly to Cromwell House.	Medium.	Negligible.	<b>Insignificant to indirect, short to medium-term, local, adverse effect of minor significance.</b>
Chiswick Bridge.	Medium.	Negligible.	<b>Insignificant to indirect, short to medium-term, local, adverse effect of minor significance.</b>
Mortlake Conservation Area.	Medium.	Negligible.	<b>Insignificant to indirect, short to medium-term, local, adverse effect of minor significance.</b>
Mortlake Green Conservation Area.	Medium.	Negligible.	<b>Insignificant to indirect, short to medium-term, local, adverse effect of minor significance.</b>
The Jolly Gardeners Public House.	Low.	Negligible.	<b>Insignificant to indirect, short to medium-term, local, adverse effect of minor significance.</b>

15.58 In view of **Table 15.7**, it is considered likely that the Works would give rise to **insignificant to indirect, short to medium-term, adverse**, effects of **minor significance** upon the medium and low value heritage assets identified within and surrounding the Site. This would be in relation to the likely effects that noise, vibration, dust and traffic associated with the Works would have upon the setting of the heritage assets.

## Completed Development

### Direct Effects

- 15.59 The likely direct effects of the completed Development upon the heritage assets within the Site are set out in **Table 15.8** below.

Table 15.8: Likely Direct Effects of the Completed Development and their Significance

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Direct Effect
Former Hotel Building (BTM).	Low.	Minor adverse.	<b>Insignificant to direct, permanent, local, adverse effect of minor significance.</b>
Former Bottling Building (BTM).	Low.	Minor adverse.	<b>Insignificant to direct, permanent, local, adverse effect of minor significance.</b>
Maltings Building (BTM).	Medium.	Minor adverse.	<b>Direct, permanent, local, adverse effect of minor significance.</b>
Remainder of Boundary Wall.	Neutral - Low.	Neutral.	<b>Insignificant.</b>
Railway Tracks, Paving and Moorings.	Low.	Minor beneficial.	<b>Insignificant to direct, long-term, local, beneficial effect of minor significance.</b>
Memorials.	Low.	Neutral.	<b>Insignificant.</b>
Historic Gates.	Low.	Neutral.	<b>Insignificant.</b>

The direct effects of the Completed Development phase on the structures within the Site are described in more detail below in order to provide context to **Table 15.8** above.

#### *The Former Hotel Building (BTM)*

- 15.60 The Development would reinstate the historic hotel use of the former Hotel building through the construction of a restaurant / bar and reception area at ground floor level of the proposed building, and bedrooms with en-suites at the upper levels. The reintroduction of the former function of the locally listed building would enhance the understanding and appreciation of its heritage value, which would better reveal its significance in comparison to the existing situation.
- 15.61 Externally, the appearance of the heritage asset would remain largely unaltered and the character of the curved façade, which contributes to the significance of Mortlake Conservation Area and to framing Mortlake Green, would overall be retained. The existing windows would be replaced on a like-for-like basis, with a new doorway inserted on the south elevation at ground floor level to replace an existing window. An extension is proposed at second floor / roof level with fenestration

to the south elevation. This would be visible from Mortlake High Street and therefore would somewhat alter the appearance of the south elevation.

- 15.62 Overall, it is considered that the Development would have an **insignificant to direct, permanent, local, adverse** effect of **minor significance** on the heritage significance of the former Hotel building.

*The Former Bottling Building (BTM)*

- 15.63 The proposed works to the former Bottling building consist of the construction of a new building behind the retained façade, which would comprise a gym at lower ground floor level, retail unit and office space at ground floor level and office space to the upper floors.
- 15.64 It has been established that the façade of the former Bottling building, fronting onto Mortlake High Street, contributes to the significance of the Conservation Area and is identified as making the principal contribution to the buildings significance. The Development involves the addition of a glazed extension at roof level, which would be visible from this elevation. In addition, it is proposed to insert new windows, as well as enlarge the windows at existing second floor level. Although these changes would occur where there are existing or blind openings, the alterations would erode the legibility of the fenestration pattern and alter the character of the principal elevation, which would diminish the appreciation of the significance of the heritage asset.
- 15.65 The proposed new building would be larger in footprint than the existing, with an addition on the north side of the building. However, it is considered that as built form historically existed in this location, this would not have an adverse effect on the significance of the locally listed building. The north and east elevations of the existing former Bottling building have minimal openings, although there are several blind openings to these elevations. The proposed new building would have a number of windows and doors to the north and east elevations, which would alter the overall character of the former Bottling building and could detract from the appreciation of the heritage assets significance.
- 15.66 Overall, it is considered that there would be an **insignificant to direct, permanent, local, adverse** effect of **minor significance** on the heritage significance of the locally listed building.

*The Maltings Building (BTM)*

- 15.67 The proposed works to the Maltings building relate to the conversion of the building to residential apartments and community space. As previously identified, the proposals involve the removal of the cast iron columns, horizontal I-beams and the original stairs to the interior of the building. New staircases would be inserted within the floorspace to provide access to the apartments. This would result in a change to the internal layout of the building, however, although not in the original location of the circulation space, it is considered that the staircases would remain a secondary element within the building rather than a principal feature, in keeping with the buildings character.
- 15.68 New floors would also be inserted, to create eight floor levels within the building. These would largely be consistent with the floor levels that existed historically, albeit that two of the floors would be double height. The upper floors would be partitioned to create apartments. Historically, the maltings floors would have primarily been large open plan spaces. As such, this element of the proposals would compromise the appreciation of the former use of the building.
- 15.69 Externally, it is considered that the overall appearance of the building would be largely retained. Existing windows would be replaced on a like-for-like basis and some new windows inserted in existing blind openings. Several existing windows are proposed to be elongated on the north, east and west elevations and a new large glazed opening is proposed to the east elevation. This would

alter the historic appearance of the locally listed building. However, it is considered that the fenestration pattern would largely remain legible. In addition, external features that contribute to the aesthetic value of the locally listed building would be retained, such as the cast iron tie-rod pattress plates and decorative brick bands. As such, it is considered that the industrial character of the building and an understanding of its former use will be retained.

- 15.70 Overall, it is considered that there would be a **direct, permanent, local, adverse** effect of **minor significance** on the heritage significance of the Maltings building.

#### *Remainder of Boundary Wall*

- 15.71 A section of the boundary wall is proposed to be retained in the north east corner of the Stag Brewery component of the Site. As identified, the demolition of the majority of the boundary walls would result in a loss of historic fabric, which would have an adverse effect on their heritage significance. The retention of a section of the wall would, however, allow an understanding of the former function and industrial history of the main Stag Brewery component of the Site to be retained.
- 15.72 Overall it is considered that the effect on the heritage significance of the remainder of the boundary wall would be **insignificant**.

#### *Railway Tracks, Paving and Moorings*

- 15.73 It is proposed to retain the existing railway tracks and granite paving within the north east corner of the Site. The existing granite setts would be cleaned and any new granite setts in this location would be to match the existing. The railway tracks would also be retained and refurbished and a section of the historic boundary wall would be retained adjacent to these heritage assets. The retention and restoration of these historic features would enhance and better reveal their significance, and would provide an understanding and appreciation of their former use and the functional link between these elements and the Site.
- 15.74 Overall, it is considered that the Development would have a **direct, long-term, local, beneficial effect of minor significance** on the heritage significance of the railway tracks, paving and moorings.

#### *Memorials*

- 15.75 As part of the Development, the memorial plaques within the southern boundary wall would be retained and relocated within the Site. As identified in **Appendix 15.1**, the memorials are not situated in their original context. Therefore, their relocation would not diminish their heritage value and would allow the understanding and appreciation of the heritage assets' significance to be sustained.
- 15.76 Overall it is considered that the effect on the heritage significance of the memorials would be **insignificant**.

#### *Historic Gates*

- 15.77 The cast metal historic Watney's Brewery gates are proposed to be retained and relocated as part of the Development. These gates have already been removed from their original locations and therefore their relocation would not compromise their heritage value. As such, the understanding and appreciation of the heritage assets' significance would be retained.
- 15.78 It is considered that the likely effect of the Development on the heritage significance of the historic gates would be **insignificant**.

### Indirect Effects

- 15.79 The indirect effects of the Development relate to the change within the settings of the heritage assets, if any, caused by the completed Development. The effects of the Development upon the setting of heritage assets within the Site boundary are set out in **Table 15.9**.

#### *Setting of Non-Designated Heritage Assets within the Site*

Table 15.9: Likely Indirect Effects of the Completed Development and their Significance

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Indirect Effect
Former Hotel Building (BTM).	Low.	Minor adverse.	<b>Insignificant to indirect, long-term, local, adverse effect of minor significance.</b>
Former Bottling Building (BTM).	Low.	Minor beneficial.	<b>Insignificant to indirect, long-term, local, beneficial effect of minor significance.</b>
Maltings Building (BTM).	Medium.	Minor beneficial.	<b>Indirect, long-term, local, beneficial effect of minor significance.</b>
Railway Tracks, Paving and Moorings (BTM).	Low.	Minor beneficial.	<b>Insignificant to indirect, long-term, local, beneficial effect of minor significance.</b>
Memorials (BTM).	Low.	Neutral.	<b>Insignificant.</b>
Historic Gates (BTM).	Low.	Neutral.	<b>Insignificant.</b>

- 15.80 It is considered that overall there would be an **insignificant to long-term, local, beneficial** effects of **minor significance** on the low and medium value heritage assets within the Stag Brewery component of the Site. Although the Development would be residential rather than industrial in nature, it is considered that the scale of the Development is consistent with the scale of development that would have existed historically on the Stag Brewery component of the Site and along the riverfront in general, particularly in an area with industrial history. It is also noted that the Development would be of a high quality of design, which is an improvement on the existing situation on the Site. Furthermore, the landscaping associated with the Development would complement the appreciation of the heritage assets. The likely effect on the memorials and historic gates would be **insignificant**, as it is considered that the Development would not affect the particular significance of these heritage assets. A **long-term, local, adverse, effect of minor significance** on the heritage significance of the former Hotel building is identified due to the proximity of the Development to this heritage asset and as a link attachment would be created between the heritage asset and the new built form adjacent and to its north.
- 15.81 The effects of the Development upon the setting of heritage assets outside the Site boundary are set out in **Table 15.10**.



*Setting of Heritage Assets Surrounding the Site*

Table 15.10: Likely Indirect Effects of the Completed Development and their Significance

Heritage Asset	Level of Heritage Significance	Magnitude of Impact	Significance of Effect
Group of listed and locally listed buildings and garden wall on Thames Bank.	Low - Medium.	Minor beneficial.	<b>Insignificant to indirect, long-term, local, beneficial effect of minor significance.</b>
Gateway, formerly to Cromwell House.	Medium.	Minor beneficial.	<b>Indirect, long-term, local, beneficial effect of minor significance.</b>
Chiswick Bridge.	Medium.	Minor beneficial.	<b>Indirect, long-term, local, beneficial effect of minor significance.</b>
Mortlake Conservation Area.	Medium.	Minor beneficial.	<b>Indirect, long-term, local beneficial, effect of minor significance.</b>
Mortlake Green Conservation Area.	Medium.	Minor beneficial.	<b>Indirect, long-term, local, beneficial effect of minor significance.</b>
The Jolly Gardeners Public House.	Low.	Minor beneficial.	<b>Insignificant to indirect, long-term, local, beneficial effect of minor significance.</b>

15.82 The likely effect of the Development on the setting of each heritage asset or group of heritage assets is described below to provide context to **Table 15.10** above.

*Group of Listed and Locally Listed Buildings and Garden Wall on Thames Bank (Grade II Listed Buildings and BTMs)*

15.83 This group of listed and locally listed buildings are identified in **Appendix 15.1** as forming a distinctive group along the south bank of the River Thames. The Stag Brewery component of the Site is located directly to the south and east of the heritage assets. It has been established that the historic structures on the Stag Brewery component of the Site make a positive contribution to the significance of the heritage assets. However, this contribution is lessened by the industrial 20th century brewery structures on the Stag Brewery component of the Site, which detract from the appreciation of the assets. This is largely due to these structures dominating in views of the assets along the Thames.

15.84 Although the built form of the Development would be of a consistent scale to the existing and therefore visible in views of the heritage assets along the River Thames, it is considered that the Development would be an enhancement when compared to the existing situation and that the

design of the new built form would complement the appreciation of the heritage assets. The Development would also be in keeping with the scale of development that would have existed historically along the riverfront. In addition, it is considered that the Development would not compromise the assets' relationship with the elements of setting that contribute positively to their significance, namely the River Thames and the listed Chiswick Bridge. As such, it is considered that that Development would likely give rise to **insignificant to long-term, local, beneficial effects of minor significance** to the heritage significance of the listed and locally listed buildings on Thames Bank.

#### *Gateway, formerly to Cromwell House (Grade II Listed Building)*

- 15.85 It has been established that the contribution of the Site to the significance of the listed gateway is largely invested in the positive contribution made by the sports ground in the north west portion of the Stag Brewery component of the Site; an area which has historically consisted of open green space and was formerly a cricket ground. However, the view of the existing brewery structures on the Stag Brewery component of the Site compromises this contribution. Importantly, this green space would largely be retained as part of the Development and would form sports grounds for the proposed school. The area directly adjacent to the heritage asset would remain as green space, maintaining the relationship between this element of setting and the listed gateway.
- 15.86 In addition to the above, the replacement of the modern brewery structures on the Stag Brewery component of the Site with the high quality built form of the Development would complement this green space and the appreciation of the heritage asset. It is therefore considered that there would be a **long-term, local, beneficial, effect of minor significance** on the heritage significance of the listed gateway.

#### *Chiswick Bridge (Grade II Listed Building)*

- 15.87 The Grade II Listed Chiswick Bridge is located to the north west of the Stag Brewery component of the Site. It has been identified in **Appendix 15.1** that the Site, as a whole, makes a positive contribution to the significance of the listed bridge, as it is illustrative of the industrial history of the area and its former functional link with the River Thames. However, the 20th century brewery structures are noted as diminishing this contribution. This is due to their dominance in views. It is considered that although the built form of the Development would be large scale, it would be in keeping with the scale of development that would have existed historically along the riverfront and its high-quality design would complement the appreciation of Chiswick Bridge.
- 15.88 In addition to the above, the heritage asset's associative relationship with the River Thames, or its relationship with the listed and locally listed buildings along Thames Bank that contribute positively to its significance, would not be diminished as a result of the Development. Overall, it is considered that there would be a **long-term, local, beneficial, effect of minor significance** on the heritage significance of Chiswick Bridge.

#### *Mortlake Conservation Area*

- 15.89 As outlined in **Appendix 15.1**, a small portion of the Stag Brewery component of the Site falls within Mortlake Conservation Area boundary. This element of the Site is considered to contribute positively to the significance of the Conservation Area as part of the historic brewery site. The modern brewery structures within the remainder of the Stag Brewery component of the Site are considered to detract from the appreciation, character and appearance of the Conservation Area. As such, it is considered that the Development would be an enhancement when compared to the

existing situation on the Site and that the high-quality design of the Development would complement the appreciation of the Conservation Area.

- 15.90 It is also considered that the Development would not compromise the Conservation Area's relationship with the positive elements of its setting, which include Mortlake Green, the River Thames and the surrounding historic townscape. Overall, it is considered that there would be a **long-term, local, beneficial effect of minor significance** on the heritage significance of Mortlake Conservation Area.

#### *Mortlake Green Conservation Area*

- 15.91 Mortlake Green Conservation Area is located adjacent and to the south of the Stag Brewery component of the Site, to the opposite side of Lower Richmond Road. It has been identified that there are elements of the Stag Brewery component of the Site that complement the character and appearance of the conservation area, most notably the former Hotel building which frames the green and the sports ground at the west end of the Stag Brewery component of the Site. It is considered, however, that the modern industrial structures on the existing Stag Brewery component of the Site detract from the assets appreciation, particularly as they dominate in views northwards across the green.
- 15.92 Importantly, the contribution of the positive elements of the Conservation Area's setting would be sustained, with the façade of the former Hotel remaining largely unaltered and the majority of the open green space at the western end of the Stag Brewery component of the Site being retained. Although the built form of the Development would be visible in views across the green, it is considered that the high-quality architecture would complement the appreciation of these views and of the character of the Conservation Area. It is therefore considered that there would be a **long-term, local, beneficial effect of minor significance** on the heritage significance of Mortlake Green Conservation Area.

#### *The Jolly Gardeners Public House*

- 15.93 It has been established that the historic elements of the brewery which survive on the Stag Brewery component of the Site contribute positively to the significance of the locally listed building, as part of its historic setting. However, the 20th century brewery structures on the Stag Brewery component of the Site detract from the appreciation of the asset. As such, the replacement of the existing brewery structures with the new built form of the Development would be an improvement on the existing situation and would complement the appreciation of the heritage asset.
- 15.94 In addition, the heritage asset's relationship with Mortlake Green and the built form to the opposite side of Lower Richmond Road, which contribute positively to its significance, would not be diminished. Overall it is considered that there would be an **insignificant to long-term, local, beneficial effect of minor significance** on the heritage significance of the Jolly Gardeners Public House.

## **Mitigation Measures and Likely Residual Effects**

### **The Works**

- 15.95 All buildings on the Site that have been identified as being of historic interest would be retained or partially retained as part of the Development, ensuring that the group value and relationships between the heritage assets on the Stag Brewery component of the Site would be retained. Direct adverse effects of minor to moderate significance on these heritage assets have been identified,

due to the demolition of historic fabric associated with the heritage assets. To reduce this adverse effect, it is recommended that a programme of archaeological building recording is carried out prior to the commencement of the Works. Accounting for such mitigation, the likely residual effects from the Works resulting in the removal of historic fabric of heritage assets within the Site would be **insignificant to direct, permanent, local, adverse effect of minor significance**.

- 15.96 During the Works, the implementation of a Construction Environmental Management Plan (CEMP) would ensure that measures are taken to limit the extent of vibration and dust, reducing the effect upon the heritage assets within the environs of the Site. As described in **Chapter 6: Development Programme, Demolition, Alteration, Refurbishment and Construction**, easements around the BTMs within the Site would form a specified distance from the edge of the retained buildings and structures where no demolition or slab removal works would take place. This would prevent ground loading or any ground disturbance which may cause foundations to move. In addition, and where required, all diesel and oil filling for plant and machinery would be located at the further cleared distance, in excess of the easement from the BTMs. The Site Manager would undertake dilapidation photographs of the retained buildings and structures and assess whether any additional protection is required such as boarding of windows or the erection of a physical barrier around them. Necessary protective measures would be identified through consultation with the relevant parties and review and sign off on a pre-construction condition survey of adjacent historic assets.
- 15.97 Further mitigation measures to protect historic assets during the Works would include:
- arrangement of delivery locations and times to limit disruption and possible damage to neighbouring historic structure;
  - use of excavation and demolition methods that produce low vibration levels and participation in a monitoring programme to ensure vibration levels are within established thresholds;
  - ensuring surface water runoff is not directed towards any historic assets; and
  - directing debris chutes away from historic assets.
- 15.98 Following the above mitigation, the likely residual effect from noise, dust and vibration during the Works on heritage assets within the Site and within its environs would be **insignificant**.
- 15.99 Demolition of the existing modern brewery buildings and structures would result in **insignificant to permanent, beneficial, indirect** likely residual effects of **minor to moderate significance** upon the medium and low value heritage assets identified within the Site boundary and within its environs. This is due to the removal of an element of setting that is considered to detract from the appreciation of the heritage assets. As such, no additional mitigation measures would be necessary.

### Completed Development

- 15.100 Insignificant to direct, adverse effects of minor significance on the heritage significance of some of the heritage assets within the Site have been identified due to the Development as a result of the alteration to the historic fabric or character of these assets. However, these adverse effects should be considered in the wider context of the Development overall and the harm weighed against the public benefits of the Development.
- 15.101 The likely residual effect of the proposed works to the former Hotel building, former Bottling Building and Maltings building would remain as the likely significant effect. That is, **insignificant to direct, long-term, local adverse effect of minor significance**.

- 15.102 The retention and restoration of the railway tracks, paving and moorings historic features would enhance and better reveal their significance, and would provide an understanding and appreciation of their former use and the functional link between these elements and the Site. The effect of the Works to the railway tracks, paving and moorings would be beneficial, therefore there is no need for mitigation measures to be proposed. The likely residual effect on the railway tracks, paving and moorings would be a **direct, long-term, local beneficial** effect of **minor significance**. Again, this would be identical to the likely effect.
- 15.103 The retention and relocation of the memorials and the historic gates, and the retention of a section of boundary wall, would result in **insignificant** effects. As such, there is no need for mitigation measures to be proposed. The likely residual effects on the memorials, historic gates and section of boundary wall would therefore remain as **insignificant**.
- 15.104 Once the Development is completed, the change to the setting of the heritage assets within and surrounding the Site would be uniformly beneficial. Therefore, there would be no need for mitigation measures. The likely residual effect on the setting of heritage assets within the Site would remain as per the likely effects. That is, ranging from **insignificant** to **indirect, long-term, beneficial** effects of **minor significance**.

## Summary

- 15.105 **Table 15.11** summarises the likely significant effects, mitigation measures, and likely residual effects identified within this Chapter.

Table 15.11: Summary of Likely Significant Effects, Mitigation Measures and Likely Residual Effects

Issue	Likely Significant Effect	Mitigation Measures	Likely Residual Effect
<b>The Works</b>			
Demolition of historic fabric within the Stag Brewery component of the Site.	<b>Direct, permanent, local, adverse</b> effects of <b>minor to moderate significance</b> .	Undertaking of a programme of archaeological building recording prior to commencement of the Works.	<b>Insignificant to direct, permanent, local, adverse</b> effects of <b>minor significance</b> .
Retention in-situ of the railway tracks, paving and moorings within the Stag Brewery component of the Site.	<b>Insignificant</b> .	Not applicable.	<b>Insignificant</b> .
Indirect effects upon the setting of heritage assets within and surrounding the Stag Brewery component of the Site arising from the demolition of existing modern brewery buildings and structures within the Stag Brewery component of the Site.	<b>Insignificant to indirect, permanent, local, beneficial</b> effects of <b>minor to moderate significance</b> .	Not applicable.	<b>Insignificant to indirect, permanent, local, beneficial</b> effects of <b>minor to moderate significance</b> .
Indirect effects upon the	<b>Insignificant to indirect,</b>	Implementation of	<b>Insignificant</b> .

Issue	Likely Significant Effect	Mitigation Measures	Likely Residual Effect
setting of heritage assets within and surrounding the Stag Brewery component of the Site arising from noise, vibration, dust and traffic associated with the Works.	<b>short to medium-term, local, adverse effects of minor significance.</b>	CEMP to limit and appropriately manage noise, vibration, dust and construction traffic associated with the Works.  Implementation of appropriate easements around heritage assets to be retained during the demolition and slab removal works required to facilitate the Development.	
<b>Completed Development</b>			
Conversion of the Maltings building and a new building behind the retained façades of the former Hotel building and former Bottling Building.	<b>Insignificant to direct, long-term, local, adverse effect of minor significance.</b>	Not applicable.	<b>Insignificant to direct, long-term, local, adverse effect of minor significance.</b>
Retention of part of the boundary wall.	<b>Insignificant.</b>	Not applicable.	<b>Insignificant.</b>
Retention and improvement to the setting of the railway tracks, paving and moorings.	<b>Direct, long-term, local beneficial effect of minor significance.</b>	Not applicable.	<b>Direct, long-term, local beneficial effect of minor significance.</b>
Retention and relocation of memorials.	<b>Insignificant.</b>	Not applicable.	<b>Insignificant.</b>
Retention and relocation of historic gates.	<b>Insignificant.</b>	Not applicable.	<b>Insignificant.</b>
Change of setting of the heritage assets within and surrounding the Stag Brewery component of the Site.	<b>Insignificant to indirect, long-term, local, beneficial effects of minor significance.</b>	Not applicable.	<b>Insignificant to indirect, long-term, beneficial effects of minor significance.</b>

## References

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- 1 Historic England (2015); Historic Environment Good Practice Advice in Planning Note 3 - The Setting of Heritage Assets, March 2015.
- 2 English Heritage (2008); Conservation Principles, Policies and Guidance, For the Sustainable Management of the Historic Environment, April 2008.
- 3 Chartered Institute for Archaeologists (2014); Standard and Guidance: Historic Environment Desk-based Assessments, December 2014.
- 4 Department for Communities and Local Government (2012); National Planning Policy Framework, March 2012.
- 5 The Highways Agency (2007); Design Manual for Roads and Bridges, Volume 11, Section 3, Part 2 HA 208/ 07 Cultural Heritage, August 2007.
- 6 Department for Communities and Local Government (2012); National Planning Policy Framework, March 2012.
- 7 Historic England (2008); Conservation Principles, Policies and Guidance, For the Sustainable Management of the Historic Environment, Historic England, London.
- 8 The Highways Agency (2007); Design Manual for Roads and Bridges, Volume 11, Section 3, Part 2 HA 208/ 07 Cultural Heritage, August 2007.
- 9 International Council on Monuments and Sites (ICOMOS) (2010); Guidance on Heritage Impact Assessments for Cultural World Heritage Properties.
- 10 Historic England (2015); Good Practice Advice in Planning Note 3: The Setting of Heritage Assets, Historic England, London.



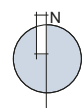
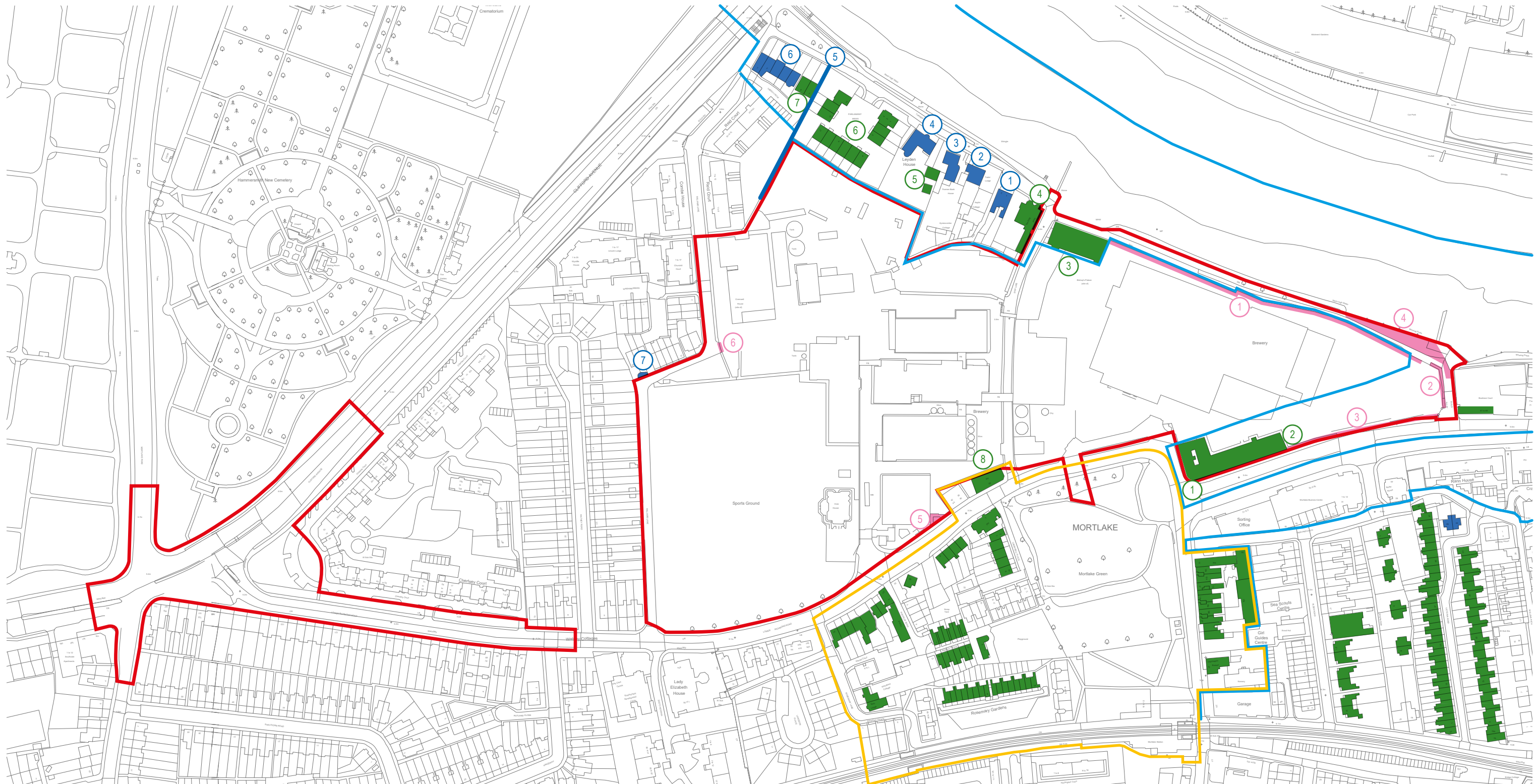
## FIGURES

### Figures

The Former Stag Brewery, Mortlake

Document Reference: WIE10667-101-R.10.8.1.1-Built Heritage






 The Site

 Mortlake Conservation Area

 Mortlake Green Conservation Area

 Buildings of Townscape Merit

1. The Former Hotel Building
2. The Former Bottling Building
3. The Maltings Building
4. The Ship Public House
5. The Old Stables
6. 1-14 Parliament Mews
7. 6 and 7 Thames Bank
8. The Jolly Gardeners Public House

 Grade II Listed Buildings

1. Thames Cottage
2. Tudor Lodge
3. Thames Bank House
4. Leyden House
5. Garden Wall to east of 1-8 Riverside House and extending behind 1-24 Reid Court
6. Riverside House
7. Gateway, formerly to Cromwell House

 Non-Designated Heritage Assets

1. Northern Boundary Walls
2. Eastern Boundary Walls
3. Southern Boundary Walls
4. Railway Tracks, Granite Paving and River Moorings
5. Memorials
6. Historic Gates

Project Details WIE10667-101: Stag Brewery, Mortlake

Figure Title Figure 15.1: Heritage Asset Site Plan

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Date 2018

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## **APPENDICES**

### **A. Appendix 15.1: Built Heritage Statement**

## **APPENDIX 15.1 BUILT HERITAGE STATEMENT**



## **The Former Stag Brewery, Mortlake**

### Built Heritage Statement

February 2018

**Waterman Infrastructure & Environment Limited**

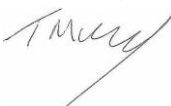
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**Client Name:** Reselton Properties Limited  
**Document Reference:** WIE10667\_101\_4\_1\_1HR  
**Project Number:** WIE10667

### Quality Assurance – Approval Status

This document has been prepared and checked in accordance with  
Waterman Group's IMS (BS EN ISO 9001: 2008, BS EN ISO 14001: 2004 and BS OHSAS 18001:2007)

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<b>Issue</b>	<b>Date</b>	<b>Prepared by</b>	<b>Checked by</b>	<b>Approved by</b>
1	December 2016	Edward James Heritage Consultant	Tim Murphy Principal Heritage Consultant	Tim Murphy
2	July 2017	Ellen Smith Senior Consultant		
3	November 2017	Hannah Rae Historic Buildings Consultant	Tim Murphy Principal Heritage Consultant	Tim Murphy
4	February 2018	Hannah Rae Historic Buildings Consultant	Tim Murphy Principal Heritage Consultant	Tim Murphy 

### Comments

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## Disclaimer

This report has been prepared by Waterman Infrastructure & Environment Limited, with all reasonable skill, care and diligence within the terms of the Contract with the client, incorporation of our General Terms and Condition of Business and taking account of the resources devoted to us by agreement with the client.

We disclaim any responsibility to the client and others in respect of any matters outside the scope of the above.

This report is confidential to the client and we accept no responsibility of whatsoever nature to third parties to whom this report, or any part thereof, is made known. Any such party relies on the report at its own risk.

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- A. Heritage Asset Plans and Photo Montages
- B. Listing Descriptions
- C. Legislation and Planning Policy
- D. Glossary (National Planning Policy Framework)

## 1. Introduction

- 1.1. This Built Heritage Statement has been prepared by Waterman Infrastructure & Environment Ltd (Waterman IE) on behalf of Reselton Properties Limited ('the Applicant') in support of three linked planning applications for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake ('the Site') within the London Borough of Richmond Upon Thames ('LBRuT').
- 1.2. The former Stag Brewery Site is bounded by Lower Richmond Road to the south, the river Thames and the Thames Bank to the north, Williams Lane to the east and Bulls Alley (off Mortlake High Street) to the west. The Site is bisected by Ship Lane. The Site currently comprises a mixture of large scale industrial brewing structures, large areas of hardstanding and playing fields.
- 1.3. The redevelopment will provide homes (including affordable homes), complementary commercial uses, community facilities, a new secondary school alongside new open and green spaces throughout. Associated highway improvements are also proposed, which include works at Chalkers Corner junction.
- 1.4. The three planning applications are as follows:
  - Application A – hybrid planning application for comprehensive mixed use redevelopment of the former Stag Brewery site consisting of:
    - i. Land to the east of Ship Lane applied for in detail (referred to as 'Development Area 1' throughout); and
    - ii. Land to the west of Ship Lane (excluding the school) applied for in outline detail (referred to as 'Development Area 2' throughout).
  - Application B – detailed planning application for the school (on land to the west of Ship Lane).
  - Application C – detailed planning application for highways and landscape works at Chalkers Corner.
- 1.5. Full details and scope of all three planning applications are described in the submitted Planning Statement, prepared by Gerald Eve LLP.
- 1.6. This report will provide a baseline assessment of the Stag Brewery Site, through research and Site assessment. This will inform why and to what extent any buildings and / or features on the Site may be historically or architecturally significant. This assessment will also consider the Site's contribution to the setting and significance of heritage assets in the environs of the Site.
- 1.7. This assessment follows best practice procedures produced by Historic England<sup>1,2</sup>, the Chartered Institute for Archaeologists<sup>3</sup> and makes reference to policy contained in Section 12 of the National Planning Policy Framework (NPPF), *Conserving and Enhancing the Historic Environment*<sup>4</sup>.

<sup>1</sup> Historic England (2015); Historic Environment Good Practice in Planning 3: The Setting of Heritage Assets, March 2015.

<sup>2</sup> Historic England (2008); Conservation Principles, Policies and Guidance for the sustainable management of the historic environment, April 2008.

<sup>3</sup> Institute for Archaeologists (2012); Standard and Guidance: Desk Based Assessments, November 2012.

<sup>4</sup> Department for Communities and Local Government (2012); National Planning Policy Framework, March 2012.

## The Site

- 1.8. The Site comprises two components as follows:
  - the Stag Brewery – an approximately 9.25 hectare (ha) parcel of land predominantly occupied by the former Stag Brewery; and
  - Chalker’s Corner – an approximately 1.4 ha of highway and associated landscaping referred to as Chalker’s Corner junction which includes the junction with the A316 (Clifford Avenue, A3003 (Lower Richmond Road) and A205 (South Circular).
- 1.9. The Site is approximately centred on National Grid Reference (NGR) 520380, 176003 and is located in Mortlake within the administrative boundary of the London Borough of Richmond upon Thames (LBRuT). The location and extent of the Site is shown in **Figure A** in **Appendix A**.
- 1.10. The Site is bounded by predominately residential properties, with the River Thames bounding the north east of the Stag Brewery component of the Site and Fulham (North Sheen) Cemetery bounding the north of the Chalker’s Corner component of the Site.
- 1.11. The Stag Brewery component of the Site currently comprises a mixture of large scale industrial brewing structures dating from the late twentieth century, a number of early twentieth century and nineteenth century structures, and large areas of concrete or tarmac hardstanding. The Site is bounded by either a high wall or a fence, some sections of which are of historical derivation.
- 1.12. The report focuses on the Stag Brewery component of the Site (and not the Chalker’s Corner component of the Site). This is due to the fact that there are no built heritage assets within the Chalker’s Corner component of the Site and the highway works associated with Chalker’s Corner relate to highway improvements and landscaping. As such, and hereafter, the Stag Brewery component of the Site is referred to as the Site.

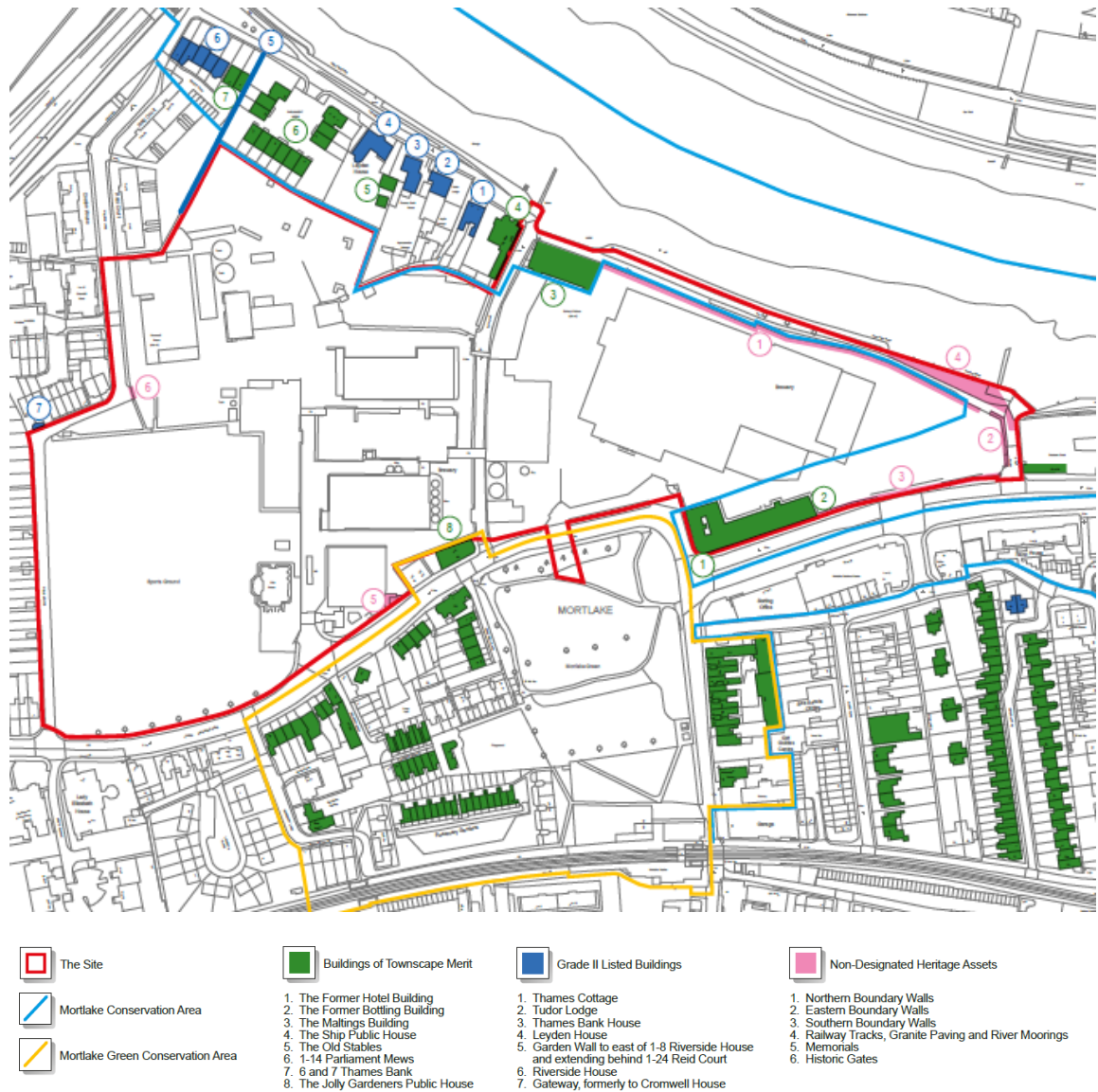
## **2. Methodology**

- 2.1. This assessment has included the following:
  - consultation of relevant early maps, documents and other heritage information in the London Borough of Richmond upon Thames (LBRuT) archives. An historical overview of the Site and its surroundings is provided;
  - consultation of online resources;
  - appraisal of designated heritage assets and areas, including conservation areas and local lists;
  - a walk-over survey of the Site and the immediate surrounding area;
  - assessment of the heritage values of the buildings likely to be affected by the proposal; and
  - consultation of local and national planning policy and guidance pertaining to heritage.
- 2.2. The Site was visited on 25<sup>th</sup> August 2017. The aim of the visit and walkover was to assess the form of the buildings and identify any features of heritage merit which may be affected by development on the Site. Some of the resultant images from this inspection are reproduced in this report.
- 2.3. Section 3 provides an overview history of the Site and any designated heritage assets in its vicinity.
- 2.4. Section 4 provides an overview analysis based on the Site inspection.
- 2.5. Section 5 provides an assessment of significance of any heritage assets within the Site and in its vicinity likely to be affected by the proposal, including considerations of setting.
- 2.6. Section 6 concludes with a summary of this assessment.

### 3. Historical Baseline and Analysis

A map identifying the heritage assets within the Site and in the environs is located in **Appendix A (Figure B)** and shown below for reference.

Heritage Assets Plan (extracted from Figure B of Appendix A)



## Designated Heritage Assets

### Listed Buildings

- 3.1. There are no listed structures located within the Site. There are seven Listed Buildings located immediately adjacent to the Site, and a further building within 500m of the Site, the significance of which could potentially be affected by the redevelopment of the Site and which are considered to be relevant for this assessment. For the purposes of this assessment, these buildings are grouped where appropriate.

#### Listed Buildings Adjacent to the Site

- Thames Cottage: Grade II;
- Tudor Lodge: Grade II;
- Thames Bank House: Grade II;
- Leyden House: Grade II;
- Riverside House: Grade II;
- Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court: Grade II; and
- Gateway, formerly to Cromwell House: Grade II.

#### Listed Buildings within 500m considered relevant to assessment

- Chiswick Bridge and attached balustrades: Grade II.
- 3.2. Limes House and Forecourt Piers, Grade II\*, are located along the River Thames approximately 470 m to the east of the Site. It is considered that due to the nature of this building and its associated structures, its location and distance from the Site, and the interposing built form and vegetation, the Site does not contribute to the particular significance of this Listed Building. It is therefore not considered relevant to this assessment.
- 3.3. Other Listed Buildings located within 500m, but which are not considered necessary to consider due to their distance from the Site and location, are included as part of a full gazetteer of list descriptions for structures within 500m, found in **Appendix B**.

### Conservation Areas

- 3.4. There are two Conservation Areas in the immediate vicinity of the Site. These are listed below, and their boundaries are indicated on the Heritage Asset Map in **Appendix A (Figure B)**.
- Mortlake Conservation Area; and
  - Mortlake Green Conservation Area.
- 3.5. Part of the Site running along Mortlake High Street and the Thames shoreline is located within the Mortlake Conservation Area. Parts of the surviving boundary wall of the Site are identified by the London Borough of Richmond upon Thames (LBRuT) as contributing to the character of the Conservation Area and form a surviving element of the pre-nineteenth century brewery.
- 3.6. To the south of the Site is the Mortlake Green Conservation Area. This is centred on Mortlake Green, and includes a residential area to the west. The former Hotel building within the Site is identified in the appraisal as contributing to the character of this area, despite it lying just outside the boundary.
- 3.7. In addition to the two Conservation Areas in the immediate vicinity of the Site, to the north of the



River Thames, in the Borough of Hounslow, is the Grove Park Conservation Area. This covers the northern half of Chiswick Bridge, however, it is not considered relevant to this assessment due to its distance from the Site. In addition, the topography of the land around the Great Chertsey Road obscures the Site, including the existing tall brewery buildings, from within the Conservation Area.

### **Non-Designated Heritage Assets**

- 3.8. This includes structures and buildings formerly identified by LBRuT, as well as structures within the Site which were identified as part of this assessment as being of heritage interest.
- 3.9. Three structures within the Site are specifically identified by LBRuT as 'Buildings of Townscape Merit'<sup>5</sup> (BTMs). These include:
- The former Hotel Building;
  - The former Bottling Building; and
  - The (former) Maltings Building.
- 3.10. The Site visit also identified a number of structures located within the Site as potentially being of heritage interest and, therefore, non-designated heritage assets. The additional non-designated heritage assets located within the Site, and illustrated on the Heritage Asset Plan in **Appendix A (Figure B)**, are as follows:
- Northern Boundary Walls;
  - Eastern Boundary Wall;
  - Southern Boundary Wall;
  - Railway Tracks, Granite Paving and River Moorings;
  - Memorials; and
  - Historic Gates.
- 3.11. In addition to those located within the Site, there are a number of heritage assets identified by LBRuT as BTMs which are situated in the vicinity of the Site to the south, north and east of its boundaries. These are highlighted on the Heritage Asset Plan in **Appendix A (Figure B)**.
- 3.12. The significance of BTMs adjacent to the Site could potentially be affected by the redevelopment of the Site. For the purposes of this assessment, these buildings are considered as part of a group where appropriate. The following BTMs located within the environs of the Site are considered relevant for this assessment:
- The Ship Public House, Thames Bank;
  - The Old Stables, Thames Bank;
  - 6 and 7 Thames Bank;
  - 1-14 Parliament Mews; and
  - The Jolly Gardeners Public House, Lower Richmond Road.
- 3.13. Further to the above, there are a group of locally listed buildings located adjacent to the southern boundary of the Site, on the opposite side of Lower Richmond Road (The Tapestry Public House; and, 3,5,7,9,33,36,37,39,41,45,47,49 and 51 Lower Richmond Road). These buildings are located along the northern boundary of Mortlake Green Conservation Area. Given the nature of the assets,

<sup>5</sup> [http://www.richmond.gov.uk/media/4095/btm\\_register11\\_14.pdf](http://www.richmond.gov.uk/media/4095/btm_register11_14.pdf) Accessed September 2017.

it is considered that their significance is consistent with that of their contribution to Mortlake Green Conservation Area, and therefore they are assessed as such as part of this report.

- 3.14. Similarly, 61-69 Mortlake High Street is located on the north side of Lower Richmond Road, within the boundary of Mortlake Conservation Area. Given the nature of this asset and its coherence with other buildings along Mortlake High Street, it is considered that its significance is consistent with that of its contribution to Mortlake Conservation Area, and therefore it is assessed as such as part of this report.

## Historical Overview

### Early History (Pre-1700s)

- 3.15. Mortlake village is listed in the Domesday Survey (1086) in the Hundred of Brixton within the historic bounds of the county of Surrey. It was a settlement of some size and value to the Archbishop of Canterbury, who was Lord of the Manor at the time, with 110 households and enough land for 68 plough teams<sup>6</sup>.
- 3.16. The manor remained with the archbishops of Canterbury until the sixteenth century, when the lands were transferred to Henry VIII in 1536, who subsequently granted it to Thomas Cromwell, and then his sixth wife Katheryn Parr. The village became famous for the production of tapestries, after the Mortlake Tapestry Works was opened in 1619 by James I of England. In 1637, the parish was truncated considerably by the creation of Richmond Park by Charles I<sup>7</sup>.
- 3.17. The earliest mention of the brewing industry with a connection to Mortlake is in the late fifteenth century, when a brewery is thought to have been set up in the locality by a John Williams from Wales. William's nephew, Morgan, married Catherine Cromwell, the sister of Thomas Cromwell, who owned both Cromwell House and Mortlake Manor House (also referred to as the Bishop's Palace), after it was gifted to him by Henry VIII in 1536<sup>8</sup>. This brewery was situated near the manor house, and was located within the eastern side of the Site, to the east of Ship Lane. The manor house may have been demolished when the brewery first expanded northwest in the early eighteenth century, and a fifteenth century burial ground within the Site was also believed to have been developed upon at the same time<sup>9</sup>.

### Later History (1751 AD to 1900 AD)

- 3.18. In the second half of the eighteenth century the brewery was owned by James Weatherstone. John Rocque's 1766 Map of London (**Figure 1**) shows the Site in the mid eighteenth century, albeit not in much detail. The Site is discernible to the east of Ship Lane, with a demarcated boundary facing the High Street to the south. Court rolls from 1765 describe two small breweries operating adjacent to, but separate from, each other in about 2 acres of land. The northern of the two breweries was owned by a James Weatherstone, who was a local inn keeper and maltster, and the southern was owned by William Richmond and later John Prior – another local inn owner who also ran a maltings at Strand on the Green. The southern brewery was later bought by Weatherstone and an associate named Halford. The enterprise then passed through several different ownerships, including Halford and Topham in 1836, Topham and Kempston later that decade, and then Kempston on his own in the late 1840s<sup>10</sup>
- 3.19. James Wyld's 1848-9 Map of London (**Figure 2**) depicts the brewery, and it is clear that the operation had expanded to include two large structures at the eastern end of the existing Site, with an open area facing the Thames to the north. The easternmost of the large structures is annotated

<sup>6</sup> Powell-Smith, A., & Palmer, J. (2016). *OpenDomesday: Mortlake*. Retrieved from OpenDomesday.Org: <http://opendomesday.org/place/TQ2075/mortlake/>

<sup>7</sup> Barnes and Mortlake History Society. (Accessed 2017). *Barnes, Mortlake and East Sheen Second World War Bombs*. Retrieved from Barnes and Mortlake History Society Web Page: <http://www.barneshistory.org.uk/Bombmap/mappage.html>

<sup>8</sup> Ibid

<sup>9</sup> Marshall, R. C. (1961). *Nineteenth Century Mortlake and East Sheen. A Factual History*. London: Private Publication

<sup>10</sup> Barnes and Mortlake History Society. (Accessed 2017). *Barnes, Mortlake and East Sheen Second World War Bombs*. Retrieved from Barnes and Mortlake History Society Web Page: <http://www.barneshistory.org.uk/Bombmap/mappage.html>

as being a maltings, and there are also other maltings buildings annotated further along the river to the east. The western part of the Site was predominantly occupied by a large house, named Bellevue Place, and its gardens. The Ship inn, adjacent to the Site to the northwest, is also depicted.

Figure 1: John Rocque's Map of London, 1766



Figure 2: James Wyld's 1848-9 Map of London, showing Mortlake Brewery

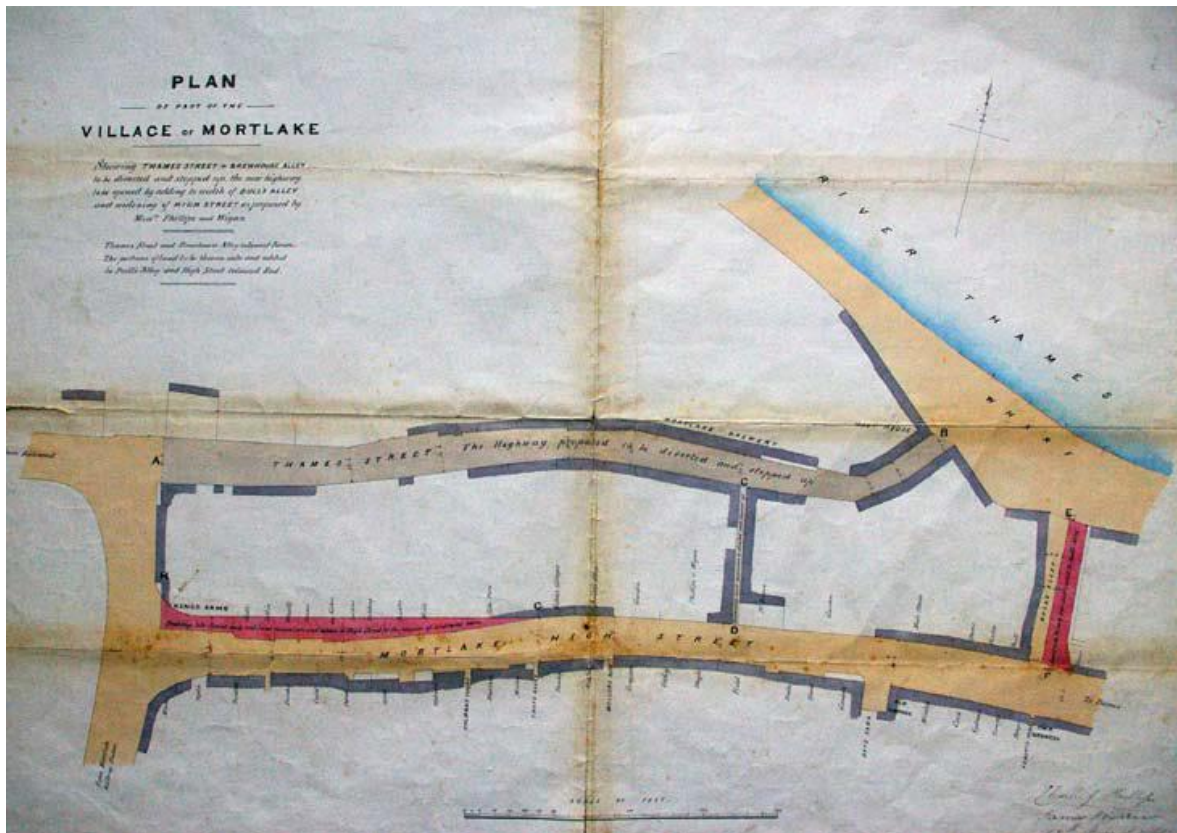


- 3.20. In 1852, the brewery was bought by Charles John Phillips, the son of a coal and corn merchant who funded the purchase. The business was then subsequently bought out by a partnership of Phillips and James Wigan, who then developed the business through the purchase of nearby properties and an industrious period of expansion. This included the nearby, and historic, Cromwell House, which he demolished and replaced with another residence, also called Cromwell House, further north towards the river (which was subsequently demolished by Watney's in the twentieth century). The largest market for the brewery's products was the overseas Empire, with considerable quantities of beer bound for India and the Crimean Peninsula to water the troops, and by the end of the 1860s it was the largest employer in the district<sup>11</sup>
- 3.21. Space, however, was an issue for the expanding brewery business, particularly with Thames Street running directly through the centre of the brewery since the amalgamation of the two previously separate sites. In 1865, this was solved when Phillips acquired the freehold to all of the land on the riverside for £2350. He immediately set about redeveloping the land and closing off rights of way, including Thames Street and Brewhouse Lane – much to the dismay of the local population who protested against the road closures. A plan showing the proposed works to the Mortlake Brewery site illustrates the road closures in grey (**Figure 3**).

<sup>11</sup> Ibid



Figure 3: Plan of Proposed Works to Mortlake Brewery site, c. 1865



Source: Richmond upon Thames Local Studies and Archives Centre

- 3.22. Agreement was reached (including a £200 donation to the local poor fund), and work began on the construction of the new brewery. The new structures included the long, high brick wall fronting the High Street, on which were visible the initials P & W, as well as the large painted panel inscribed with 1869 MORTLAKE BREWERY, which still survives on the southern façade of the former Bottling building located within the southern boundary of the Site (east of Ship Lane) today<sup>12</sup>.
- 3.23. The 1873 Ordnance Survey Map (**Figure 4**), which was surveyed in 1865-6, illustrates the site of the brewery just before the intersecting part of Thames Street would have been removed and the brewery expanded. The western half of the Site is also shown, and contained the site of the Bishop's Palace – originally the manor house for Mortlake – and other ancillary structures, as well as extensive orchards and cultivated strips. A section on its southern boundary comprised terraced housing.

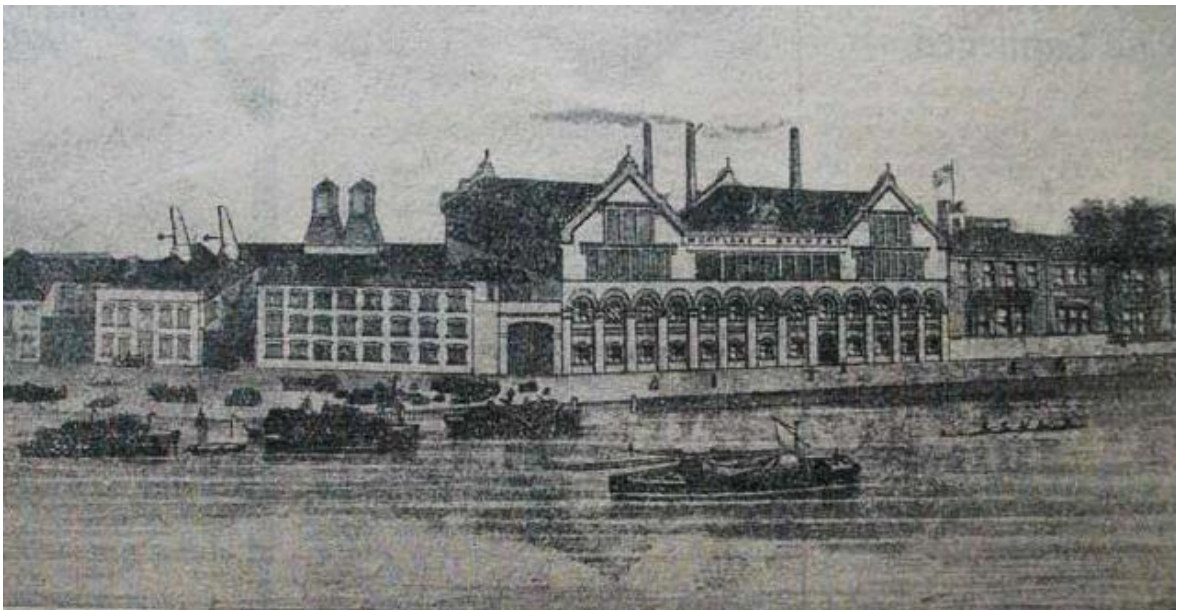
<sup>12</sup> Ibid

Figure 4: Ordnance Survey Map 1:10560, 1873



Source: Richmond Local Studies

Figure 5: Drawing of Mortlake Brewery in about 1870, viewed from the north.



Source: Richmond upon Thames Local Studies and Archives Centre

- 3.24. A drawing from a poster, dating from c.1870 (**Figure 5**), shows the principal brewery structures facing the river, with the typical features of oast-house chimneys and malting floor vents to the east (shown to the left on **Figure 5**), and main brewhouse with attendant smoking chimneys indicating the use of steam power. The house with the flagpole to the west belonged to the Phillips partnership.



- 3.25. The brewery became a family business in 1877 when Wigan sold his share of the business to Phillips and his son, and the brewery produced a mixture of brews including normal Ale, India Pale Ale, Pale Ale, Brown Stout and Porter<sup>13</sup>. The two Phillips' sold the brewery to Watney's in 1889, but remained on as Directors until 1898, when Watney's fully bought out the business, with the new firm known as Watney, Combe, Reid and Co being the largest brewery in London<sup>14</sup>.
- 3.26. The 1896 Ordnance Survey map (**Figure 6**), depicts the brewery as having expanded considerably, particularly towards the west; over the Site of the former Mortlake Manor House, with an extensive open area taking the place of the orchards shown on earlier cartographic sources, and structures now built along the eastern side of Ship Lane. The former line of Thames Street had been removed, a remnant of it evident in the plan of the buildings which had previously straddled the road.

Figure 6: Ordnance Survey Map, 1896



<sup>13</sup> Marshall, R. C. (1961); Nineteenth Century Mortlake and East Sheen. A Factual History. London: Private Publication.

<sup>14</sup> Barnes and Mortlake History Society. (Accessed 2017). Barnes, Mortlake and East Sheen Second World War Bombs. Retrieved from Barnes and Mortlake History Society Web Page: <http://www.barneshistory.org.uk/Bombmap/mappage.html>

- 3.27. A pre-1903 watercolour painting of the brewery (**Figure 7**) shows the Site at the turn of the century, illustrating a diverse collection of buildings and roof shapes set on the bend of the river, with a single large chimney dominating the skyline. The small flotilla of Thames barges berthed at the breweries wharf, illustrates a key mode of transport for the finished product away from the breweries.

Figure 7: Watercolour Painting of the Brewery, Pre 1903.



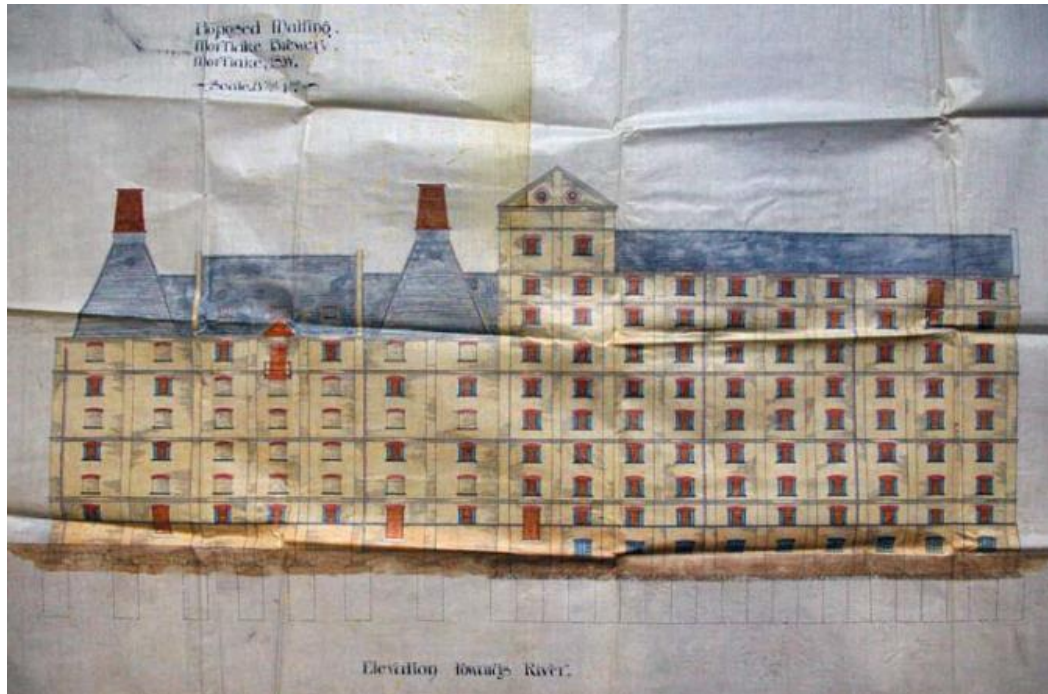
Source: *Richmond upon Thames Local Studies and Archives Centre*

### Twentieth Century Onwards (1901 AD Onwards)

- 3.28. In 1903, a large eight-storey maltings was constructed at the north west extent of the Site, adjacent to the river. This structure, designed by the in-house architect of Watney, Combe, Reid & Co (**Figures 8-9**), would become a recognisable landmark feature. Part of it still stands on the riverside today, the associated kiln block having been demolished later in the twentieth century. It is a well-known landmark near the finishing line of the annual Cambridge / Oxford boat race. The building is depicted on the 1907 Goad Fire Insurance map of the area (**Figure 10**), which annotates the use of individual buildings within the Site at this time. The Site included a dockside rail or tramway, on the historic alignment of Thames Street. This was used for the movement of goods from the river in and out of the Site, and large sections of the Site were given over to beer storage and cask washing. The previously noted bottling store, with its recognisable incised company name, faced Mortlake High Street.

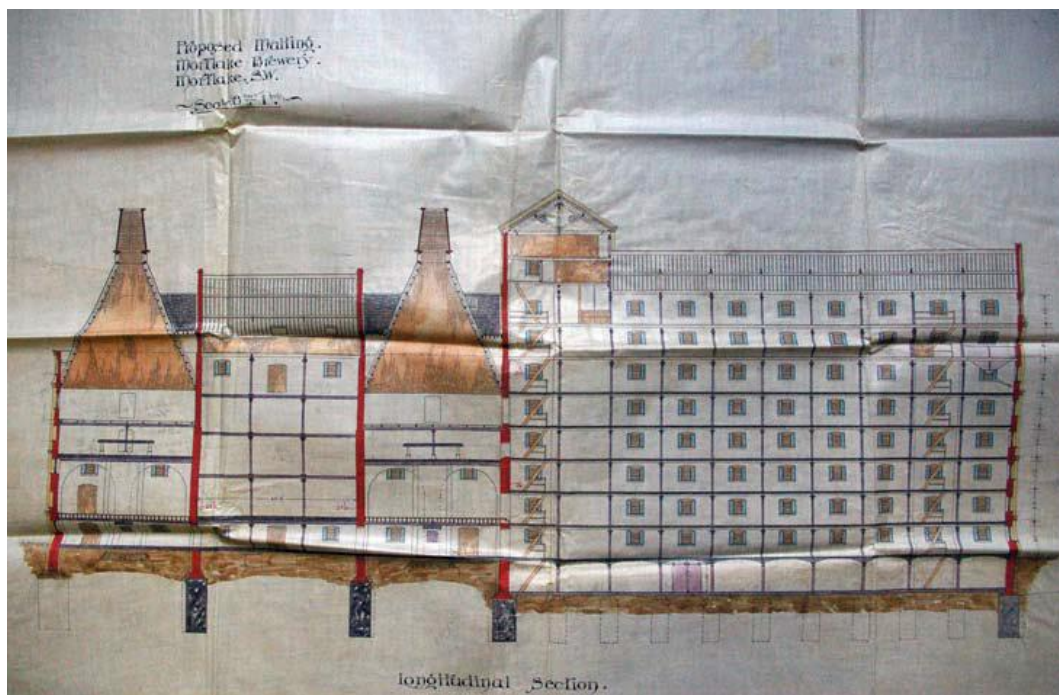


Figure 8: Architect's drawing of the proposed north elevation of the new maltings, including the now demolished kiln block to the west (left)



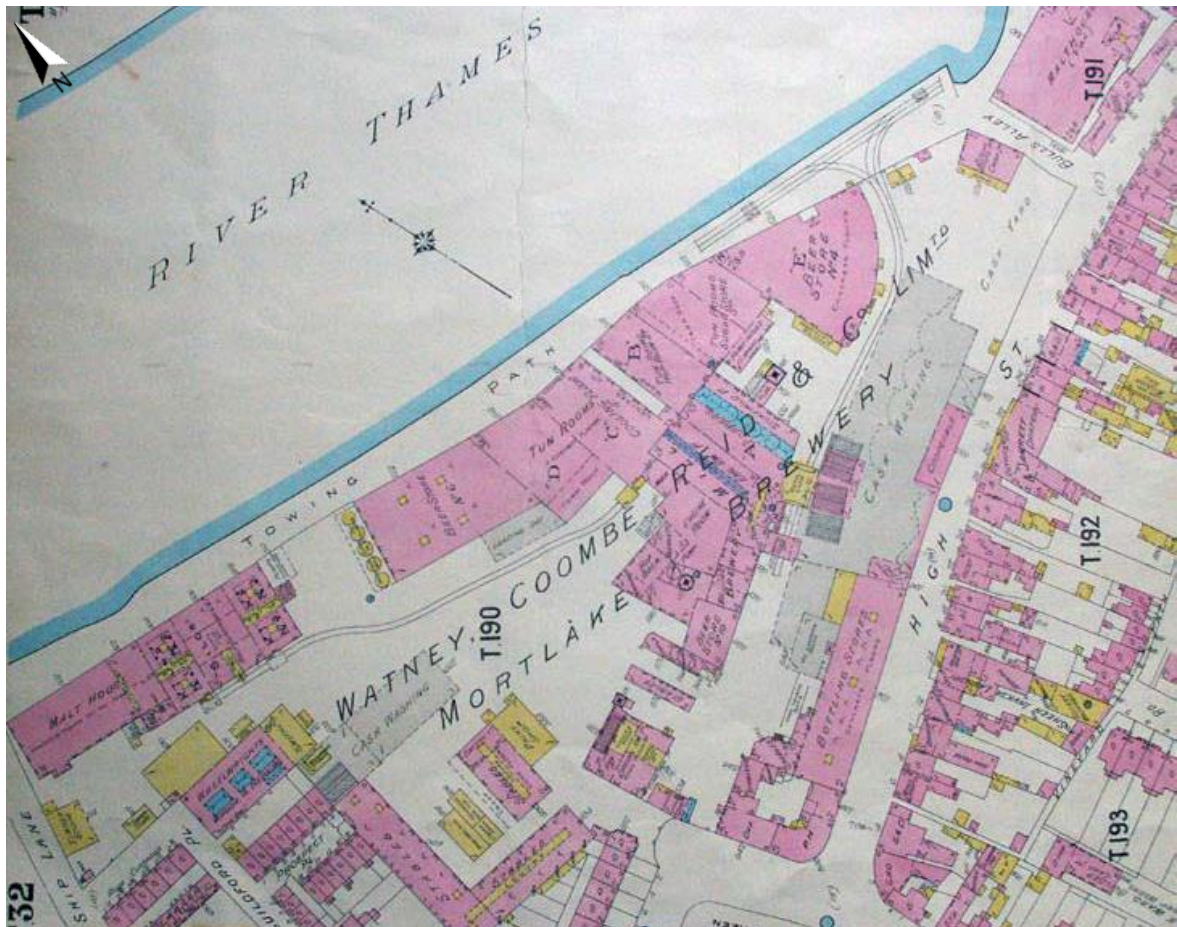
Source: Richmond upon Thames Local Studies and Archives Centre

Figure 9: Architect's section drawing of the proposed new maltings, including the now demolished kiln block to the west (left)



Source: Richmond upon Thames Local Studies and Archives Centre

Figure 10: Goad Fire Insurance Map, 1907



Source: Richmond Local Studies Library

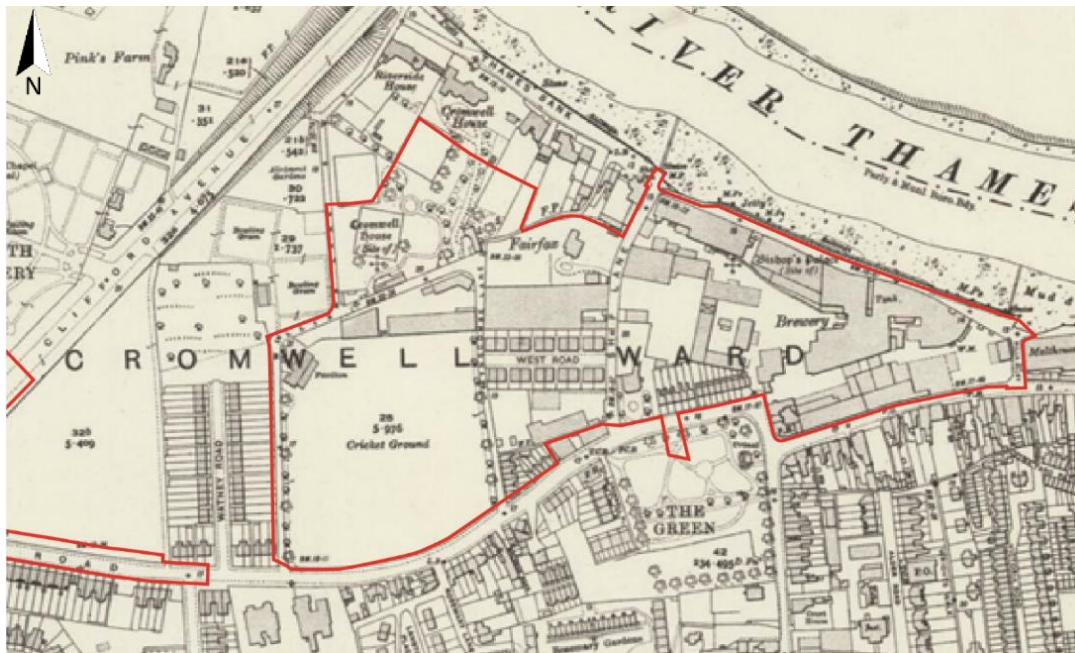
- 3.29. In the first half of the twentieth century Watney's had a particularly social workers policy, and undertook various improvements to the Stag Brewery for the benefit of its employees. This included construction of the cricket pitch in the southwest corner of the Site, allotment gardens and rows of semi-detached workers housing on West Road. The improvements are identifiable on the 1913 and 1936 Ordnance Survey maps, which also indicate that the brewery had completely developed the Site of the former manor house by this time, as well as expanding the facilities in the eastern part of the Site considerably (**Figures 11-12**).



Figure 11: Ordnance Survey Map 1:2500, 1913

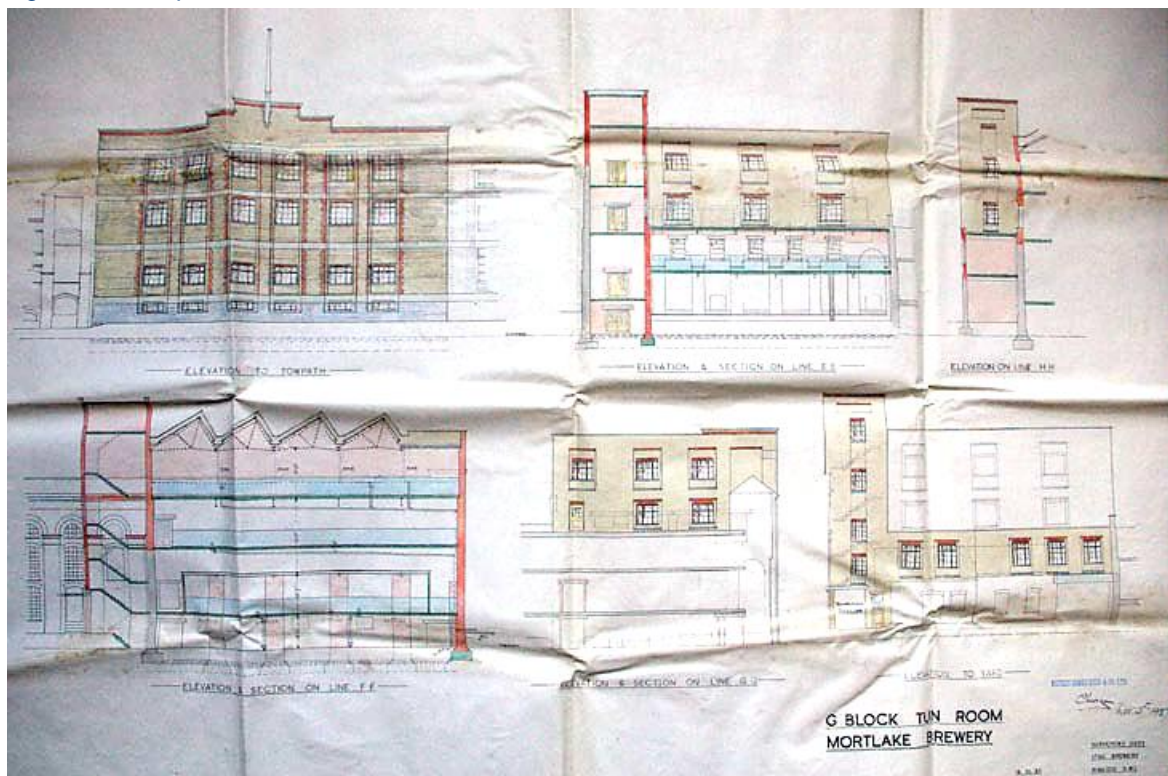


Figure 12: Ordnance Survey Map 1:2500, 1935



- 3.30. During the Second World War, the brewery was largely unaffected by bombing, although part of the bottling stores on the High Street was hit by incendiaries in September 1940 and was burned out, with the loss of 160 quarters of malt<sup>15</sup>. The cellars of the brewery were used as a bomb shelter<sup>16</sup>.
- 3.31. After the war, the brewery site was expanded considerably, taking in the previously unused land to the west of Ship Lane. In 1937 the brewery's architects designed a new Art Deco tun block to be built towards the east of the Site (**Figures 13-14**). The brewery further expanded in c.1954 with another new, and even larger, tun block, which was built on the riverside and replaced a number of earlier nineteenth century buildings, as well as the aforementioned kiln block of the 1903 maltings (**Figures 15-16**). This second block was designed by Jennings, Son and Partners Architects, although their visualisations show the reverse arrangement to that which was actually built, with the taller section to the west and a lower building to the east, and also show the demolition of the 9 storey part of the maltings – which survives. Jennings *et al* also designed a new malt silo block to face the High Street, although only the eastern part of this was actually realised.

Figure 13: Proposed new Tun Block, c.1937



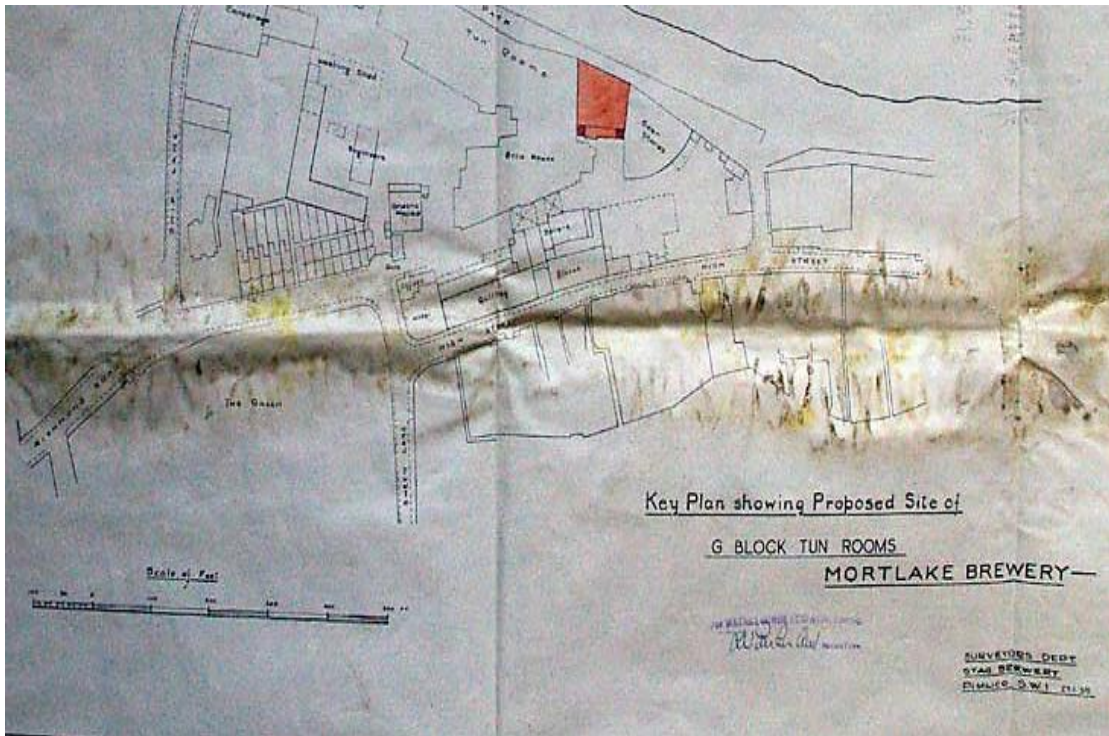
Source: Richmond upon Thames Local Studies and Archives Centre

Figure 1: Proposed location of Tun Block, 1937

<sup>15</sup> Ibid

<sup>16</sup> Hedgecock, M. (2007); Hand in Hand: Watney's Mortlake World. A Brief History of Watney's Brewery as gleaned from the Company Magazine. London: Watneys Brewery.





Source: Richmond upon Thames Local Studies and Archives Centre

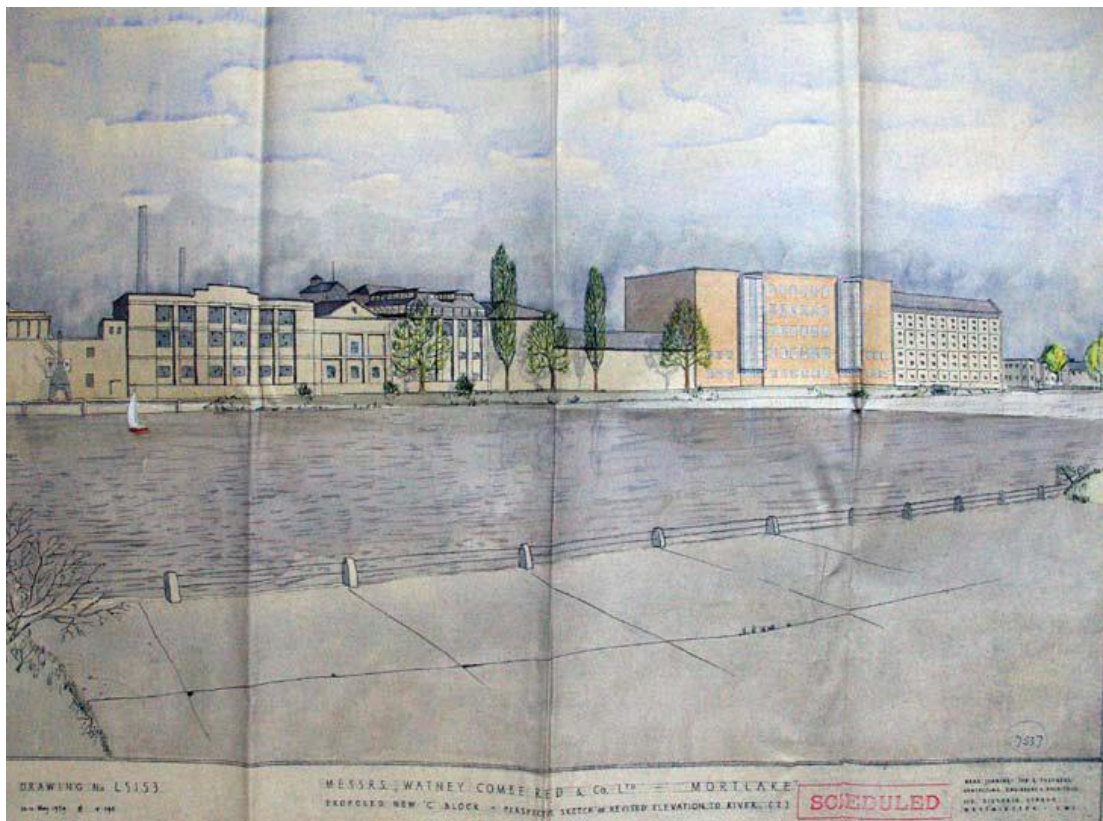
Figure 15: Design for proposed tun block, c.1954, from northwest.



Source: Richmond upon Thames Local Studies and Archives Centre

Figure 16: A different 1954 design for the new tun block, from the northeast.

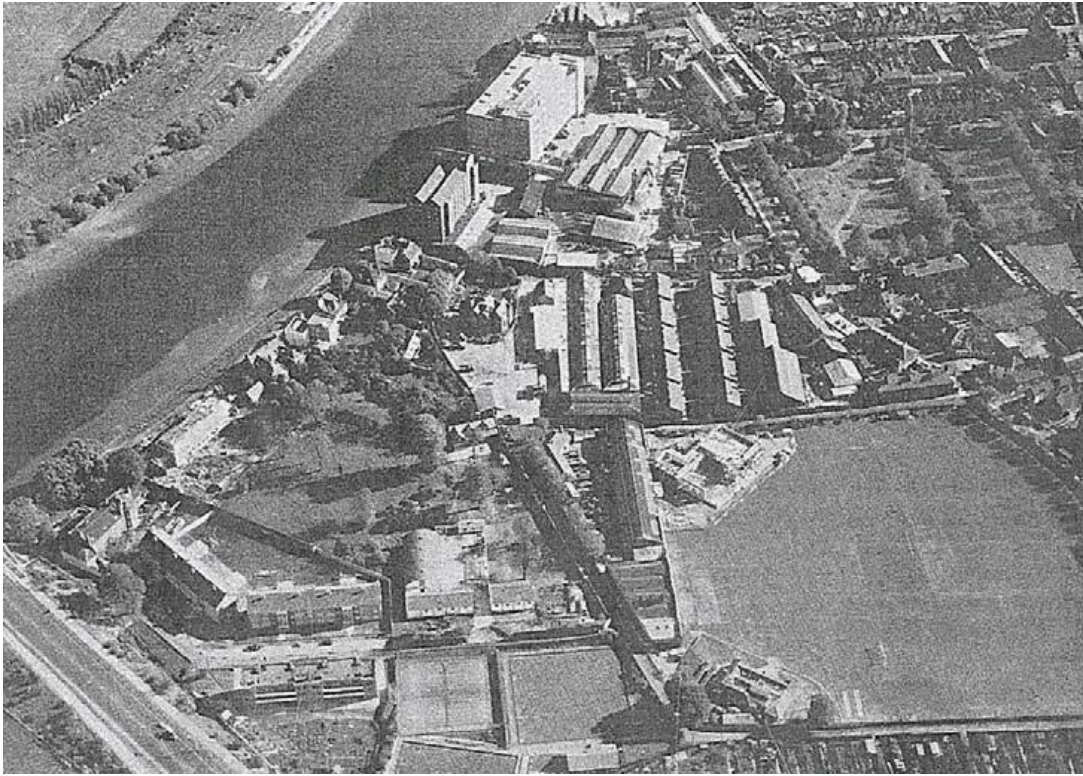




Source: Richmond upon Thames Local Studies and Archives Centre

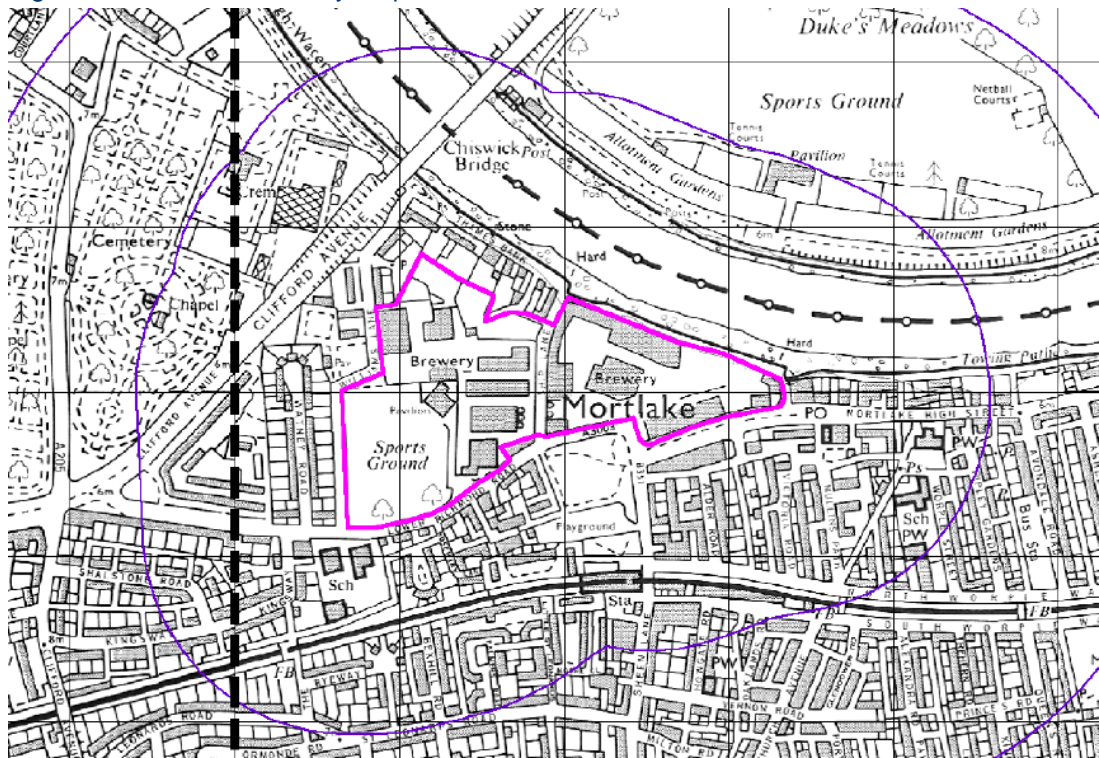
- 3.32. In the 1960s Watney's became Watney Mann Ltd, and the brewery maintained its local role as a key employer with 1,400 people on the payroll. A number of new buildings were added to the Site during this period including a new, modern, entrance building (now demolished), an architects and surveyor's office and a new boiler house (**Figure 17**).
- 3.33. In the 1970s the brewery had further additions as part of a masterplan undertaken by Douglas, Marriott, Worby and Robinson, which included new silos, a new general brewhouse, and a new fermentation block. The new buildings resulted in the demolition of the majority of the nineteenth century brewery infrastructure, as well as the 1937 tun block, leaving only the 1903 maltings block on the river and the 1869 bottling plant on the High Street. The alterations were complete by 1977, and the changes to the brewery complex are evident on the 1988 Ordnance Survey Map (**Figure 18**).
- 3.34. Apart from the construction of a large new bottling and packing building in the early 1990s, the Site has remained largely unchanged since the turn of the twenty first century. Brewing ceased at the Site in November 2015.

Figure 17: 1962 Aerial Photograph of the Site



Source: Janes

Figure 18: Ordnance Survey Map 1:1000, 1988



Source: Landmark Information



## 4. Site Analysis

- 4.1. A Site visit was undertaken on 25<sup>th</sup> August 2017. This provided an overview of the Site, the structures and heritage assets within it, and the contribution of the Site to the significance and setting of nearby heritage assets such as Listed Buildings, Conservation Areas and locally designated Buildings of Townscape Merit.

### Site Context

- 4.2. The Site occupies a roughly triangular shaped footprint north of Mortlake Green and Mortlake Railway station and to the west of Mortlake town centre. Ship Lane runs through the centre of the Site between the Jolly Gardeners and The Ship public houses. Abutting the south of the eastern side of the Site is Mortlake High Street, and to the south of the western side of the Site runs Lower Richmond Road. To the north of the eastern part of the Site runs the southern bank of the River Thames. Beyond The Ship to the west of the Site is Thames Bank, a river fronting road which comprises a number of Georgian and Victorian properties, some of which are Grade II listed. This runs west along the riverbank towards the Chiswick Bridge before turning south along Williams Lane. Williams Lane runs between Lower Richmond Road and Thames Bank, along the western boundary of the Site. To the east of the Site is the short section pedestrian route named Bulls Alleys which runs from the town to the river.
- 4.3. The bank of the River Thames, to the north of the east part of the Site, comprises an unsurfaced riverside path (towpath) with scrubby vegetation, with the exception of the section towards the north east corner of the Site, which has been built up historically to provide space for a tram system and loading bay for Thames barges – as seen in **Figure 7** in Section 3.

### Existing Buildings within the Site

- 4.4. As outlined in Section 3, the Stag Brewery underwent a large scale modernisation process in the later twentieth century, which included the final and considerable expansion of production westwards over Ship Lane. This also involved the wholesale demolition of the vast majority of the nineteenth century infrastructure that survived on the eastern part of the Site.
- 4.5. With the exception of three structures and some boundary walls, dating from between the later nineteenth century and early twentieth century, the western part of the Site mostly comprises large later twentieth century industrial structures, apart from to the south west, where there is an open playing field and cricket pitch. On the eastern side of the Site the buildings mostly comprise other large twentieth century structures related to packaging and transportation.
- 4.6. Structures identified as being of heritage interest within the Site are shown on **Figure B** in **Appendix A** and considered in more detail in Section 5.

### Modern Buildings / Structures

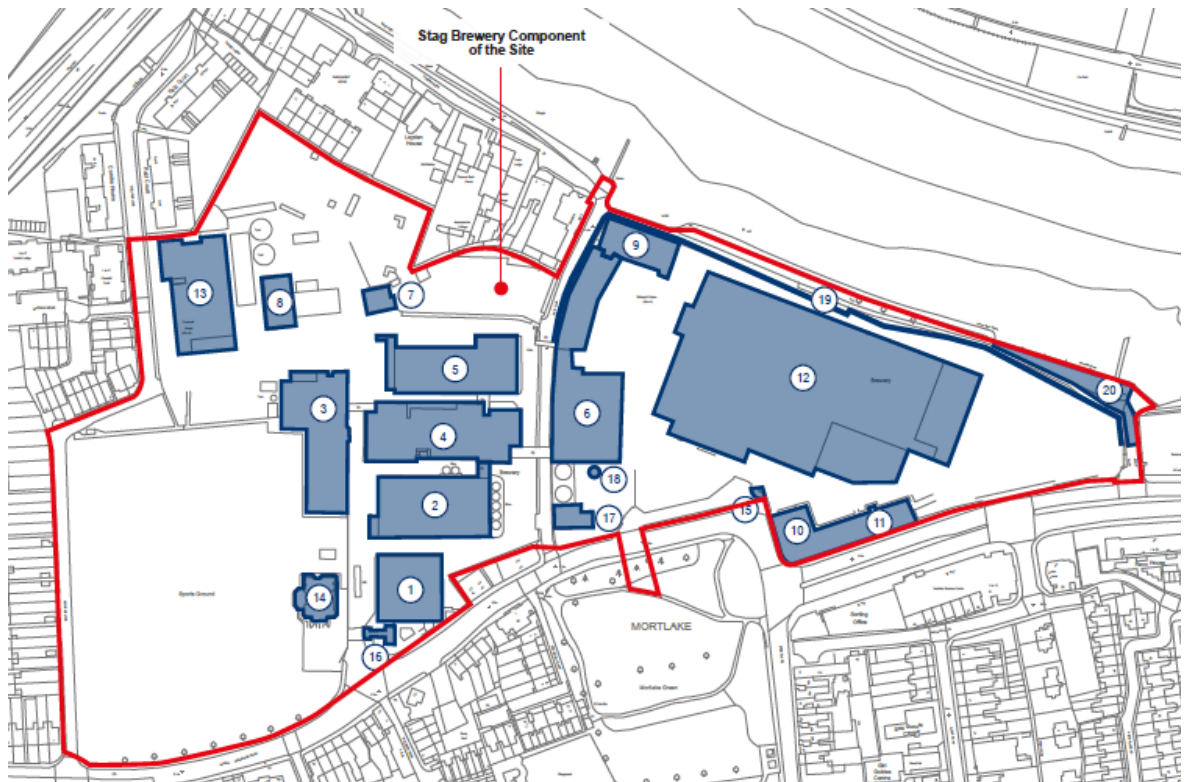
- 4.7. The modern structures within the Site are utilitarian in form and not considered significant from an architectural and historical point of view. An extract from an annotated site plan is below (**Figure 19**), which details their locations within the Site. The buildings include:
- **Offices (Building 1)** – located to the north east of the main brewery entrance. Rectangular in plan, three storeys, concrete and glass construction.
  - **Brewhouse (Building 2)** – large metal structure, originally containing brewing tanks and other machinery, currently in the process of being removed.
  - **Process Building (Building 3)** – located on the western side of the main entrance route,

adjacent to the cricket pitch. Large, metal clad with a first floor level bridge to the Chip Cellar to the east.

- **Chip Cellar (Building 4)** – large industrial structure, metal clad with large circular tanks on its north side, located on the east side of main entrance track.
- **Finishing Cellar (Building 5)** – large metal clad industrial building located just north of the Chip Cellar.
- **Power House (Building 6)** – located adjacent to east side of Ship Lane, a late twentieth century brick and metal clad structure with a central brick chimney stack and a separate, taller, concrete stack to the south.
- **Powder Store (Building 7)** – small modern corrugated metal structure with corrugated pitched roof, to north of Finishing Cellar.
- **Effluent Treatment (Building 8)** – located north of Brewhouse in the west part of the Site. Brick and metal cladding, with black concrete treatment facility to east, as well as the brick foundations of two now demolished treatment tanks to the north.
- **Packaging (Building 12)** – otherwise known as the bottling halls, this is a large brick and metal clad flat roofed structure, taking up the majority of the interior of the eastern part of the Site. This has a pastiche mock-nineteenth century façade in stock brick on its south side with Stag and Sunburst circular medallion inserted in above its main entrance.
- **Stable Court (Building 13)** – the Site’s former maintenance depot, a utilitarian block of brick with a pitched metal clad roof in the north west corner of the Site, with cleaning machinery for transport vehicles on its south side and a mechanics workshop on its western side.
- **Sports Club (Building 14)** – irregularly shaped building of red brick and concrete with metal windows on west side of main entrance, acting as offices and the sports pavilion.
- **East Gatehouse (Building 15)** – single storey twentieth century brick structure with sliding brewery gates behind, located east of Ship Lane.
- **West Gatehouse (Building 16)** – brick and concrete entrance structure with ‘Stag Brewery’ sign on roof, located west of Ship Lane.
- **CO2 Block (Building 17)** – Two storey building of brick, glass and metal clad construction, located adjacent to east side of Ship Lane.

4.8. These structures are not considered to be of heritage interest and therefore are not considered further in this assessment.

Figure 19: Existing Buildings on the Site



- |                           |                             |                                |                          |                     |
|---------------------------|-----------------------------|--------------------------------|--------------------------|---------------------|
| <b>1</b> P.O.B            | <b>5</b> Finishing Cellar   | <b>9</b> Maltings              | <b>13</b> Stable Court   | <b>17</b> CO2 Block |
| <b>2</b> Brewhouse        | <b>6</b> Power House        | <b>10</b> Former Hotel         | <b>14</b> Sports Club    |                     |
| <b>3</b> Process Building | <b>7</b> Powder Store       | <b>11</b> Former Bottling Hall | <b>15</b> East Gatehouse |                     |
| <b>4</b> Chip Cellar      | <b>8</b> Effluent Treatment | <b>12</b> Packaging            | <b>16</b> West Gatehouse |                     |

#### *Buildings of Heritage Interest*

- 4.9. As shown on **Figure B** in **Appendix A**, there are three buildings located within the Site which pre-date the twentieth century development of the brewery and which are identified as 'Buildings of Townscape Merit' (BTM). These are as follows:
- **Former Hotel Building** - Late nineteenth century building located at the junction of Mortlake High Street, Lower Richmond Road and Sheen Lane, formerly a public house and then a hotel.
  - **Former Bottling Building** – Mid-nineteenth century building located on the north side of Mortlake High Street, formerly the bottling plant for the brewery.
  - **Maltings Building** – Early twentieth century former Maltings building, located adjacent to the south west side of the River Thames.

#### *Other Structures of Heritage Interest*

- **Boundary Walls** – Sections of the brick boundary walls to the north, east and south of the brewery site.
  - **Railway Tracks, Granite Paving and River Moorings** – Historic structures located adjacent to the northern boundary wall, alongside the river.
  - **Memorials** – Memorial plaques within the southern boundary wall.
  - **Historic Gates** – Cast metal historic Watney's Brewery gates.
- 4.10. These non-designated heritage assets are considered in further detail in Section 5 and shown on **Figure B** in **Appendix A**.

## 5. Assessment of Significance

### Significance Criteria

- 5.1. The intrinsic significance unique to each heritage asset can be defined as the sum of tangible and intangible values which make it important to society. This may consider age, aesthetic and the fabric of an asset as well as intangible qualities such as associations with historic people or events.
- 5.2. To assess the heritage significance of the Site and the identified heritage assets, this report has drawn guidance from Historic England<sup>17</sup>, which recommends making assessments under the categories of: Evidential, Historical, Aesthetic and Communal Value. The assessment takes the Site as a whole, attributing a level for each category.
- 5.3. The significance of the Site and the identified heritage assets will be assessed using a number of significance ratings;
  - **Very High:** A feature, space or theme which is significant at international level. This includes heritage assets identified as having Outstanding Universal Value, such as World Heritage Sites;
  - **High:** A feature, space or theme which is significant at national level. These will tend to have a high cultural value and form an important element of a building or site. This includes Grade I and II\* Listed Buildings and Conservation Areas containing high grade or very important Listed Buildings / historic parks and gardens;
  - **Medium:** A feature, space or theme which is significant at a regional or national level. These will tend to have some cultural merit and form a significant aspect of the building or site. This includes Grade II Listed Buildings, Conservation Areas and other non-designated heritage assets shown to have important historical associations and qualities;
  - **Low:** A feature, space or theme which is of local or regional significance. This includes non-designated heritage assets such as Locally Listed Buildings and historic townscapes with limited historic integrity;
  - **Neutral:** A feature, space or theme which has no cultural significance but is also not considered intrusive to heritage value;
  - **Unknown:** A feature, space or theme with some hidden or inaccessible potential for heritage significance; and
  - **Intrusive:** A feature, space or theme which detracts from heritage value.

### Heritage Assets within the Site

#### The Former Hotel Building: Building of Townscape Merit

##### Description and Significance of Heritage Asset

- 5.4. The former Hotel building is a late nineteenth century, three-storey building constructed following the closure of Thames Street. The building is marked on late nineteenth century OS maps as a public house. It is located on the corner of Mortlake High Street and Lower Richmond Road, adjacent and connected to the former Bottling building that fronts the High Street. The former Hotel's frontage follows the curve of the bend in the road between the High Street and Lower Richmond Road (**Figures 20**). The north elevation of the building has a modern glazed lean-to

<sup>17</sup> English Heritage (2008); Conservation Principles, Policies and Guidance for the sustainable management of the historic environment, April 2008.

structure at ground floor level. Areas of the brickwork to this elevation have been rebuilt (**Figure 21**).

- 5.5. The building is constructed of London stock brick, with dentilled string courses and corncicing, and segmental arched windows. The surviving original windows are timber sashes of later nineteenth century form, with large single panes of glass or large central panes with two thin flanking panes. On the curved section of the road the windows follow the curved plan form of the building. Other windows, particularly on the ground floor, have been replaced with poor quality modern casements. The interior has been used as offices for some years. The building was also modified in the twentieth century, leaving little remaining internal features of interest, however, some original timber door surrounds, corncicing, skirting boards and panelling survive (**Figure 22**). There is also a heavy duty metal safe built by Edward Tann & Sons after 1912, following their move to No.117 Newgate Street<sup>18</sup>, which remains at first floor level. Attached to the former Hotel's north east side is a modern, twentieth century canteen building of no heritage interest.

Figure 20: External, bowed, elevation of Former Hotel, facing onto the roundabout.



<sup>18</sup> Man, P. (Unknown Date). Edward Tann & Sones - Iron Safe Makers - The Storey of Britain's First Safemaker. Retrieved from Safeman: <http://www.safeman.org.uk/edwtann.htm>



Figure 21: North facing elevation of Former Hotel



Figure 22: Surviving timber panelling to interior of Former Hotel



- 5.6. Overall, although the building has been modernised, it retains some features which contribute to its aesthetic value. This includes its characteristic curved façade, which has a townscape role in defining the street corner and historically would have formed a prominent entrance into the brewery

site. Internally there is also some timber panelling, skirting and coricing that survive. As part of the nineteenth century development of the Site, the building provides evidence of the history and former use of the Site, which contributes to its evidential and historic value. This is amplified by its group value with the other surviving historic structures on the Site. It also provides a tangible link to the former brewery and is likely to feature in local memory, which contributes to its communal value. The building is therefore considered to be of **Low** heritage significance.

## The Former Bottling Building: Building of Townscape Merit

### Description and Significance of Heritage Asset

- 5.7. The former Bottling building abuts the southern boundary of the eastern part of the Site, and was formerly a bottling plant. The Mortlake Village Planning Guidance identifies that the building is of local historic and architectural importance mainly due to its façade.<sup>19</sup> The façade of the building, which addresses the north side of Mortlake High Street, is constructed of London stock brick. This is three-storeys in height with lower ground floor, first floor and taller second floor. The principal elevation terminates at a parapet of varying heights and contains two decorative roundels / medallions and the large carved “Mortlake Brewery 1869” sign between them – suggesting that the building was built by this date. The parapet is capped symmetrically by carved stone coricing / coping (**Figure 23**).
- 5.8. The basement level has small window openings (now boarded up) with segmental brick arches, the first floor has larger, six pane wooden casement windows with segmental brick arches – with the exception of one bay where a formerly larger opening has been blocked and replaced with a pointed arched window. The first floor is taller than the lower two, and contains ten blind arcades with small, high windows set within them. Above the pointed arch window of the first floor is a similar blocked opening with pointed brick arch. At either end of the second floor is a larger rectangular opening (the eastern one now blocked up) which contain timber doors, and were probably used for loading or unloading from that floor of the plant.

Figure 23: Southern elevation of former Bottling building.



- 5.9. The Site facing elevations exhibit considerable evidence of the changes which have taken place in their surroundings. The eastern elevation was partially rebuilt in the twentieth century, and is also scarred by the remains of an earlier structure, the roof line of which is clearly visible on the exterior of the surviving range. There is a modern portakabin, of no interest, attached to its eastern end. Its

<sup>19</sup> London Borough of Richmond upon Thames (2015); Mortlake Village Planning Guidance SPD, December 2015.

northern elevation, facing into the Site, is painted a dark red colour and contains multiple blocked openings relating to now demolished structures (**Figure 24**).

Figure 24: Northern, internal elevation of the former Bottling building



- 5.10. It was only possible to access the lower ground and first floors of the building during the Site visit, the upper levels having been boarded up some time ago. The interior of the eastern end of the lower ground floor, currently used as a workshop and spare parts stores, contains no fixtures and fittings relating to its brewing or bottling use, but does exhibit the cast iron columns and characteristic brick arches of its nineteenth – early twentieth pre-concrete industrial building construction, which are of architectural interest (**Figure 25**). Whilst the first floor has seen some modern partitions added, the same is the case on this floor (**Figure 26**). The western part of the lower ground floor contains the former staff bar, the interior of which has been redecorated and reconstructed using modern brick that approximates the colour and texture of stock brick, and wooden panelling (**Figure 27**).



Figure 25: Interior of sub-ground floor of former Bottling building, illustrating brick arches and cast iron columns



5.11. In summary, the building retains characteristic features that contribute to its evidential and aesthetic value, including the cast iron columns and internal brick arches, which are indicative of its industrial history. The principal façade of the building, with its decorative roundels and carved “Mortlake Brewery 1869” make a strong contribution to the streetscape along Mortlake High Street and also contributes to the buildings aesthetic value. There is no particular architect identified for the building, however, it is of evidential value as it is illustrative of the former use of the Site. Its group value with the other surviving historic brewery structures on the Site also contributes to its historic and evidential value. Due to its prominent façade along Mortlake High Street, the building may feature in the collective memory of generations of local inhabitants, which contributes to its communal value. Overall, the building is considered to be of **Low** heritage significance.

Figure 26: Interior of first floor of former Bottling building, illustrating brick arches and cast iron columns



Figure 27: Interior of staff bar on lower ground floor



## The Maltings Building: Building of Townscape Merit

### Description and Significance of Heritage Asset

- 5.12. The Maltings building is located in the north west corner of the east part of the Site (east of Ship Lane). This is the most recognisable and prominent of the historic structures within the Site, as well as in views from the other side of the River Thames and from along Chiswick Bridge. Although the existing building represents only part of the original Maltings structure, the Stag Brewery Planning Brief SPD outlines that:

*“Whilst it is recognised that the building survives only in a truncated form, it is an important local landmark (identified in the Council’s list of Building’s of Townscape Merit)”<sup>20</sup>*

- 5.13. The building is between eight and nine storeys in height, the two eastern bays being part of the slightly taller tower block, and the remainder being the malting floors. The principal construction material is London stock brick, with red and blue engineering brick detailing. The building has dentilled cornicing and strings, in common with other historic structures on the Site. The northern elevation comprises ten bays, each containing a single window or, at the eastern end, a blocked access. Between the bays are projecting pilasters, within which are cast iron tie-rod pattress plates that support the iron frame of the interior structure. The eastern two bays extend an extra storey up to a split pediment roof structure, each half of the tympanum containing two red brick oculi. The elevation clearly exhibits the low floor to ceiling heights that existed within the building historically (**Figure 28**).

Figure 28: North facing elevation of Maltings.



<sup>20</sup> London Borough of Richmond upon Thames (2011); Supplementary Planning Document Stag Brewery, Mortlake SW14 Planning Brief, July 2011.



- 5.14. The south elevation, facing into the Site, is similar to the northern elevation, except for two projecting elements that protrude from the second and tenth bays. There is also considerably more evidence of change to this elevation, with obvious reconstruction having taken place at ground floor level. All the windows, like the north elevation, have been blocked (**Figure 29**).

Figure 29: South facing elevation of Maltings.



- 5.15. The western elevation, facing onto Ship Lane, replicates the architectural composition of the northern elevation in terms of detailing. It comprises four bays, split at roof level into two split, shouldered pediments, reflecting the double pitched roof which covers the malting floor part of the building. This elevation is also prominent and recognisable in longer distance views from Chiswick Bridge (**Figure 30**).
- 5.16. The surviving structure represents only part of the building originally constructed in 1902-3, and the evidence of the now demolished kilns and malting bins that were located on the eastern side of the surviving structure is shown on the lower half of the east elevation, where it has been rebuilt using common brick. This elevation is also much plainer architecturally, and has had windows inserted since the demolition of the kilns and malting bins (**Figure 31**).

Figure 30: West facing elevation, as seen from Chiswick Bridge



- 5.17. The maltings floors to the interior of the building are no longer extant, however, some of the internal structure remains. This surviving fabric comprises the original cast iron columns that would have formerly supported the floors, between which span iron I-beams. Due to the removal of the floor plates, this interior structure is presently supported by scaffolding (**Figure 32**). The roof structure is visible internally and appears to consist of a mixture of historic and modern replacement timber joists and beams. To the south east corner of the building an original staircase is retained, constructed of cantilevered concrete treads with metal handrails (**Figure 33**).
- 5.18. Externally, the building retains its historic character and industrial appearance and features that contribute to its evidential and aesthetic values, including its windows, which are illustrative of the shallow floor to ceiling heights that existed historically, and the cast iron pattress plates, which are a characteristic feature of the building. Although the maltings floors have been removed, the internal structure that survives enables an understanding of the former layout of the Maltings building. The building is not attributed to a particular architect, however, it derives historic value from its association with the long history of brewing on the Site and connection to well-known brewing companies. As a prominent landmark building within the local townscape, it is also of communal value for its contribution to local distinctiveness and as it is synonymous with the Oxford and Cambridge Boat Races. The Maltings building is therefore considered to be of **Medium** heritage significance.



Figure 31: East facing elevation of Maltings



Figure 32: Interior of Maltings building, showing cast iron columns and iron I-beams

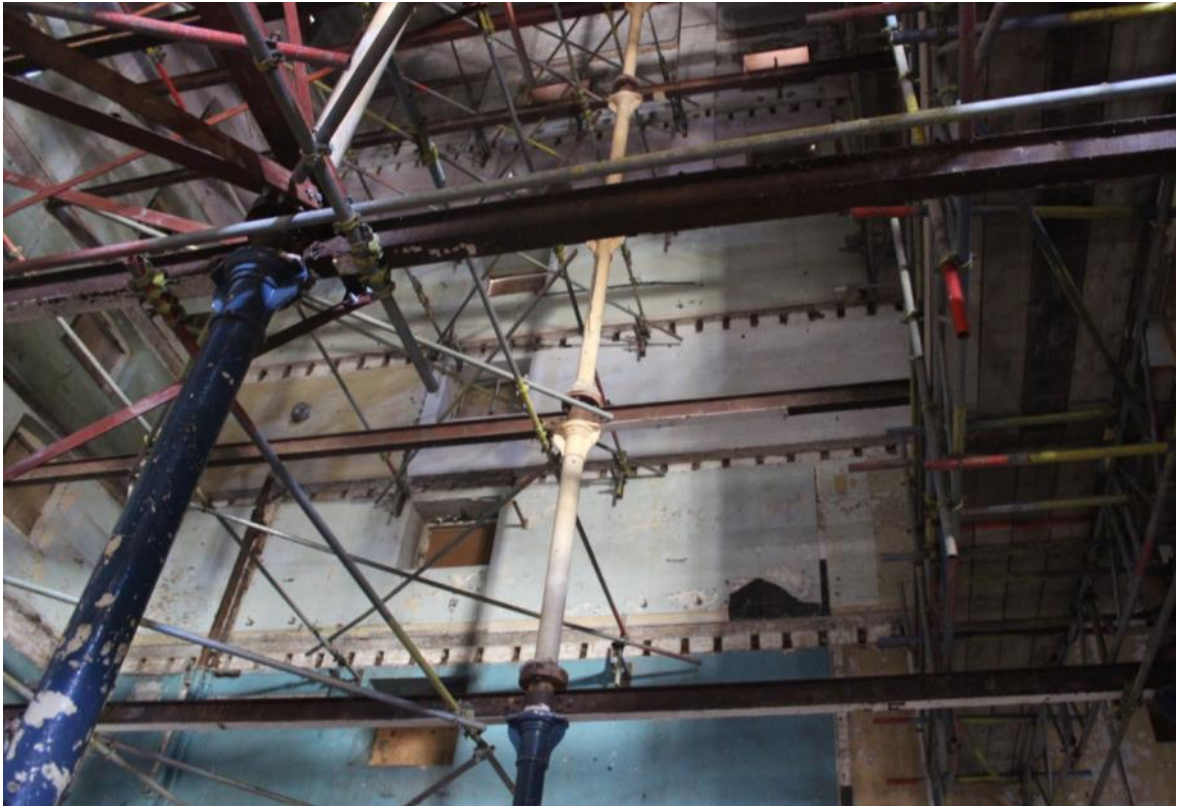


Figure 33: Staircase to interior of Maltings building





## Boundary Walls

### Description and Significance of Heritage Asset

- 5.19. Sections of the boundary wall of the eastern part of the Site are, in some places, the remaining elevations of earlier buildings which have now been demolished. These are not uniform, and represent a number of phases of development on the Site. Two annotated panorama images of the boundary walls can be found in Appendix A, with numbered sections of wall (**Figures C & D**). The wall Sections noted on **Figures C** and **D** can be cross referenced to the text below.

### Northern Boundary (refer to Figure C, Appendix A)

- 5.20. Section 1 of the north boundary abuts the Maltings to the east, and is constructed using reclaimed London stock brick with engineering brick and concrete detailing and coping. It is surmounted by an internally fixed advertisement for Budweiser beer which faces the Thames. This is a late twentieth century wall, and of no historic interest (**Figure 34**).

Figure 34: Section 1 - Late twentieth century wall.



- 5.21. Section 2 of the north boundary wall is ten bays in length, constructed using historic London stock brick, with modern concrete coping, but originally dating from the mid nineteenth century. It comprises two storeys, with blocked window openings with red brick arches and sloping concrete sills (**Figure 35**). It represents the surviving section of a nineteenth century element of the brewery, and is therefore of some historic interest and architectural character.



Figure 35: Section 2 - Mid nineteenth century wall



- 5.22. Section 3 is a separate section of twentieth century brick wall, again constructed using London stock brick with red brick and concrete detailing, including soldier course lintels over the now blocked window openings (**Figure 36**). This wall represents the lower section of the now demolished 1937 Tun Block (**Figure 13**).

Figure 2: Section 3 - Wall of 1937 Tun Block





5.23. Section 4, east of the 1937 Tun Block, likely dates from the mid nineteenth century. Whilst conforming to the general pattern of London stock brick and red and blue engineering bricks used for detailing, this section of wall is of more interest architecturally than the sections further west due to the greater use of elaborate and high quality brickwork, rounded blue engineering window returns, and embossed panels above now blocked windows (**Figure 37**).

Figure 37: Part of the wall in Section 4.



5.24. Section 5 is a short section of the boundary that also contains the surviving north east gate pillar of the nineteenth century brewery. This is constructed of London stock brick, and has been reinforced using reclaimed bricks of various types at some point in the late twentieth century (**Figures 38-39**).

Figure 38: Section 5 - including gate pier



Figure 39: Interior elevation, showing gate pier and surviving hinge socket





- 5.25. Sections 6-7 of the wall are late twentieth century and nineteenth century in date respectively, the former having been constructed when the northern boundary gateway was sealed. These were designed to emulate the earlier wall, except without additional red brick detailing and with simpler blind window opening returns (**Figure 40**). Both these sections have been reinforced, like Section 5, in the later twentieth century, probably against flooding.

Figure 40: Sections 6 and 7 of the northern wall



- 5.26. The interior elevations of all the Sections of the northern boundary are painted and reinforced using metal posts and concrete buttresses (**Figure 41**).

Figure 41: Interior elevation of north boundary wall





### Eastern Boundary

- 5.27. The boundary wall on the eastern side of the Site comprises two sections of wall that run along Bulls Alley between Mortlake High Street and the bank of the Thames. These were constructed using London stock brick and comprehensively rebuilt during the twentieth century, including the incorporation of a flood defence wall and pedestrian steps in the alley itself. At its southern end is the gate pier for the south eastern entrance gateway into the Site (**Figure 42**).

Figure 42: View looking south along Bulls Alley



### Southern Boundary (refer to Figure D, Appendix A)

- 5.28. This boundary (**Figures 43-44**) comprises two sections. Section 1, which adjoins the former Bottling building, is a historic wall that likely dates from the mid-nineteenth century. This was constructed using London stock brick, although has areas of repair and repointing. This section is six bays in length, with each bay demarcated by recessed blocked window openings on two storeys, which at some point previously would have served as windows to a building behind. This section of the wall is therefore of some historic interest.
- 5.29. Section 2, at the easternmost end, comprises a section of older, probably nineteenth century, wall that has been rebuilt in the twentieth century to varying heights. It steps down at the eastern end to meet the gate piers of the southeast entrance gateway to the Site. The interior of the boundary wall is, like the north facing boundary, painted in deep red paint, and structurally reinforced using steel supports and concrete/brick buttresses.
- 5.30. The remainder of the southern boundary wall is modern and therefore of no historic interest.

Figure 43: External elevation of south boundary wall with section 1 (left end) and section 2 (right end)



Figure 44: Internal elevation of south boundary wall.



- 5.31. Overall, the boundary walls provide evidence of historic structures that previously existed on the Site, with blind windows indicating the former locations of these buildings. This contributes to their evidential value. The boundaries are representative of the industrial history of the Site and are likely to feature in the collective memory of local inhabitants and former employees, which contributes to their historic and communal values. They are also of some aesthetic value, particularly Section 4 of the northern boundary wall, which displays more elaborate detailing. The majority of the boundary walls are considered to be of **Low** heritage significance. Certain sections of the boundary walls are however assessed as being of **Neutral** heritage significance. These include Section 1 and Section 6 of the Northern Boundary Walls, as they are late twentieth century walls and the Eastern Boundary Wall, which has been significantly rebuilt in the twentieth century.

## Railway Tracks, Granite Paving and River Moorings

### Significance of Heritage Assets

- 5.32. Directly to the north of the northern brick boundary wall of the Site and adjacent to the frontage of the River Thames, are sections of surviving historic railway tracks, granite paving setts and timber river moorings associated with the Site (**Figures 45-47**). The surviving sections of railway track would have historically been linked to networks within the Site, to allow for goods to be transferred to the riverside and loaded onto boats for delivery.
- 5.33. The railway tracks, granite paving and river moorings are therefore of significance as surviving historic elements associated with the Site, which are illustrative of the industrial history of the Site and the wider area. Although these elements survive only in part, together they allow an enhanced understanding of the former interrelated historic functions and link between the former Stag Brewery and the River Thames. They are therefore of historic value and of some evidential value reinforcing the understanding of the link between the Site and the Thames. They are not considered to be of particular aesthetic or communal value. Overall, the railway tracks, granite paving and river moorings are of **Low** heritage significance.



Figure 45: Surviving sections of railway track



Figure 46: Granite paving setts





Figure 47: Timber river moorings along the riverside



## Memorials

### Description and Significance of Heritage Asset

- 5.34. Inserted into the modern southern boundary wall of the Site are two memorial plaques (refer to **Figures 48-49**). The larger of the two is a War Memorial commemorating members of staff from the original Watney's Stag Brewery in Victoria who died between 1914-18, and 1939-45. The second commemorates the death of two engineers from the brewery who died attempting to rescue another during a fire in 1975. Both are engraved stone, embellished with gold in places. As the plaques form part of the modern section of boundary wall they are not situated in their original context.

Figure 48: Original Stag Brewery War Memorial. Figure 49: Memorial to Terry Ainsworth and Bob Sharp, Mortlake Engineers



- 5.35. Although the memorials are not sited in their historic context, they are of evidential and historic value as they provide an understanding and commemoration of past events. The memorials are not considered to be of any particular aesthetic value but are likely to feature in local memory and therefore be of some communal value. The memorials are therefore considered to be of **Low** heritage significance.

## Historic Gates

### Description and Significance of Heritage Asset

- 5.36. Two sets of cast metal historic Watney's Brewery gates are currently located within the Site. One set is stored against the southern boundary wall abutting the cricket pitch, and the other is currently installed in the wall facing William's Lane, on the western side of the Site (**Figures 50-51**). These gates have been removed from their original locations on Lower Richmond Road<sup>21</sup> in order to widen the access into the Site and therefore have lost their historic context, however, they are of some historic interest as part of the historic fabric of the Site.

Figure 50: Gates Installed in West Site Boundary Figure 51: Second set of gates stored on Site Wall



- 5.37. The historic gates are surviving elements of the historic brewery site and therefore are of historic and evidential value in illustrating the former use of the Site, although this value is limited due to their removal from their historic context. They are also of some limited aesthetic value and, as they were formerly located at the main entrance to the brewery site on Lower Richmond Road, the gates are likely to feature in the collective memory of local inhabitants, which contributes to their communal value. They are considered to be of **Low** heritage significance.

<sup>21</sup> Donald Insall Associates Ltd., September 2009, Stag Brewery, Lower Richmond Road, Mortlake, SW14 - Historic Buildings Report: Third Draft



## Statement of Significance for Site

### Evidential Value: Low

*“Evidential value derives from the potential of a place to yield evidence about past human activity.”<sup>22</sup>*

- 5.38. The evidential value of the Site, in built heritage terms, is considered overall to be Low. The potential for the Site to yield material of below ground archaeological interest is considered in a separate report.
- 5.39. Whilst some elements of the nineteenth and early twentieth century brewery complex remain, including some whole buildings as well as boundary walls, in terms of its historic integrity the complex is severely truncated due to the 1970s and later redevelopment of the Site. The historic buildings on the Site retain few interior fixtures and fittings, which provide detailed evidence of past activities that took place within them, and the historic boundary walls are largely compromised, contributing very little to the Site’s overall evidential value.
- 5.40. The Site as a whole does provide evidence of the development of the settlement of Mortlake and of the business activity of the brewery that has driven the local economy for many decades, if not hundreds of years, but this evidence is general in scope rather than relating to any one specific element of the Site. The architectural form of the surviving historic buildings is one of the key elements of evidential value in that it provides – for instance in the case of the Maltings – clues about the purposes of interior spaces. The surviving historic brewery gates are also of a low level of evidential value but the removal from their original context has detracted from our understanding of their former use.
- 5.41. The modern industrial buildings within the Site are not considered to be of any evidential value.

### Historic Value: Medium

*“Historic value derives from the ways in which past people, events and aspects of life can be connected through a place to the present.”<sup>23</sup>*

- 5.42. The historic value of the Site is considered to be Medium. There is evidence of brewing on the Site since at least the mid-sixteenth century, and possibly earlier during the late fifteenth century. This activity had connections to local individuals such as the two Phillips’, and less directly to Thomas Cromwell. The brewery also had significant connections to national brewing companies, such as Watney’s, and has contributed to the economy and growth of Mortlake as a settlement since at least the nineteenth century. It has also long been associated with the finish line of the Cambridge and Oxford University’s annual Boat Race.
- 5.43. In addition, the Watney’s War Memorial and Ainsworth and Sharp Memorial also refer to historic events of local value.

### Aesthetic Value: Medium / Low

*“Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place.”<sup>24</sup>*

<sup>22</sup> Historic England, April 2008. Conservation Principles, Policies and Guidance for the sustainable management of the historic environment

<sup>23</sup> Ibid

<sup>24</sup> Ibid

- 5.44. The Site is considered to be of Medium / Low aesthetic value with particular reference to the earlier existing buildings within the Site. Their traditional architectural style and detailing contributes to a sense of place in the near vicinity of the buildings and links the buildings aesthetically to the London region. This is particularly the case on the southern part of the east side of the Site with the historic façade of the former bottling plant, with its decorative medallions and inscribed Mortlake Brewery sign. The 1903 Maltings building on the Thames presents a very discernible historic industrial aesthetic. Its height and verticality make it a prominent landmark building in views up and down and across the River Thames in this location in which it makes a positive contribution to the riverscape. Some modern alterations to the earlier buildings, as well as modern structures in the Site, are intrusive to aesthetic value.

### Communal Value: Medium

*“Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory”<sup>25</sup>*

- 5.45. Due to the longevity of its history, the Site represents a continuity of use throughout many generations of local inhabitants. It is therefore probable that it features strongly in local memory and association, especially with those who may have been employed there. The distinctive architecture and aesthetic of the older surviving sections of the brewery make a tangible contribution to that memory. In addition, its connection with the historic and well known brewing firm of Watney’s, with its familiar ‘Red Barrel’ ale brewed on the Site and advertised throughout a large portion of the twentieth century, also contributes to its communal value, as the Site will have been associated with this brand, again, across a number of generations. It will also feature in the collective folk memory of those who participate and spectate at the internationally known Oxford and Cambridge Boat Races. Overall its communal value is considered to be Medium.

### Summary of Significance

- 5.46. Overall, the heritage significance of the Site is derived from its historic value as a site where brewing has been undertaken for hundreds of years and its connection to well-known brands such as Watney’s and, more recently, Budweiser – as well as more indirect links to local businessmen and possibly also Thomas Cromwell. These aspects also contribute to its communal value due to the Site making a strong contribution to local distinctiveness.
- 5.47. The Site has a low level of evidential value that contributes to its significance, related to the historic buildings and the technical production of beer and ale. The Site also contributes to an understanding of the physical and economic development of the settlement of Mortlake. The Site’s aesthetic value also contributes to its significance, and also to that of the Mortlake / Mortlake Green Conservation Areas, by virtue of its boundary walls, the curved façade of the former Hotel building facing Mortlake Green and the presence of the historic river facing structures in longer distance views up and down the River Thames. This aspect is, however, negated in some respects by the domineering appearance of the more recently large scale industrial structures within the Site, particularly in views from within the Conservation Areas, and from outside the Site in views across the River Thames. The group value of the surviving historic structures on the Site is also important when considering the Site holistically.

<sup>25</sup> Ibid

## Significance of Buildings and Structures within the Site

- 5.48. The buildings and structures within the Site are ascribed significance ratings in Table 2. This is based on the assessment carried out in this Section and Section 3, and the criteria identified in Paragraph 5.3.

Table 1 - Significance of Buildings within Site

Building Name	Significance
Former Hotel Building	Low
Former Bottling Building	Low
Maltings Building	Medium
Northern Boundary Walls	Section 1: Neutral Section 2: Low Section 3: Low Section 4: Low Section 5: Low Section 6: Neutral Section 7: Low
Eastern Boundary Wall	Neutral
Southern Boundary Wall	Low
Railway Tracks, Granite Paving and River Moorings	Low
Memorials	Low
Historic Gates	Low

## Other Heritage Assets Potentially Affected

- 5.49. Given the size of the Site, and its prominent location on the bank of the River Thames, there are a number of designated and non-designated heritage assets located within its environs, the significance of which could potentially be affected by the redevelopment of the Site (refer to **Figure B** in **Appendix A**). As such, an assessment of the significance of these heritage assets, including the contribution of setting, and the Site as an element of setting, is provided below. For the purposes of this assessment the assets are considered as a group where appropriate.

Thames Cottage, Tudor Lodge, Thames Bank House, Leyden House, Riverside House and Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court (Grade II Listed Buildings) and The Old Stables, 1-14 Parliament Mews, 6 and 7 Thames Bank and The Ship Public House (Buildings of Townscape Merit)

#### Significance of Heritage Assets

- 5.50. This group of listed and locally Listed Buildings forms an attractive and harmonious group of eighteenth and nineteenth century Georgian properties (excluding 1-14 Parliament Mews), which have a townscape role in addressing the south side of the River Thames (**Figures 52-57**). Their architectural interest is principally derived from their street frontages and their commonality of materials, character, age, scale and architectural detailing. The properties are constructed of brick, with the majority rendered or cement faced, and are largely of symmetrical compositions with sash windows.
- 5.51. As surviving elements of the eighteenth and nineteenth century development of Mortlake, the heritage assets are representative of the historic development of the area from this period. The Listed Buildings are also illustrative of the architectural style applied to domestic buildings and public houses during this period and are indicative of the social history of the area and the domestic aspirations of their occupants. Their shared historic development and the associated uses of the domestic properties contribute to their heritage value. The heritage assets form a distinctive group along the bank of the River Thames, which amplifies their heritage interest.

Figure 52: Eighteenth Century Thames Cottage





Figure 53: Eighteenth Century Tudor Lodge, Thames Bank House and Leyden House



Figure 54: Nineteenth Century 6 and 7 Thames Bank





Figure 55: Eighteenth Century 'The Ship' Public House with Maltings building beyond



Figure 56: 6 and 7 Thames Bank and corner of Riverside House



Figure 57: 1-14 Parliament Mews



Figure 58: Garden Wall to east of Number 1-8 Riverside House





- 5.52. The garden wall adjacent to Riverside House and Reid Court (**Figure 58**) is an early 18<sup>th</sup> century structure constructed of red brick. It originally formed the boundary wall to Riverside House, which ran between Riverside House and Cromwell House. Its significance is primarily drawn from its group value and associations with Riverside House, and their shared character and materiality, which are representative of local building techniques, as well as its links to Cromwell House.
- 5.53. 1-14 Parliament Mews is a modern group of apartments built in 1992, designed in a Neo-Georgian style. It is therefore assumed that their value is derived from their high quality aesthetic and what they contribute to the heritage asset group as a whole, particularly in views across the river.
- 5.54. Overall, these heritage assets are considered to be of **Low to Medium** heritage significance.

#### Contribution of Setting and the Site to Significance

- 5.55. The wider setting of the heritage assets broadly comprises the open green spaces of Dukes Meadows to the north east, and Mortlake Crematorium and Fulham Cemetery to the west, to the opposite side of Clifford Avenue. To the south is the dense urban townscape of Mortlake, which incorporates Mortlake Green Conservation Area and part of Mortlake Conservation Area, of which the heritage assets form a part. The townscape to the south is predominantly characterised by residential buildings dating from the eighteenth century onwards, with pockets of later, more modern development. The surviving earlier eighteenth century elements of the townscape that survive therefore make a positive contribution to the significance of the heritage asset group by virtue of their shared historic development.
- 5.56. As the heritage assets are situated on the south bank of the River Thames, the river dominates the immediate setting and experience of the assets to their north east. It forms an attractive element of setting and part of the historic context of the heritage assets, and therefore contributes positively to their significance. The river frontage provides panoramic views along the river, both towards and away from the heritage asset group, including views towards the Grade II listed Chiswick Bridge immediately to the north west of the assets. Chiswick Bridge is an attractive and high quality structure, which therefore makes a positive contribution to the significance of the heritage assets as part of their immediate setting.
- 5.57. The Site forms part of the immediate setting of the heritage assets to their south and east, with the northern boundary of the Site abutting the southern boundaries of the assets, and the locally listed 'The Ship' public house directly adjacent to the Maltings building on the opposite side of Ship Lane. The existing historic buildings and structures within the Site, which comprise the former Hotel building, the former Bottling building, the Maltings and the historic boundary walls, contribute positively to the significance of the heritage assets as attractive elements of the historic brewery site, particularly the Maltings, which is prominent in views of the heritage asset group from Chiswick Bridge and across the River Thames. This contribution is lessened, however, by the presence of the large scale, industrial twentieth century brewery structures on the Site, which are visible above the heritage asset group and dominate in views of the assets along and across the river (**Figure 59**). These twentieth century buildings detract from the appreciation of the heritage assets in general views up and down the Thames and limit the positive contribution of the historic landmark structure of the Maltings in terms of the Site's overall contribution to the significance of the heritage asset group.

Figure 59: View from the north east end of Chiswick Bridge towards the heritage asset group



- 5.58. The listed early eighteenth century wall adjacent to Riverside House is largely enclosed by the later blocks of flats of Reid Court on Williams Lane, leaving its setting as very tightly confined around the structure itself, with little contribution to its significance made by the Site.

### Gateway, formerly to Cromwell House (Grade II Listed Building)

#### Significance of Heritage Asset

- 5.59. The listed gateway is constructed of yellow bath stone piers, which date from circa 1700, and early to mid-eighteenth century wrought iron gates. The piers have rusticated masonry and are topped with Portland stone caps with ball finials, of a later date than the piers (**Figure60**). The heritage asset was formerly located to the frontage of the site of Cromwell House, originally the Thames-side manor house of Mortlake, but was relocated in the 1960s when the Site was redeveloped.
- 5.60. The high quality materials of the listed gateway are representative of the importance of the former manor house and the high status, wealth and aspirations of the former landowner and contribute to its architectural interest. Although the gateway is no longer in its original context, it remains illustrative of its historic use and provides a tangible link to the former manor house.
- 5.61. The listed gateway is considered to be of **Medium** heritage significance.

#### Contribution of Setting and the Site to Significance

- 5.62. The wider setting of the Grade II listed gateway is consistent with that of the heritage asset group assessed above, and therefore a description is not repeated here.

- 5.63. Due to the relocation of the heritage asset subsequent to the demolition of Cromwell House, it is now largely devoid of any elements of its historic setting. The gateway is situated on the north side of the bend in Williams Lane, directly to the north west of Watney's Sports Ground, which forms part of the Site. This forms an attractive green element of setting, which enhances the appreciation of the heritage asset. The sports ground has historically consisted of open space and was formerly a cricket ground, as evidenced by historic OS maps. It therefore makes a positive contribution to the significance of the listed gateway. This contribution is compromised, however, by the view of the large modern brewery structures within the Site (**Figure60**).
- 5.64. To the west, the heritage asset is bordered by early to mid-twentieth century housing and directly to the north and east is enclosed by modern flats. These elements of setting are not considered to contribute to the significance of the listed gateway and highlight the detachment of the asset from its historic context.
- 5.65. The Site is located immediately adjacent to the south east and east of the listed gateway. As noted, the sports ground within the Site is considered to make a positive contribution to the significance of the asset, although this is lessened by the view of the modern buildings. The north west portion of the Site shares a historical link with the listed gateway, being built on part of the former site of Cromwell House. However, it is considered that overall, the Site does not contribute to the particular significance of the heritage asset.

Figure 60: Gates to Cromwell House within their setting



## Chiswick Bridge and Attached Balustrades (Grade II Listed Building)

### Significance of Heritage Asset

- 5.66. The Grade II listed Chiswick Bridge is a reinforced concrete arch bridge over the River Thames, which was constructed in 1930-33 (**Figure61**). The bridge was designed by engineer Alfred Dryland and architect Herbert Baker and has a distinctly Georgian character. It is clad in Portland stone and has three spans, with a polygonal viewing platform to each side. The centre span of the bridge is the longest concrete arch of any bridge spanning the Thames.



Figure 61: Chiswick Bridge



- 5.67. The heritage asset is a prominent feature within the local townscape, particularly in views along the Thames. The listed structure is representative of the early twentieth century development of Mortlake and was constructed as part of a scheme to relieve traffic congestion to the west of London. It is therefore indicative of the economic history of the area and the development of transport infrastructure during this period. Chiswick Bridge is synonymous with the Oxford and Cambridge boat race, being located close to the finish line, and therefore has some communal value.
- 5.68. Chiswick Bridge is considered to be of **Medium** heritage significance.

#### Contribution of Setting and the Site to Significance

- 5.69. Chiswick Bridge carries the A316 (Clifford Avenue) over the River Thames, between Mortlake on the south bank and Chiswick on the north bank. It is therefore experienced in kinetic views as a result of both vehicular and pedestrian traffic crossing the bridge, as well as in wider views along the Thames. To the north of the heritage asset is a sports ground associated with Quintin Boat Club and to the west and east are Mortlake Crematorium and Duke's Meadows respectively, which are each bordered by trees and vegetation along their Thames-side boundaries. These areas provide attractive green elements of setting which complement the appreciation of the listed structure and therefore contribute positively to its significance.
- 5.70. The River Thames forms the principal aspect of the setting of Chiswick Bridge and contributes positively to its significance due to its associative relationship. From the listed bridge are long distance views along the Thames in both directions, with the viewing platforms providing optimum vantage points. To the north west, the views primarily comprise the riverside trees and vegetation, with interspersed buildings and high rise towers against the skyline in the distance. To the south east, the views incorporate the row of listed and locally listed buildings along the south bank, which

contribute positively to the significance of the heritage asset as attractive high quality buildings that form part of the assets historic context.

- 5.71. The Site is prominent in views from Chiswick Bridge, with the distinctive Maltings building forming one of the key elements of the experience of the listed bridge and therefore contributing positively to its significance. As identified previously however, the modern brewery structures that dominate views from the bridge diminish this contribution. The Site is indicative of the industrial heritage of the area and its riverside location is illustrative of the former links between the River Thames and the Site. The Site as a whole is therefore considered to make a positive contribution to the significance of Chiswick Bridge, albeit that this contribution is limited due to the lack of surviving historic buildings / structures on the Site.

## Mortlake Conservation Area

### Significance of Heritage Asset

- 5.72. Mortlake Conservation Area was designated in September 1982 and comprises an area incorporating the historic core of Mortlake, focussed around St. Mary's Church, as well as a stretch along the frontage of the River Thames.
- 5.73. St. Mary's and its surrounding paths and graveyard mark the heart of the original village. Along the High Street to the north of the church, as well as to the south west of the church on Alder Road and Fitzgerald Road, the Conservation Area retains a number of eighteenth century houses and brick terraced cottages. These retain original architectural details, such as bay windows and decorative metalwork, which contribute to the character and appearance of the Conservation Area.
- 5.74. The section of the Conservation Area along the north side of the High Street and on Thames Bank, fronting onto the River Thames, incorporates a fine group of mostly eighteenth century buildings. The later nineteenth and twentieth century development along the river frontage is also sympathetic to the style and scale of the earlier buildings. This section of the Conservation Area, particularly from White Hart Lane to Ship Lane, is of interest in reflecting the industrial history of this part of the Thames. There are also a substantial amount of trees that survive, which contribute to the cohesive character of this area.
- 5.75. The Conservation Area includes part of the Site, incorporating the northern boundary wall, Maltings building, former hotel and former Bottling building within its boundary. The Stag Brewery Planning Brief SPD<sup>26</sup> identifies that all three buildings and the section of boundary wall contribute, in varying degrees, to the significance of the Conservation Area.
- 5.76. Mortlake Conservation Area is considered to be of **Medium** heritage significance.

### Contribution of Setting and the Site to Significance

- 5.77. The setting of the Conservation Area comprises the River Thames to the north, and the varied urban townscape of Mortlake to the east and south. The River Thames forms a fundamental aspect of the setting of the riverside section of the Conservation Area as it provides an appreciation and understanding of the industrial history of the area, and therefore contributes positively to the significance of the Conservation Area. The surrounding townscape is varied in nature, with areas of interspersed later development, however, the surviving eighteenth century development is

<sup>26</sup> London Borough of Richmond upon Thames (2011); Supplementary Planning Document: Stag Brewery, Mortlake, SW14 - Planning Brief, July 2011.

considered to contribute positively to the Conservation Area's significance, by virtue of its shared age and historic development.

- 5.78. To the west is the portion of the Site not incorporated within the Conservation Area, and Mortlake Green, which is considered to contribute positively to the Conservation Area as an attractive green element of setting.
- 5.79. As outlined above, part of the Site falls within the Conservation Area boundary and these elements of the Site are considered to make a positive contribution to the significance of the Conservation Area, as surviving elements of the historic brewery site. The remainder of the Site, however, is not considered to contribute to the significance of the Conservation Area and the modern brewery structures within it detract from the appreciation, character and appearance of the Conservation Area.

## Mortlake Green Conservation Area

### Significance of Heritage Asset

- 5.80. Mortlake Green Conservation Area was designated in 1988 and is bounded by the railway line, Lower Richmond Road, Sheen Lane and Rosemary Lane.
- 5.81. The Conservation Area is predominantly characterised by the green and its surrounding buildings, the stock brick terraced properties along Lower Richmond Road and the groups of terraced properties concentrated to the west of the green. The green and its associated trees and vegetation provide an attractive, informal green space, which is in contrast to the heavy traffic along Lower Richmond Road and Sheen Lane. The green is bordered on its east and west by groups of 'Buildings of Townscape Merit' along Sheen Lane and Cromwell Place, which contribute to its character.
- 5.82. The portion of Lower Richmond Road that falls within the Conservation Area includes a row of two and three storey stock brick terraced properties which are designated as 'Buildings of Townscape Merit'. These properties contribute to the character and appearance of the Conservation Area and provide a contrast to the modern brewery structures that dominate the opposite side of the road. The Tapestry public house and the Jolly Gardeners public house are attractive buildings situated opposite to one another, which provide a 'gate' to the green. The buildings to the west of the green include attractive groups of terraced properties, however, the block of flats on Rosemary Lane detracts from the appreciation of the properties on Rosemary Terrace.
- 5.83. Mortlake Green Conservation Area is considered to be of **Medium** heritage significance.

### Contribution of Setting and the Site to Significance

- 5.84. Mortlake Green Conservation Area is enclosed by the mixed townscape of Mortlake to its west, south and east, and the Site to its north. On its eastern boundary it adjoins Mortlake Conservation Area, which is considered to make a positive contribution to the significance of the Conservation Area as part of its historic context.
- 5.85. Directly to the north east of the Conservation Area is the former Hotel building, situated within the Site and forming part of Mortlake Conservation Area, which is visible in views from the green. This building is considered to complement the appreciation of the character and appearance of Mortlake

Green Conservation Area and is noted within the Stag Brewery Planning Brief SPD<sup>27</sup> as a building which contributes to framing the green.

- 5.86. The Site is situated directly to the north of the Conservation Area. Although the green has a historical link with the Site, as it was previously used to park the brewery's drays,<sup>28</sup> the Site as a whole, as found today, is not considered to contribute to the particular significance of the Conservation Area. In addition, the modern industrial structures within the Site detract from the appreciation of the Conservation Area as they dominate views from within it, particularly in views north from the green towards the Site (**Figure 62**). There are elements of the Site, however, that complement the character and appearance of the Conservation Area, such as the former hotel building, as described above, and Watney's Sports Ground at the west end of the Site. This provides an attractive green element of setting which is considered to complement the character and appearance of the terraced properties within the section of the Conservation Area along Lower Richmond Road.

Figure 62: View looking north across Mortlake Green.



### The Jolly Gardeners Public House (Building of Townscape Merit)

#### Significance of Heritage Asset

- 5.87. The significance of the Jolly Gardeners public house is derived from its local architectural and historic interest as an attractive, albeit typical, example of a public house dating from the early twentieth century (**Figure 63**). The public house has a townscape role in defining the street corner at the junction of Ship Lane and Lower Richmond Road. The locally listed building, which consists of two storeys and attic and is constructed of brick and stucco, provides evidence of the architectural style applied to public houses during this period. The heritage asset is also representative of the social history within Mortlake and is demonstrative of the continuing evolution and growth of the area from the early twentieth century. Its continued use as a public house also contributes to its heritage value.
- 5.88. The locally listed building is considered to be of **Low** heritage significance.

<sup>27</sup> London Borough of Richmond upon Thames, July 2011, Supplementary Planning Document: Stag Brewery, Mortlake, SW14 - Planning Brief.

<sup>28</sup> London Borough of Richmond upon Thames. Mortlake Green Conservation Area 51.



Figure 63: The Jolly Gardener's Public House



#### Contribution of Setting and the Site to Significance

- 5.89. The public house is situated at the junction of Ship Lane with the busy Lower Richmond Road and is therefore experienced in conjunction with a high level of vehicular traffic. As this busy thoroughfare forms part of the building's historic context however, being extant since at least the mid-eighteenth century, it is not considered to detract from the appreciation of the asset. The setting of the heritage asset comprises the former Stag Brewery, which encompasses the building on its north and east sides, Mortlake Green and the locally listed buildings on the opposite side of Lower Richmond Road to its south, and a modern building to its west, which is not considered to contribute to its significance.
- 5.90. The green forms part of the historic context of the public house and provides an attractive green element of setting, which complements the heritage asset and therefore makes a positive contribution to its significance. Similarly, the public house and domestic properties to the opposite side of Lower Richmond Road are considered to contribute positively to the significance of the locally listed building as part of its historic context.
- 5.91. The Site encircles the public house to its north, east and west. It forms part of the historic setting of the asset and is likely to have historical links to the people that worked on the former brewery at the Site. As such, the historic elements of the Site that remain are considered to contribute positively to the significance of the locally listed building. The modern brewery structures on the Site, however, detract from the appreciation of the public house.

## 6. Conclusions

- 6.1. This report provides an overview of the history of the Site, before describing and assessing its significance. This assessment included the surviving historic buildings within the Site that are designated as 'Buildings of Townscape Merit', namely the Maltings, the former Hotel and the former Bottling building. In addition, the report has considered the Site's contribution to the significance of adjacent heritage assets, both designated and non-designated. These included the Mortlake and Mortlake Green Conservation Areas, the Grade II listed Riverside House; Leyden House; Thames Bank House; Tudor Lodge; Thames Cottage; Gateway, formerly to Cromwell House, the Grade II listed Chiswick Bridge, and the Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court. No part of the Site itself is statutorily protected.
- 6.2. The report found that the majority of the historic brewery on the Site had been demolished during a phase of expansion in the latter half of the twentieth century. This development left only three intact structures from the early twentieth and nineteenth centuries, and the facades of other structures as the boundary walls. These buildings have value in their own right and are the main contributing factor to the Site's heritage significance and its contribution to the setting of other nearby heritage assets, such as the two Conservation Areas to the south and south east. Their value as a group of related historic structures is also important when considering the Site holistically. Twentieth century development has had a considerable negative effect on the significance of the built heritage within the Site, and a negative effect on the settings of nearby Listed Buildings on Thames Walk. The majority of the structures within the Site are of no heritage significance.
- 6.3. The report also found that the Site is likely to have strong cultural connections to the Mortlake locality through its history as a large employer in the community and the prominence it undoubtedly has in the public consciousness because of this. It also acts as a landmark and focal point for views up and down the River Thames in this location, including from the nearby Chiswick Bridge and during the well-known sporting event of the Oxford-Cambridge Boat Race.

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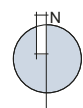
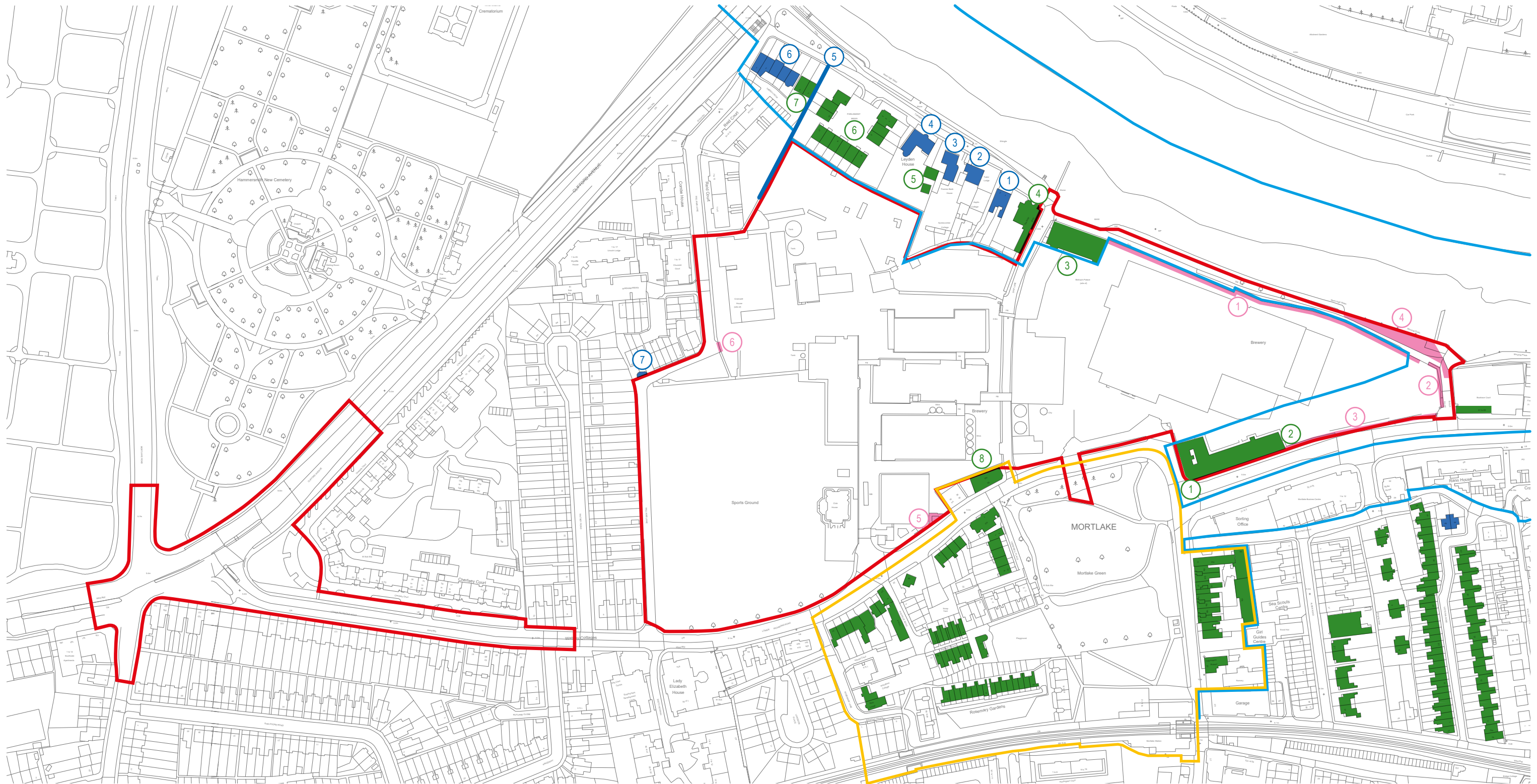
Planning (Listed Buildings and Conservation Areas) Act 1990





## **APPENDICES**


### **A. Heritage Asset Plans and Photo Montages**



 The Site

 Mortlake Conservation Area

 Mortlake Green Conservation Area

 Buildings of Townscape Merit

1. The Former Hotel Building
2. The Former Bottling Building
3. The Maltings Building
4. The Ship Public House
5. The Old Stables
6. 1-14 Parliament Mews
7. 6 and 7 Thames Bank
8. The Jolly Gardeners Public House

 Grade II Listed Buildings

1. Thames Cottage
2. Tudor Lodge
3. Thames Bank House
4. Leyden House
5. Garden Wall to east of 1-8 Riverside House and extending behind 1-24 Reid Court
6. Riverside House
7. Gateway, formerly to Cromwell House

 Non-Designated Heritage Assets

1. Northern Boundary Walls
2. Eastern Boundary Walls
3. Southern Boundary Walls
4. Railway Tracks, Granite Paving and River Moorings
5. Memorials
6. Historic Gates

Project Details WIE10667-101: Stag Brewery, Mortlake

Figure Title Figure B: Heritage Asset Site Plan

Figure Ref WIE10667-101\_GR\_HR\_B

Date February 2018

File Location \\s-inc\wiel\projects\wie10667\101\graphics\hr\issued figures

Figure C - Northern Boundary Wall Montage



Figure D - Southern Boundary Wall Montage



1. Nineteenth century

2. Nineteenth, rebuilt in twentieth century



## **B. Listing Descriptions**

### **CHISWICK BRIDGE AND ATTACHED BALUSTRADES**

Name: CHISWICK BRIDGE AND ATTACHED BALUSTRADES

List entry Number: 1031877

Grade: II

Date first listed: 26-Sep-2002

#### List entry Description

II Arched road bridge, 1930-33. Engineer Alfred Dryland with Herbert Baker as consulting architect, and giving the bridge its distinctly Georgian character. Mass concrete footings and abutments; reinforced concrete arches of cellular construction; cladding of Portland stone. Like Twickenham Bridge it is 70 ft. wide between the parapets; three spans, the centre being 150 ft. and the shore arches 125 ft.; one c60 ft. roadway arch on each bank. Pedestrian access to broad pavement by handsome brick stairs; riverside walkway spanned by arches which on the Hounslow side provide storage for boat club. On line of piers a polygonal viewing platform has been provided to each side. The centre span is the longest concrete arch of any bridge spanning the Thames.

Sources: Phillips, Thames Crossings, 1981, 174-9; Roads and Road Construction, June 1932, VI, 170-1; Engineer, 1933, CLVI, 17; Engineering, June 1932, CXXXIII, 665.

**MAUSOLEUM OF SIR RICHARD AND LADY BURTON, CHURCHYARD OF ST MARY MAGDALEN**

Name: MAUSOLEUM OF SIR RICHARD AND LADY BURTON, CHURCHYARD OF ST MARY MAGDALEN

List entry Number: 1065392

Grade: II\*

Date first listed: 30-Oct-1973

List entry Description*Details*

22/13/4 NORTH WORPLE WAY 30-OCT-73 Mortlake Mausoleum of Sir Richard and Lady Burton, churchyard of the Roman Catholic St Mary Magdalen (Formerly listed as: NORTH WORPLE WAY Mortlake Mausoleum of Sir Richard and Lady Burton, churchyard of St Mary Magdalen) (Formerly listed as: NORTH WORPLE WAY SW14 Mortlake Mausoleum of Sir Richard Burton in the churchyard of Church of St Mary Magdalen)

II\* Mausoleum. c1890. Mausoleum in the shape of a Bedouin tent made of Carrara marble and Forest of Dean stone, 12 feet square and 18 feet high. The roof has a gilt tailed 9 point star, the pelmet was enriched with stars and crescents, and the rear originally had a stained glass panel showing the Burton monogram, now replaced in clear glass. Entrance, now blocked, has a crucifix above. Door has inscription "To Sir Richard Francis Burton 1821-1890 and Isabel d.1896". Beneath is a poem by Justin Huntly McCarthy. Interior, visible through rear glass panel contains above ground ornate tapering coffin with extensive gilt enrichment for Sir Richard Burton, with crucifix and camel bells. There is a more conventional mahogany coffin for Lady Burton. Painted roof representing the heavens with stars and seraphim and strings of camel bells. Shrine to rear wall and religious paintings of Christ with Magdalene and Crucifixion to sides and Arabic lamps on floor. This burial was a response to Sir Richard Burton's horror of darkness. An extra ordinary mixture of chapelle ardente and Bedouin tent.

**ACACIA HOUSE**

Name: ACACIA HOUSE

List entry Number: 1065426

Grade: II

Date first listed: 26-Oct-1951

List entry Description*Details*

1. 5028 HIGH STREET (north side) Mortlake, SW14

No 115 (Acacia House) TQ 2076 12/6 26.10.51 TQ 2075 13/6

II GV

2. Late C18, 3-storey house. Four windows wide. Brown brick with red brick window heads. Door, approached with flight of steps, has wood doorcase with console-bracketed cornice hood. Interior not seen.

Listing NGR: TQ2087775995

**117, HIGH STREET SW14**

## List Entry Summary

Name: 117, HIGH STREET SW14

List entry Number: 1065427

Grade: II

Date first listed: 25-Oct-1951

List entry Description*Details*

1. 5028 HIGH STREET (north side) Mortlake, SW14

No 117 TQ 2075 13/1 25.10.51

II GV

2. Late C18, 2-storey house. Five window bays wide. Parapeted brick front with rendered ground floor. Tiled gambrel roof with 3 dormers. Early C19 doorcase with reeded architrave and rosette stops. To the left a C19 bay window. River elevation irregular, with large 3-storey, 3-bay bow with early C19 cast-iron balcony with tented lead canopy. Interior not seen. Listing NGR: TQ2089775994



**FORECOURT PIERS**

Name: FORECOURT PIERS

List entry Number: 1065428

Grade: II\*

Date first listed: 25-Oct-1951

List entry Description*Details*

1. 5028 HIGH STREET (north side) Mortlake, SW14

No 123, with forecourt piers TQ 2176 12/5 25.10.51

II\* GV

2. Circa 1720 with a front probably circa 1770. Two storeys, hipped slated gambrel roof with 3 dormers. Five windows wide with centre bay shallow projection. Central Roman Doric pedimented portico with triglyph frieze and paired columns. Later full height wings to either side without attic. Riverfront similar with similar porch. Interior has spacious entrance hall with good doorcases and staircase of circa 1720-40. There is a painting of the house by J M W Turner in the Frick collection, New York and National Gallery, Washington.

Listing NGR: TQ2113276050

**TUDOR LODGE**

Name: TUDOR LODGE

List entry Number: 1252970

Grade: II

Date first listed: 25-May-1983

List entry Description*Details*

1. 5028 THAMES BANK, SW14

Tudor Lodge TQ 2076 12/3

II GV

2. C18, 2-storey house, 2 windows wide. Brick built with mansard roof having C19 ornamental ridge tiles and dormers. Later canted bay to left ground floor. Entrance to right. Moulded flush-framed sashes with glazing bars above.

Listing NGR: TQ2034576143

**THAMES BANK HOUSE**

Name: THAMES BANK HOUSE

List entry Number: 1252971

Grade: II

Date first listed: 25-Oct-1951

List entry Description*Details*

1. 5028 THAMES BANK, SW14

Thames Bank House TQ 2076 12/2 25.10.51

II

2. C18. Cement faced. Two storeys, 4 round-headed sash windows to floor level. Early C19 cast-iron first floor balcony with lead veranda, parapet. At the rear, an earlier C18 square brick mansion of 3 storeys with segmental sash windows.

Listing NGR: TQ2033576154

**LEYDEN HOUSE**

Name: LEYDEN HOUSE

List entry Number: 1252972

Grade: II

Date first listed: 25-Oct-1951

List entry Description*Details*

1. 5028 THAMES BANK, SW14

Leyden House TQ 2076 12/1 25.10.51

II

2. C18. Brick rendered. Steeply pitched roof with casement dormers behind parapet. Two storeys, 5 bays wide, the central (entrance) bay with canted, 2-storey bar. Band course to canted bar between ground and first floor and above first floor windows. Entrance doorway semi-circular headed. Listing NGR: TQ2031376164



**44 AND 46, VICTORIA ROAD**

Name: 44 AND 46, VICTORIA ROAD

List entry Number: 1253022

Grade: II

Date first listed: 25-May-1983

List entry Description*Details*

## 1. 5028 VICTORIA ROAD

Nos 44 and 46 TQ 2075 13/8

II

2. Probably 1870s. Pair of cottages. In situ mass concrete, using method resembling that of Joseph Tall, pioneer of concrete shuttering. Stuccoed. Original flat concrete roof to parapet. Each 2 storeys, 2 windows wide. The outer bay of each cottage recessed with entrance. Advanced bay of each cottage has corniced polygonal bow window. Square headed windows and doors with stucco keystones and moulded architraves to upper windows. Sash windows with original glazing bars. Cornice to parapet. Internally concrete floors and stairs. Shallow segmental barrel to entrance ceiling. "Concrete" December 1977.

Listing NGR: TQ2067275908

**RIVERSIDE HOUSE**

Name: RIVERSIDE HOUSE

List entry Number: 1254107

Grade: II

Date first listed: 22-Jul-1987

List entry Description*Details*

1. 5028 Thames Bank (south side)

TQ 2076 12/30 Nos 1-8 consec. (Riverside House)

II GV

2. Detached house. Circa early C18, extended C19 and altered C20. Rendered brick. Slate to front pitch of roof, falling to parapet; steeper concrete tiled roof to rear. 3 storeys to front facade; 2 storeys plus dormers to rear. 5 main bays. Slightly projecting centre of 3 bays, C20, with entrance, Square headed windows (first floor outer windows formerly arched). Raised bands between storeys. Interior contains two well preserved early C18 rooms, sited on ground floor (east of centre on the ground flood, both retaining their panelling, fireplaces and cornices etc.

Listing NGR: TQ2022076213

**28, SHEEN LANE**

Name: 28, SHEEN LANE

List entry Number: 1254175

Grade: II

Date first listed: 08-Aug-1988

List entry Description*Details*

The following building shall be added:

TQ2075 SHEEN LANE (West Side) 13/9 No 28

II

House. Early C18; refronted c1850. Brick, with stucco front of c1830; roughcast to rear; brick-coped gambrel roof, with Welsh slates to front and concrete tiles to rear; brick right end stack; and rear stack to outshut. 2-unit plan with rear outshut. 2 storeys and attic; one window range. C20 shop front. c1830 tripartite sash with glazing bars (removed from centre) to first floor. C19 flat-roofed dormer with C20 casements. Facade is flanked by raised pilasters and has bracketed eaves. Side walls have large semi-circular arched recesses, with two early C18 twelve-pane sashes to left and one to right, all with original thick glazing bars. Interior: early C18 open-well staircase with winders, stick balusters and wreathed mahogany handrail. First floor has early C19 marble fireplace and horizontally-sliding window shutters to first floor. Early C19 panelled doors.

Listing NGR: TQ2047875663

**GARDEN WALL TO EAST OF NUMBER 1 TO 8 RIVERSIDE HOUSE AND EXTENDING  
BEHIND NUMBERS 1 TO 24 REID COURT**

Name: GARDEN WALL TO EAST OF NUMBER 1 TO 8 RIVERSIDE HOUSE AND  
EXTENDING BEHIND NUMBERS 1 TO 24 REID COURT

List entry Number: 1261445

Grade: II

Date first listed: 22-Jul-1987

List entry Description

*Details*

1. 5028 Thames Bank (south side)

Garden wall to east of Nos 1-8 consec. (Riverside House) and extending behind Nos TQ  
2076 12/31 1-24 consec. Reid Court

II GV

2. Garden wall. Circa early C18. Red brick Approximately 12 ft. high ramping down to  
approx. 4 ft. in front of Riverside House. Included for group value only.

Listing NGR: TQ2022876171



**THAMES COTTAGE**

Name: THAMES COTTAGE

List entry Number: 1261996

Grade: II

Date first listed: 25-Oct-1951

List entry Description*Details*

1. 5028 THAMES BANK, SW14

Nos 1 and 2 (Thames Cottage) TQ2076 12/4 25.10.51 II

2. C18. Stucco with old tile roof rising to a point. Three sash windows wide, with projecting central porch with modern cornice and consoles to canopy. Later triple dormer, replacing 2 original hipped casement dormers. Segmental heads to ground storey windows.

Listing NGR: TQ2036876124

**SUTHREY HOUSE WITH ATTACHED RAILINGS**

Name: SUTHREY HOUSE WITH ATTACHED RAILINGS

List entry Number: 1286039

Grade: II

Date first listed: 25-Oct-1951

List entry Description*Details*

1. 5028 HIGH STREET (north side) Mortlake, SW14

No 119 (Suthrey House) with attached railings TQ 2075 13/2 25.10.51

II GV

2. C18. L-shaped with right end to street and small courtyard entrance with C18 railings. Two storeys, stock brick with red dressings to main fronts. Three blank windows to road, 4 flush-framed windows to courtyard. River front is 2-storeys, 6 window bays wide. Central pilastered doorcase. Tiled roof behind parapet. Interior not seen.

Listing NGR: TQ2093075990

**PARISH CHURCH OF ST MARY**

Name: PARISH CHURCH OF ST MARY

List entry Number: 1357705

Grade: II\*

Date first listed: 25-Oct-1951

List entry Description*Details*

1. 5028 HIGH STREET (south side) Mortlake, SW14

Parish Church of St Mary TQ 2075 13/3 25.10.51

II\*

2. Founded 1348 on a site to west of present church, which dates from 1543. The tower is of that date. The building was enlarged in 1725 and 1845. The chancel is of 1885, the nave and south aisle of 1906 by Sir A Blomfield. Vestry House, adjoining, of 1660-70 possibly with some earlier work. Western tower has 4 stages with later cupola. Chequer work of stone and flint to third storey. Tudor brick with stone dressings above. Polygonal stair turret to north-east corner. North aisle of church brick. Rest now rubblestone, late C19 and C20. Perpendicular style clerestory. Low pitched lead roof. Chancel lower than nave Vestry House, adjoining north aisle towards west: a red brick building of 2 storeys. Slate hipped roof. Two windows wide. Upper windows square headed, 2-light with timber mullions and transom. One similar window to left below, but set in chanfered stone recess with segmental relieving arch set in brickwork above. Right-hand lower window retains 2 chanfered mullions.

Listing NGR: TQ2084575941

**CHISWICK BRIDGE AND ATTACHED BALUSTRADES**

Name: CHISWICK BRIDGE AND ATTACHED BALUSTRADES

List entry Number: 1390737

Grade: II

Date first listed: 04-Sep-2003

List entry Description*Details*

TQ27NW Chiswick Bridge and attached balustrades 787/46/10105 04-SEP-03

II Arched road bridge, 1930-33. Engineer Alfred Dryland with Herbert Baker as consulting architect, and giving the bridge its distinctly Georgian character. Mass concrete footings and abutments; reinforced concrete arches of cellular construction; cladding of Portland stone. Like Twickenham Bridge it is 70 ft. wide between the parapets; three spans, the centre being 150 ft. and the shore arches 125 ft.; one c60 ft. roadway arch on each bank. Pedestrian access to broad pavement by handsome brick stairs; riverside walkway spanned by arches which on the Hounslow side provide storage for boat club. On line of piers a polygonal viewing platform has been provided to each side. The centre span is the longest concrete arch of any bridge spanning the Thames.

Sources: Phillips, Thames Crossings, 1981, 174-9; Roads and Road Construction, June 1932, VI, 170-1; Engineer, 1933, CLVI, 17; Engineering, June 1932, CXXXIII, 665.

**Selected Sources****Books and journals**

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'Engineering' in Engineering, (1932), 665

National Grid Reference: TQ 20263 76325



**AIR RAID SHELTER**

Name: AIR RAID SHELTER

List entry Number: 1395422

Grade: II

Date first listed: 29-Oct-2010

List entry Description*Details*

22/0/10198 ST LEONARD'S COURT 29-OCT-10 Air Raid Shelter

II Air raid shelter, probably built in 1938 to serve St Leonard's Court which was built in 1934-38 by local builder Mr FG Fox. Designed to hold forty-eight people, at the time there were eighty-three flats.

**MATERIALS:** largely brick but with concrete block walls in the western compartments and on the stair; flat concrete slab roofs. The entrance turret is of Flemish bond brick with a conical tile roof surmounted by a metal weather vane. The shelter is contained within an earth mound within a brick retaining wall c 1m high, with stone coping. Beneath the wall at ground level is a metal plate (it is not known if this extends across the whole shelter).

**PLAN AND FITTINGS:** the shelter lies east-west, with the entrance at the western end reached through a door in the brick turret from which steps descend to a central corridor. Each side of the corridor are two compartments, for men and women. Westernmost (day) compartments are lined with timber benches and at the outer end have a pair of chemical lavatories behind a brick screen wall. Easternmost (night) compartments are divided by brick screen walls into eight sections; four each side of a central passage. Each has three bunk beds of which a few boards remain, and each has a small wooden shelf with an electric light socket and switch on the underside, with a small wooden baffle to act as a shade. At the end of each partition are numbered hooks, numbers 1-24 in the southern compartment and 25-48 in the north. Each main compartment has a metal ladder at the outer end, which rises to a horizontal metal grille. The central corridor is also lined with numbered hooks. At the eastern end is a stove ventilated through a vertical pipe. Adjacent to the stove is a metal letter box bearing a notice: 'all communications should be signed by those associating themselves with them'.

**HISTORY:** the air raid shelter was probably built in 1938 to serve St Leonard's Court which was built between 1934-38 by local builder, Mr FG Fox, who also developed Deanhill Court and Queen's Court to the east of Richmond at much the same time. From early 1938 local authorities were legally required to formulate plans to provide shelter for civilians, while the Munich crisis later that year heightened the need for government to provide guidance on air raid precautions; in 1939, ARP measures became compulsory for industry. The government provided shelters for those below an income threshold, alongside advice for those building their own. Variants on simple modular shelters were designed. Additionally, architects such as Sir Giles Gilbert Scott designed standard rectangular plan surface shelters for smarter London shops while W Braxton Sinclair FRIBA designed a sophisticated shelter very similar in plan to the St Leonard's Court example for flats at Queen's Gate, which was published in the Builder in October 1938. Generally, however, shelters were functional and basic.

St Leonard's Court air raid shelter proves to be of unusual plan, providing a high standard of accommodation, and survives remarkably well. The quality of material used in the

superstructure, which is designed as part of the landscaped gardens, is also unusual. It was apparently built by the developer of the flats, who reputedly felt strongly proprietorial towards the development rather than being designed independently, and exceeds the government-led standards in terms of provision and aesthetic appearance. The setting of the flats is intact, complete with gate piers and overthrows. Interestingly, there is apparently no other shelter for the flats and while other communal shelters are known in the Borough, none is of this scale or quality.

SOURCES: Dobinson, C,S, Twentieth Century Fortification in England, Vol VIII, Civil Defence in WWII, protecting England's civil population 1935-45, (1999)

REASONS FOR DESIGNATION The air raid shelter at St Leonard's Court, built in 1938, is designated at Grade II for the following principal reasons: \* It was built to a high specification providing individual accommodation above the normal government-led standard \* Unusually, most of its fittings survive to give a clear impression of how the shelter was used \* Unusually for an air raid shelter, it is incorporated within the landscaped setting of a contemporary block of flats, St Leonard's Court.

#### Selected Sources

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 20302 75674

**Hammersmith Memorial to World War II Civilian Dead, Mortlake Cemetery**

Name: Hammersmith Memorial to World War II Civilian Dead, Mortlake Cemetery

List entry Number: 1400837

Grade: II

Date first listed: 05-May-2011

List entry Description*Details*

Memorial. Post-1945. Designer unknown. Portland stone, Westmorland slate.

The memorial comprises a horizontal slab of green slate inscribed with the names of 156 victims of aerial bombardment: it is set between two clipped yew trees, and within a low stone border. In front is a cross-shaped paved area set within another low stone border. In the centre of the cross, over a disc-shaped base, is a tapering drum of stone with a bronze cross over: this is inscribed AND THE EVENING AND THE MORNING WERE THE SIXTH DAY.

## Selected Sources

None.

National Grid Reference: TQ1983176226

**Mortlake Crematorium**

Name: Mortlake Crematorium

List entry Number: 1400834

Grade: II

Date first listed: 05-May-2011

List entry Description*Details*

Crematorium. 1938-39 by F. Douglas Barton, MICE MRSI. Brown-red brick, metal windows and grilles, tiled roofs.

PLAN: centrally planned, with an axial chapel with oven chamber behind, flanked to the front by offices and reception rooms; behind are cloistered walks. A tower is attached to the south-east of the central range.

EXTERIOR: entrance front with projecting porte cochere with arched openings; tall stone-framed side lights; side ranges with mullioned five-light windows; arched openings to either side beyond. The main central section containing the chapel is stepped up in stages, with pedimented gable ends to each section. The ventilation shaft is housed in the square, two-stage tower which is capped by a hipped roof. The side elevations of the chapel have tall arched windows with buttresses between. The sides and rear of the crematorium are fronted with arcaded walkways, within which are memorial-lined walls, the memorials in the form of regular grey stone inscription plaques.

INTERIOR: the side walls of the entrance vestibules sport inscription plaques referring to the opening of the crematorium. Remembrance book rooms flank the entrance; to the east is a waiting room, and to the west is an office. The reception rooms are plain, and the interest is concentrated within the barrel-vaulted chapel. The catafalque (the upper parts of which are of fairly recent date) has decorative marble facing to the base: it is set within an arched recess, the main order of which has feather ornament; there are arched windows to the sides. Arched doorways flank this recess: these, like the dado, are faced in grey marble. The entrance, northern, end of the chapel has a triple-arched glazed screen, with pilasters flanking the central door: above is an oak-faced gallery.

SUBSIDIARY FEATURES: In the rose garden to the south are matching brick and tile benches. The entrance gates to the north-west are in a matching style also.

**Selected Sources****Books and journals**

Parsons, A, 'Journal of the Institute of Burial and Crematorium Administration' in Mortlake and the Art Deco Influence, (Autumn 2003)

National Grid Reference: TQ2001476275



**GATEWAY, FORMERLY TO CROMWELL HOUSE**

Name: GATEWAY, FORMERLY TO CROMWELL HOUSE

List entry Number: 1417979

Grade: II

Date first listed: 16-Feb-2007

List entry Description*Details*

TQ 27 NW

WILLIAMS LANE, Mortlake

Gateway, formerly to Cromwell House II

Gate piers and foot-gate of c.1700 (piers) and early/mid C18 (gate); architect not known. Bath stone piers with wrought-iron gate and surrounding panels.

**EXTERIOR:** The gateway comprises a pair of gate piers of c.1700 supporting an early/mid C18 wrought-iron gate. The piers are of yellow Bath stone (with some stucco patching), with channelled, rusticated, masonry. Each has a tall, semi-circular headed niche on its front face, each arch with a set-back architrave, keystone, and moulded cornices at the springing of the arch. The piers have Portland stone caps with ball finials, both apparently later than the piers. The piers stand on moulded plinth blocks probably of 1962. The inner reveals of the piers have projecting stone jambs, which suggest that the original gate may have been of timber. The iron gate has plain uprights with a centre band of fleur-de-lys and a skirting band of spearheads. To either side are narrow fixed panels while above is an overthrow with scrollwork, fleur-de-lys and leaves. The gateway is set in a stock brick wall of c.1962 which is not included in the listing.

**HISTORY:** The gateway was previously located on the Cromwell Lane frontage of the Site of Cromwell House. This, originally the Thames-side manor house of Mortlake, was held from 1536-40 by Thomas Cromwell (d.1540, Earl of Essex and Henry VIII's Chancellor). That house was rebuilt soon after 1700, with this gateway giving access to a small forecourt between forward-projecting wings. That building was in turn demolished in 1857-8. The gateway, however, remained in situ until the land was redeveloped for a large brewery in the early 1960s. In 1962 the gateway was taken down and re-erected nearby at the head of the northward run of Williams Lane, where it served as the foot-gate to a company bowling green, today a sports ground.

**SUMMARY OF IMPORTANCE:** The gateway, with piers of c.1700 supporting a slightly later iron foot-gate, is of a high quality, and typical of the gateways which gave emphasis to entrances to houses and gardens in the later C17 and early C18. This gateway has seen some repair and replacement of parts but the essential elements have survived, and the gateway retains the majority of its c.1700 fabric, as well as the overall design. The gateway was moved over forty years ago, and while the immediate context is changed, the move was local and the gateway remains an important, tangible, reminder of the location hereabouts of the chief house of the manor of Mortlake.

**SOURCES:** V.C.H. Surrey 4 (1912), 69-70; M. Brown, *Barnes and Mortlake Past* (1997), 38.

**Selected Sources**

None.

National Grid Reference: TQ2012676010

## **LIMES HOUSE AND FORECOURT PIERS**

Name: LIMES HOUSE AND FORECOURT PIERS

List entry Number: 1065428

Grade: II\*

Date first listed: 25-Oct-1951

### List entry Description

#### *Details*

TQ 2176 12/5

Mortlake, SW14, HIGH STREET (north side), No 123, Limes House, with forecourt piers

(Formerly listed as No 123, with forecourt piers)

25.10.51

GV

II\*

Circa 1720 with a front probably circa 1770. Two storeys, hipped slated gambrel roof with three dormers. Five windows wide with centre bay shallow projection. Central Roman Doric pedimented portico with triglyph frieze and paired columns. Later full height wings to either side without attic. Riverfront similar with similar porch. Interior has spacious entrance hall with good doorcases and staircase of circa 1720-40. There is a painting of the house by J M W Turner in the Frick collection, New York and National Gallery, Washington.

Listing NGR: TQ2113276050

#### Selected Sources

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 21132 76050

## C. Legislation and Planning Policy

### National Legislation

#### Planning (Listed Buildings and Conservation Areas) Act 1990<sup>29</sup>

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act (1990) highlights the importance of built heritage and Listed Buildings within the planning system. With regard to the Local Planning Authority's (LPA) duty regarding Listed Buildings in the planning process, it states that:

"In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".

In addition, Section 72 of the Act emphasises the value of conservation areas in built heritage planning. In relation to the duties and powers of the LPA, it provides that:

"With respect to any buildings or other land in a conservation area, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area".

#### Ancient Monuments and Archaeological Areas Act 1979<sup>30</sup>

Heritage assets designated under the Ancient Monuments and Archaeological Areas Act (1979) are considered to be of national importance. Any works causing damage to heritage assets designated as scheduled monuments are a criminal offence under the Act. Consent to carry out prescribed works to scheduled monuments can be granted by the Secretary of State. Consents, where given, are usually subject to conditions. The Act operates wholly outside of the planning system, although most regional and local planning policies for the historic environment make some reference to scheduled monuments.

### National Planning Policy

#### National Planning Policy Framework (NPPF)<sup>31</sup>

Section 12 of the NPPF, *Conserving and enhancing the historic environment* provides Government policy on planning and the historic environment. Section 12 of the NPPF states, in paragraph 128, that a planning applicant is required "to describe the significance of any heritage assets affected, including any contribution made by their setting".

As a minimum, the NPPF requires that the relevant historic environment record will be consulted and any heritage assets likely to be affected by the proposal will have their significance assessed using appropriate expertise. Where an application site may have an effect on heritage assets, an appropriate desk assessment should be provided to inform the planning authority's decision-making and, where appropriate, field evaluation will be undertaken to further inform planning decisions.

<sup>29</sup> Planning (Listed Buildings and Conservation Areas) Act 1990.

<sup>30</sup> Ancient Monuments and Archaeological Areas Act 1979.

<sup>31</sup> Department for Communities and Local Government (2012); National Planning Policy Framework, March 2012.

Section 12, paragraph 132, of the NPPF adds that *"heritage assets are irreplaceable, any harm or loss should require clear and convincing justification"* and Section 12, paragraphs 133 and 134 state that any harm caused by the proposal to heritage assets should be weighed against the public good of the proposal, including securing the optimum viable use of the asset(s).

## Regional Planning Policy

The London Plan: The Spatial Development Strategy for London Consolidated with Alterations Since 2011, March 2016<sup>32</sup>

The London Plan outlines the approach that Local Authorities should take with regards to heritage and planning in the following policies:

- Policy 7.8 Heritage Assets and Archaeology;
- Policy 7.9 Heritage Led Regeneration;
- Policy 7.10 World Heritage Sites;
- Policy 7.11 London View Management framework;
- Policy 7.12 Implementing the London View Management Framework.

The most relevant London Plan policy for this report is Policy 7.8, which states:

### *"Strategic*

- London's heritage assets and historic environment, including listed buildings, registered historic parks and gardens and other natural and historic landscapes, Conservation Areas, World Heritage Sites, registered battlefields, scheduled monuments, archaeological remains and memorials should be identified, so that the desirability of sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account.*
- Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the Site's archaeology.*

### *Planning decisions*

- Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.*
- Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.*
- New development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset.*

### *LDF preparation*

- Boroughs should, in LDF policies, seek to maintain and enhance the contribution of built, landscaped and buried heritage to London's environmental quality, cultural identity and economy as part of managing London's ability to accommodate change and regeneration.*

<sup>32</sup> Greater London Authority (2016); The London Plan: Spatial Development Strategy for Greater London consolidated with Alterations since 2011, March 2016.

- G. *Boroughs, in consultation with English Heritage, Natural England and other relevant statutory organisations, should include appropriate policies in their LDFs for identifying, protecting, enhancing and improving access to the historic environment and heritage assets and their settings where appropriate, and to archaeological assets, memorials and historic and natural landscape character within their area”.*

#### The London Plan: The Spatial Development Strategy for Greater London, Draft for Public Consultation, December 2017<sup>33</sup>

The draft December 2017 London Plan has been published for consultation until Friday 2<sup>nd</sup> march 2018.

The most relevant draft London Plan policy for this report is Policy HC1: Heritage conservation and growth, which states:

*“Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets’ significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings, should also be actively managed. Development proposals should seek to avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.”*

#### Local Planning Policy

##### London Borough of Richmond Local Plan – Development Management Plan (2011)<sup>34</sup>

###### **Policy DM HD 1**

*“Conservation Areas - designation, protection and enhancement*

*The Council will continue to protect areas of special significance by designating Conservation Areas and extensions to existing Conservation Areas using the criteria as set out in PPS 5 and as advised by English Heritage.*

*The Council will prepare a Conservation Area Appraisal and Management Plan for each Conservation area, these will be used as a basis when determining proposals within or where it would affect the setting of, Conservation Areas together with other policy guidance.*

*Buildings or parts of buildings, street furniture, trees and other features which make a positive contribution to the character, appearance or significance of the area should be retained. New development (or redevelopment) or other proposals should conserve and enhance the character and appearance of the area.”*

###### **Policy DM HD 2**

*“Conservation of Listed Buildings and Scheduled Ancient Monuments*

*The Council will require the preservation of Listed Buildings of special architectural or historic interest and Ancient Monuments and seek to ensure that they are kept in a good state of repair by the following means:*

<sup>33</sup> Greater London Authority (2017); The Spatial Development Strategy for Greater London, Draft for Public Consultation, December 2017.

<sup>34</sup> London Borough of Richmond upon Thames (2011); Local Development Framework, Development Management Plan, adopted November 2011.



1. *consent would only be granted for the demolition of Grade II Listed Buildings in exceptional circumstances and for Grade II\* and Grade I Listed Buildings in wholly exceptional circumstances following a thorough assessment of their significance;*
2. *retention of the original use for which the listed building was built is preferred. Other uses will only be considered where the change of use can be justified, and where it can be proven that the original use cannot be sustained;*
3. *alterations and extensions including partial demolitions should be based on an accurate understanding of the significance of the asset including the structure, and respect the architectural character, historic fabric and detailing of the original building. With alterations, the Council will normally insist on the retention of the original structure, features, material and plan form or features that contribute to the significance of the asset. With repairs, the Council will expect retention and repair, rather than replacement of the structure, features, and materials of the building which contribute to its architectural and historic interest; and will require the use of appropriate traditional materials and techniques;*
4. *using its legal powers to take steps to secure the repair of Listed Buildings, where appropriate;*
5. *protecting the setting of Ancient Monuments and Listed Buildings where proposals could have an impact;*
6. *taking a practical approach towards the alteration of Listed Buildings to comply with the Disability Discrimination Act 2005 and subsequent amendments, provided that the building's special interest is not harmed, using English Heritage advice as a basis."*

### **Policy DM HD 3**

#### *"Buildings of Townscape Merit*

*The Council will seek to ensure and encourage the preservation and enhancement of Buildings of Townscape Merit and will use its powers where possible to protect their significance, character and setting, by the following means:*

1. *consent will not normally be granted for the demolition of Buildings of Townscape Merit;*
2. *alterations and extensions should be based on an accurate understanding of the significance of the asset including the structure, and respect the architectural character, and detailing of the original building. The structure, features, and materials of the building which contribute to its architectural and historic interest should be retained or restored with appropriate traditional materials and techniques;*
3. *any proposals should protect and enhance the setting of Buildings of Townscape Merit;*
4. *taking a practical approach towards the alteration of Buildings of Townscape Merit to comply with the Disability Discrimination Act 2005 and subsequent amendments, provided that the building's special interest is not harmed, using English Heritage advice as a basis."*

### **Policy DM HD 4**

#### *"Archaeological Sites*

*The Council will seek to protect, enhance and promote its archaeological heritage (both above and below ground), and will encourage its interpretation and presentation to the public. It will take the necessary measures required to safeguard the archaeological remains found, and refuse planning permission where proposals would adversely affect archaeological remains or their setting."*

### **Policy DM HD 5**

*“World Heritage Site*

*The Council will work with others, to protect, promote, interpret, sustainably use, conserve and where appropriate enhance the Royal Botanic Gardens Kew World Heritage Site and its setting including the buffer zone by conserving its Outstanding Universal Value, integrity, authenticity and significance.*

*Development proposals should not cause adverse impact to the World Heritage Site or its setting that would compromise its Outstanding Universal Value, integrity, authenticity and significance, and give appropriate weight to the World Heritage Site Management Plan.”*

**Policy DM HD 6**

*“War Memorials*

*The Council has recorded all Borough war memorials on a register. Memorials should be retained in situ, if possible or sensitively relocated.”*

**Policy DM HD 7**

*“Views and Vistas*

*The Council will seek to protect the quality of views indicated on the Proposals Map. It will also seek opportunities to create attractive new views and vistas and, where appropriate, improve any that have been obscured.”*

London Borough of Richmond upon Thames – Core Strategy (2009)<sup>35</sup>

**CP7 Maintaining and Improving the Local Environment**

*“7.A Existing buildings and areas in the Borough of recognised high quality and historic interest will be protected from inappropriate development and enhanced sensitively, and opportunities will be taken to improve areas of poorer environmental quality, including within the areas of relative disadvantage of Castlenau, Ham, Hampton Nurserylands, Heathfield and Mortlake.*

*7.B All new development should recognise distinctive local character and contribute to creating places of a high architectural and urban design quality that are well used and valued. Proposals will have to illustrate that they:*

*(i) are based on an analysis and understanding of the Borough’s development patterns, features and views, public transport accessibility and maintaining appropriate levels of amenity;*

*(ii) connect positively with their surroundings to create safe and inclusive places through the use of good design principles including layout, form, scale, materials, natural surveillance and orientation, and sustainable construction.”*

**National Guidance**

The online NPPF Planning Practice Guidance (PPG)<sup>36</sup> on Conserving and Enhancing the Historic Environment was issued by the Department for Communities and Local Government in March 2014 as a web-based resource.

<sup>35</sup> London Borough of Richmond upon Thames (2009); ‘Local Development Framework Core Strategy’, London Borough of Richmond upon Thames.

<sup>36</sup> Department for Communities and Local Government, 2014. *Online Planning Practice Guidance* Available from: <http://planningguidance.planningportal.gov.uk/>

Historic England are in the process of reviewing their current guidance with the intent that various Good Practice Advice Notes and Historic Environment Advice notes supersede PPS5, the Planning Practice Guide and related elements of Historic England's guidance. Good Practice Advice notes have been published on:

- The Historic Environment in Local Plans (GPA 1)<sup>37</sup>;
- Decision-taking in the Historic Environment (GPA 2)<sup>38</sup>; and
- The Setting of Heritage Assets (GPA 3)<sup>39</sup>.

Additionally, the Greater London Archaeological Advisory Service (GLAAS), part of Historic England, also recently updated their guidance, and published Guidelines for Archaeological Projects in Greater London<sup>40</sup>, which includes guidance on desk-based assessments.

A number of other guidance documents are currently in draft and open for consultation.

## Regional and Local Guidance

Mortlake Conservation Area Appraisal

Mortlake Green Conservation Appraisal

Available from:

[http://www.richmond.gov.uk/home/services/planning/conservation\\_areas/conservation\\_area\\_state\\_ments.htm](http://www.richmond.gov.uk/home/services/planning/conservation_areas/conservation_area_state_ments.htm)

LBRuT (2015): Mortlake Village Planning Guidance, Supplementary Planning Document, December 2015.

LBRuT (2011): Stag Brewery, Mortlake, SW14, Planning Brief, Supplementary Planning Document, adopted July 2011.

<sup>37</sup> Historic England (2015); Historic Environment Good Practice Advice in Planning Note 1: The Historic Environment in Local Plans, March 2015.

<sup>38</sup> Historic England (2015); Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision Taking, March 2015.

<sup>39</sup> Historic England (2015); Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets, March 2015.

<sup>40</sup> Greater London Archaeological Advisory Service (2015); Guidelines for Archaeological Projects in Greater London, April 2015.

## D. Glossary (National Planning Policy Framework)<sup>41</sup>

<b>Archaeological interest</b>	There will be archaeological interest in a heritage asset if it holds, or potentially may hold, evidence of past human activity worthy of expert investigation at some point. Heritage assets with archaeological interest are the primary source of evidence about the substance and evolution of places, and of the people and cultures that made them.
<b>Conservation (for heritage policy)</b>	The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.
<b>Designated heritage asset</b>	A World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or Conservation Area designated under the relevant legislation.
<b>Heritage asset</b>	A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).
<b>Historic environment</b>	All aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and landscaped and planted or managed flora.
<b>Historic environment record</b>	Information services that seek to provide access to comprehensive and dynamic resources relating to the historic environment of a defined geographic area for public benefit and use.
<b>Setting of a heritage asset</b>	The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.
<b>Significance (for heritage policy)</b>	The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.

<sup>41</sup> Department for Communities and Local Government (2012); National Planning Policy Framework, March 2012.

# UK and Ireland Office Locations

