



Stag Brewery, Mortlake

Design and Access Statement Volume 2: Detailed Design Statement

Document History

Rev	Date	Purpose of Issue	Author	Reviewer
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Birds eye view of existing site

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1.0 Introduction

This Design and Access Statement has been prepared by Squire and Partners on behalf of Reselton Properties Limited ('the Applicant') in support of three linked planning applications for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake ('the Site') within the London Borough of Richmond Upon Thames ('LBRuT').

The former Stag Brewery Site is bounded by Lower Richmond Road to the south, the river Thames and the Thames Bank to the north, Williams Lane to the east and Bulls Alley (off Mortlake High Street) to the west. The Site is bisected by Ship Lane. The Site currently comprises a mixture of large scale industrial brewing structures, large areas of hardstanding and playing fields.

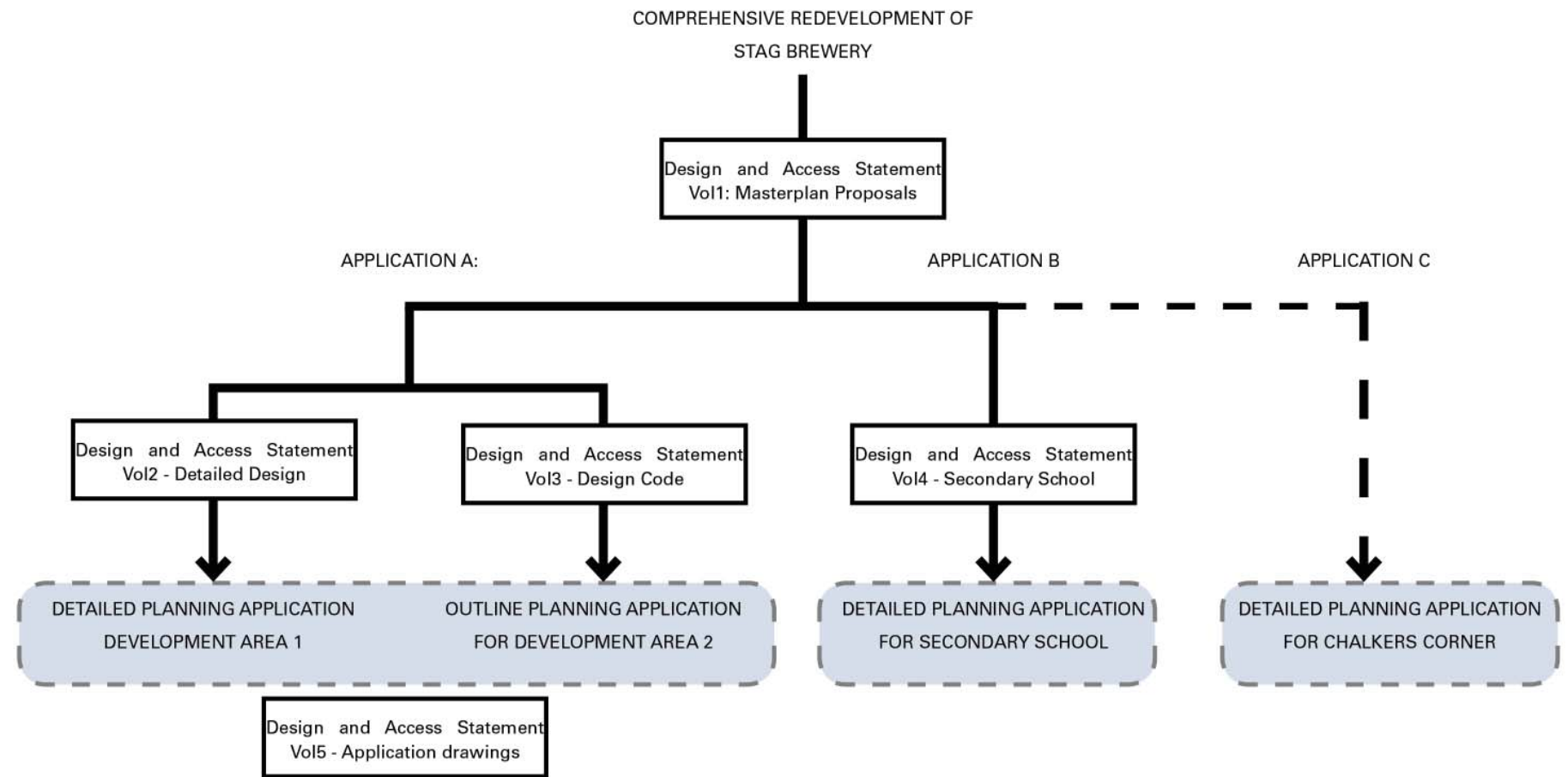
The redevelopment will provide homes (including affordable homes), accommodation for an older population, complementary commercial uses, community facilities, a new secondary school alongside new open and green spaces throughout. Associated highway improvements are also proposed, which include works at Chalkers Corner junction.

The three planning applications are as follows:

- Application A – hybrid planning application for comprehensive mixed use redevelopment of the former Stag Brewery site consisting of:
 - i. Land to the east of Ship Lane applied for in detail (referred to as 'Development Area 1' throughout); and
 - ii. Land to the west of Ship Lane (excluding the school) applied for in outline detail (referred to as 'Development Area 2' throughout).
- Application B – detailed planning application for the school (on land to the west of Ship Lane).
- Application C – detailed planning application for highways and landscape works at Chalkers Corner.

Full details and scope of all three planning applications are described in the submitted Planning Statement, prepared by Gerald Eve LLP.

This volume of the Design and Access Statement is intended to describe the detailed elements of Application A (Development Area 1).



Planning Application Structure Diagram

A separate Design and Access Statement Volume 3: Design Code has been provided for the outline application for Application A (Development Area 2) and both documents should be read in conjunction with the submitted Design and Access Statement : Volume 1 Masterplan Proposals, which covers the entire Stag Brewery Masterplan including both Development Areas 1 and 2. All Application A drawings (for Development Area 1 and Development Area 2) are included in Volume 5.

The reason for submitting a hybrid application with a detailed planning application for development area 1, is that this is envisaged to be the first phase of development. This area will include the key elements of the masterplan, which create the new vibrant heart of Mortlake that the adopted planning brief aspires to. It is the part of the site which includes the existing Buildings of Townscape Merit and facilitates the main links from the wider area, including Mortlake Green, through the site and down to the river.

Please note that all illustrations contained within this report do not constitute part of the Planning Application, and are intended as visual representations for illustration only. The Planning Drawings included in the Appendix and accompanying this report provides a full description of the proposals.

1.1 Description of development for hybrid mixed use Application A:

Hybrid application to include the demolition of existing buildings (to allow for the comprehensive phased redevelopment of the site:

Planning permission is sought in detail for works to the east side of Ship Lane which comprise:

- Demolition of existing buildings (except The Maltings and the façade of the Bottling Plant and former Hotel), walls, associated structures, site clearance and groundworks;
- Alterations and extensions to existing buildings and erection of 12 buildings varying in height from 3 to 8 storeys plus a single storey basement
- 443 residential apartments
- Flexible commercial and community floorspace to include:
 - i. Retail, financial and professional services, café/restaurant and drinking establishment uses
 - ii. Offices
 - iii. Community use
 - iv. Boathouse
- Hotel / pub with rooms
- Cinema
- Gym
- Offices
- New pedestrian, vehicle and cycle accesses and internal routes, and associated highway works
- Provision of on-site cycle, vehicle and service parking at surface and basement level:
- Provision of public open space, amenity and play space and landscaping.
- Flood defence and towpath works
- Installation of plant and energy centres

Planning permission is sought in outline with all matters reserved for works to the west of Ship Lane which comprise:

- a) The erection of a single storey basement and buildings varying in height from 3 to 7 storeys
- b) Residential development of up to 224 units
- c) Nursing and care home (up to 80 ensuite rooms) with associated communal and staff facilities
- d) Up to 150 units of flexible use living accommodation for either assisted living or residential use
- e) Provision of on-site cycle, vehicle and service parking
- f) Provision of public open space, amenity and play space and landscaping
- g) New pedestrian, vehicle and cycle accesses and internal routes, and associated highway works

1.2 Structure of Design & Access Statement

This Design and Access Statement comprises three sections:

- The Site Analysis section, which reviews the specific site context, history, heritage, townscape and transport considerations that relate to the Detailed Application site Development Area 1.
- The Design Concept and Evolution section, which describes how the Detailed Application proposal relates to the wider masterplan principles.
- The Design section, which describes the detailed design of the Detailed Application.
- The Technical Summary provides explanation for detailed elements of design and strategy for use of the site and buildings.

2.0 Site Analysis

2.1 Site Wide Analysis

A detailed description of the wider physical, social, economic and planning context have been provided within the Design and Access Statement: Volume 1 Masterplan Proposals as well as other documents supporting Application A. This section instead focuses on the specific attributes of Development Area 1.

2.2 Site, Context and Existing Buildings







2.2.1 Site

The following paragraphs explain the particulars of the Detailed Application site (Development Area 1), which consists of a 3.1 Ha parcel of land that sits between Ship Lane to the West, Bulls Alley to the East, the River Thames to the North and Lower Richmond Road/ Mortlake High Street to the South. The site is within the London Borough of Richmond upon Thames (LBRuT).

The site is a former brewery that has been in operation under various management on this site for many years.

The site currently consists of a number of industrial buildings and areas of hard standing that have been used for vehicle and pedestrian access into and around the site. There is currently no green spaces within this part of site. The site is enclosed by a combination of hoarding, masonry walls, metal railings and fences and cannot be accessed by public.

KEY:

	Residential
	Flexible commercial
	Community
	Cinema
	Hotel
	Extra Care

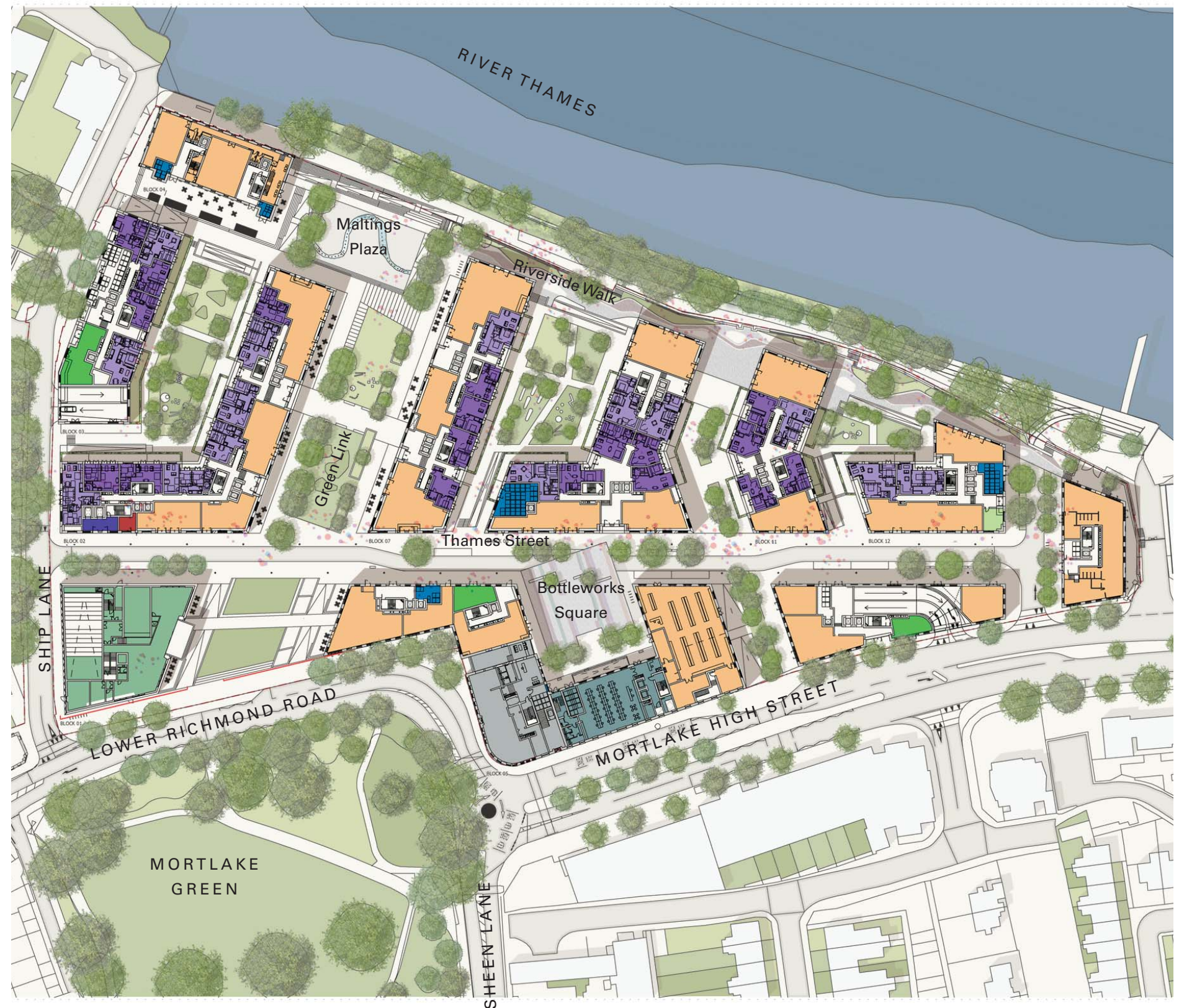


Diagram showing extent of Development Area 1 (Proposed Masterplan)

2.2.2 Context

The immediate context of the Detailed Application site consists of a number of buildings that form part of two separate Conservation Areas as well as a public park – Mortlake Green. The built context is of varied character and has evolved over a long period of time. This history is explained in greater detail within Section 2.6 of Design and Access Statement: Volume 1 Masterplan Proposals. The following elements form the immediate built context to the proposal:

- **Riverfront Context**
- **Context surrounding Mortlake Green**
- **Context along Lower Richmond Road**
- **Context along Mortlake High Street**

Mortlake Green has been a public open space since 1860 when it was donated to the parish. The Green currently consists of a large expanse of grass lawn, a small playground area enclosed by metal railings and a number of mature trees and shrubs of varied quality.

The site faces on to the river Thames and a historic towpath exists along the bank of the Thames to the North of the site. The stretch of the Thames that the site overlooks is used as the final part of the annual Oxford and Cambridge Boat Race.

The site has a PTAL rating of 2 and is located close to a number of public transport options including the following:

Mortlake Station – provides rail access to Vauxhall and Waterloo as well as Twickenham and Richmond to the West.

Bus Routes provide access to Richmond, Whitton and Hampton Court Park to the South West, Hammersmith and West Brompton to the North East and Roehampton Vale to the South.

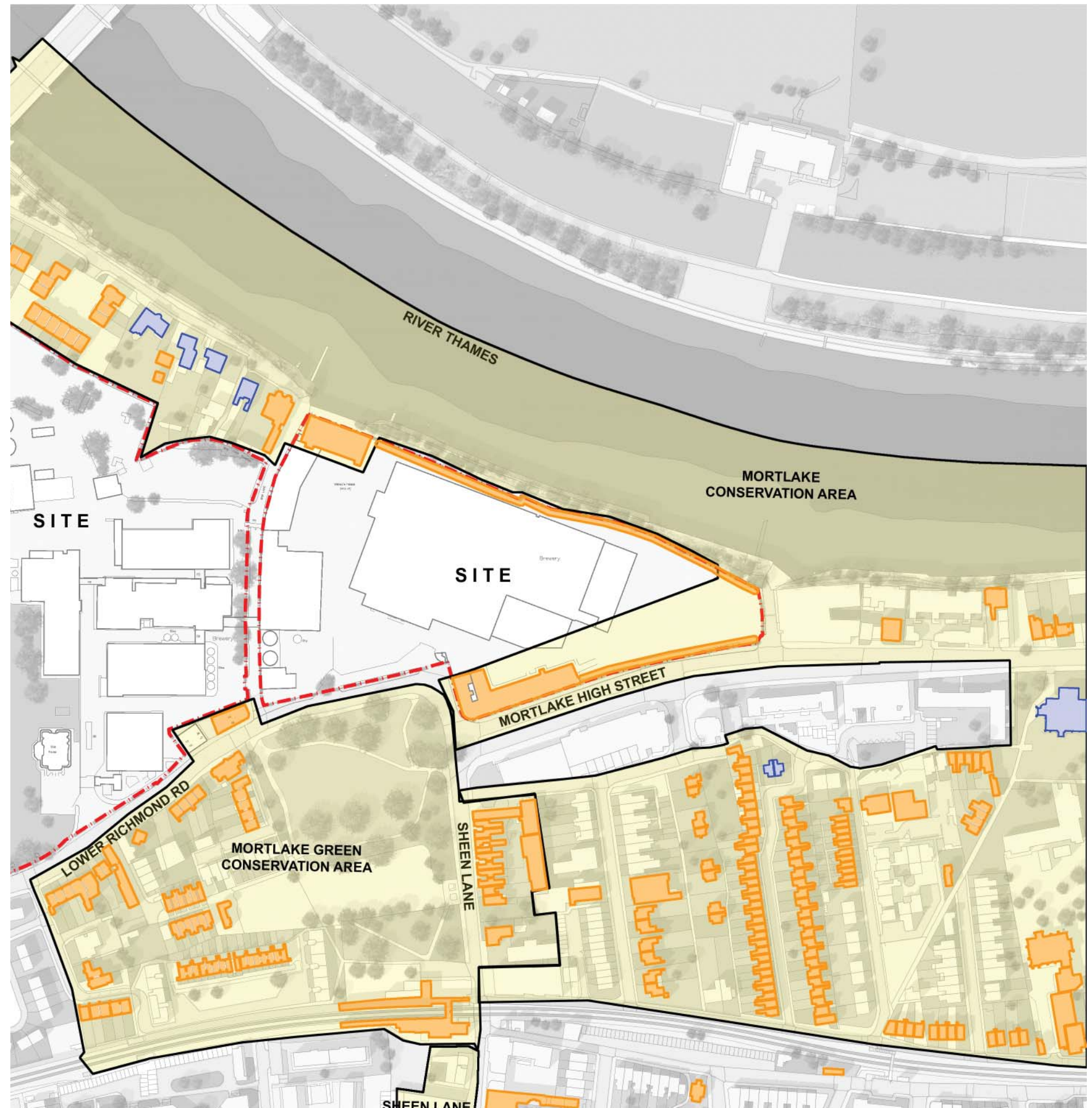


Diagram showing relationship of Detailed Application Site to Conservation Areas and listed buildings

2.2.3 Existing Buildings

The majority of the existing buildings that exist on this former brewery site are of little townscape significance since they were built as industrial buildings using utilitarian materials. There are however three existing buildings that are identified by LBRuT as Buildings of Townscape Merit (BTM).

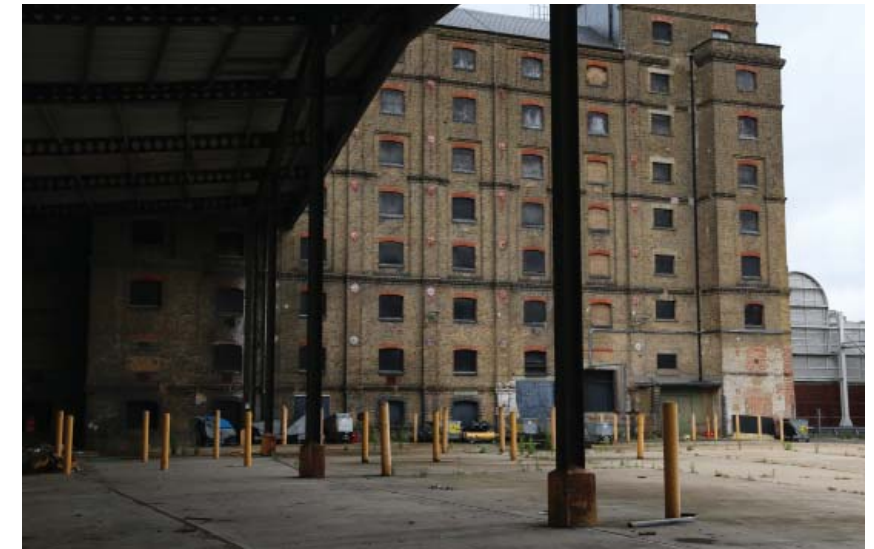
These buildings, the Maltings, the Hotel and the Bottling Works, are proposed to be retained and adapted to alternative uses within the proposal. These buildings comprise the following:

Maltings

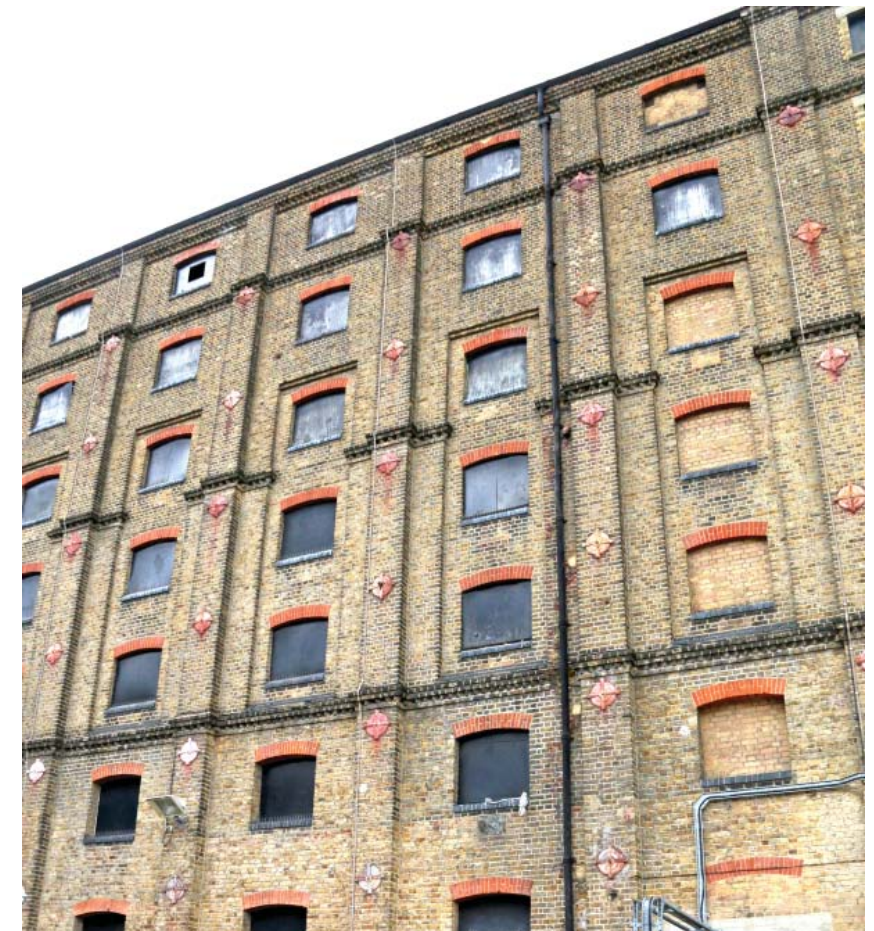
Built in c1902 to an in-house design by the brewing company Watney, Combe, Reid & Co. Ltd, the maltings building sits at the junction of Ship Lane and the Thames towpath.

The existing building consists of an external shell and internal steel structure with floors only at ground and basement level of the building. No malting fixtures or equipment remain within the building.

The surviving shell is in the form of a part eight-storey, part nine-storey building over a basement constructed from sparsely decorated load bearing London stock brick. It has a double pitched slate roof arranged parallel to the river and towpath, a higher, 9 storey section at its east end with a pitched roof set at ninety degrees and a two-bay wide gable facing the Thames, and an identical gable facing south into the brewery site. The building's long elevations, facing north and south, are of ten bays of regularly spaced window openings. Those have arched heads in red brick. The window openings are all blocked off. The short elevations have windows to the west, while the east elevation has blind openings set into a largely rebuilt brick wall. Cornices divide the building into horizontal bands, with dogtooth corbelled brickwork detailing.



Photograph of existing Maltings building - South facade



Photograph of existing Maltings building - South facade



Photograph of existing Maltings building - North facade

Former Hotel and Bottling Building

These two joined building elements were built to serve two different functions at different times in the history of the site although they now form a strong element of urban form with a value which is identified by their status as BTMs. The earlier portion that faces Mortlake High Street was built circa 1869 to serve as a bottling building to the brewery and the latter portion that joins to the West and sits on the junction of Mortlake High Street and Sheen Lane was constructed to serve as a hotel in the late 19th century.

The former hotel building sits at the junction of Lower Richmond Road and High Street, and follows the curve of the road. The Victorian brick building has been converted into offices in recent times and retains no interiors of interest. The building is a part three-storey, part two storey-structure built on a U-shaped plan around a central yard. It is constructed from fair faced London stock brick laid in Flemish bond with fenestration in the form of (mainly replacement) double hung timber sliding sash windows. Over each floor are simple string courses in brick. There are 'dogtoothed' brickwork corbels as cornices at each floor level and in the chimneys. The building has exposed pitched roofs finished in artificial slates, and two prominent chimneys set onto the central curved part of the building. The building's return elevation which faces north into the brewery site is similar to the street elevation. At ground floor level a modern glazed lean-to structure has been attached and detracts. Most of the brickwork east of this lean-to has been rebuilt. This building has most recently been used as a canteen and offices. It has been comprehensively refurbished internally and stripped of any historic features of note.

The former bottling building is set hard against the pavement of High Street and rises to three storeys. The front is built from fair faced London stock brick laid in English bond, and has a pitched roof hidden behind a parapet. This elevation has a series of small arched window openings at lower ground level which have all been blocked off, and larger arched openings on the level above with modern replacement timber framed casement windows. The top level has a number of very

small timber framed windows set, in front of recessed blind openings, which in turn are set into larger decorative arched blind openings. Above the raised ground floor and the first floor are simple string courses in brick. To the west at high level is a large door opening with a simple modern double timber door with an exposed steel beam over, and cills in modern engineering brick; this door would have served for delivery or pick up. The building has two circular stone plaques at high level which feature the letters P and W – they stand for Phillips and Wigan, brewers at the time of construction. The parapet has stone copings to parts of the outer sections of this elevation, and concrete copings to the stepped central parapet; beneath the central parapet is a large rendered area with an inscription that reads: 1869 MORTLAKE BREWERY. The rear facade is not finished with the same materials or details: this facade has a number of irregularly placed bricked up windows, ragged brickwork where floors have adjoined and a projecting valance containing a hoist. The facade is of very poor condition and has been painted throughout.

Internally the building retains original cast-iron columns at basement, ground and first floor which hold up arched painted brick ceilings. The columns allow for open plan floor plates which survive largely in their original form, but are devoid of any machinery associated with the bottling process, and are now used as shelving/ storage space. The floors have modern finishes, and the walls are in the form of painted brick. The top floor under the roof is plainer, without columns, and has a modern metal truss roof with a section at its centre which have substantial steel beams; this may have been constructed following bomb damage in the Second World War.



Photograph of former Bottling and Hotel building



Photograph of former Hotel building



Photograph of former Hotel and Bottling building

Existing boundary walls

Another significant existing attribute of the site is the site boundary, (and within the Mortlake Conservation Area) which consists of a series of historic sections of brick walls.

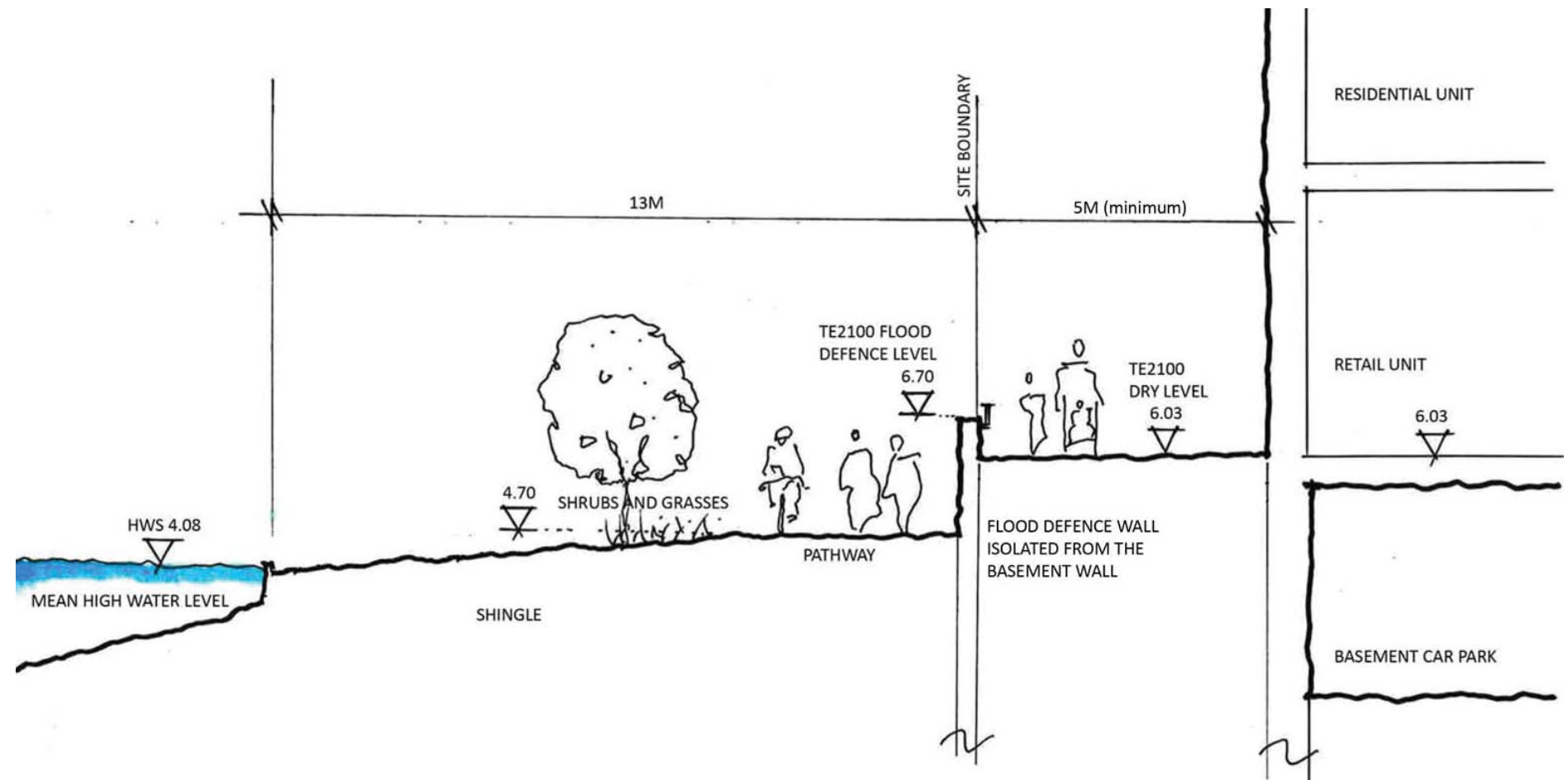
These boundary structures are considered by the Stag Brewery Planning Brief 'to contribute, in varying degrees to the significance of the Mortlake Conservation Area'. The Brief also recognises that they 'create a barrier to visual and physical permeability of the site'.

The boundary to the South of the site is proposed to be largely retained within the proposal for the Hotel/ Bottling building.

The other significant boundary structures to the North and East are proposed to be retained and altered to suit the new site configuration and use.

The Northern boundary currently consists of five different sections of wall that serve to separate the brewery site and the public towpath. This boundary will be reduced in height to provide views from a new public promenade that runs alongside the towpath at a higher level within the Stag Brewery site. Limited sections of wall will be removed entirely in order to facilitate the connection of a new Green Link with the existing towpath and where new ramped and stepped access is proposed to connect the existing towpath with the new higher level promenade. The function of this wall as a flood defence mechanism has been carefully considered and proposed new structures and landscape levels will serve to mitigate the flood risk to the site and surrounding area.

The brickwork boundary structure to the east nearest Bulls Alley is proposed to be retained and altered in a similar manner to provide a lower wall enclosing an area in front of the proposed new Boat Club that will be incorporated within the ground floor level of Building 9.



Sketch illustrating strategy for provision of new raised public pedestrian route alongside the existing towpath with the retention of the lower part of the boundary wall



Photograph of existing Northern boundary wall



Photograph of existing Eastern boundary wall - towards Mortlake High Street



Photograph of existing Eastern boundary wall - adjacent to slipway

2.2.4 Site Constraints

The Stag Brewery Planning Brief formed the basis of the Masterplan proposal, however a number of site constraints were taken into consideration in the development of the Masterplan and Detailed proposals:

- Flood Risk
- Existing traffic flow and safe crossing places
- Historically important Northern perimeter wall (not Listed)

These site constraints and further site wide analysis is more fully described in the Design and Access Statement Volume 1: Masterplan Proposals.

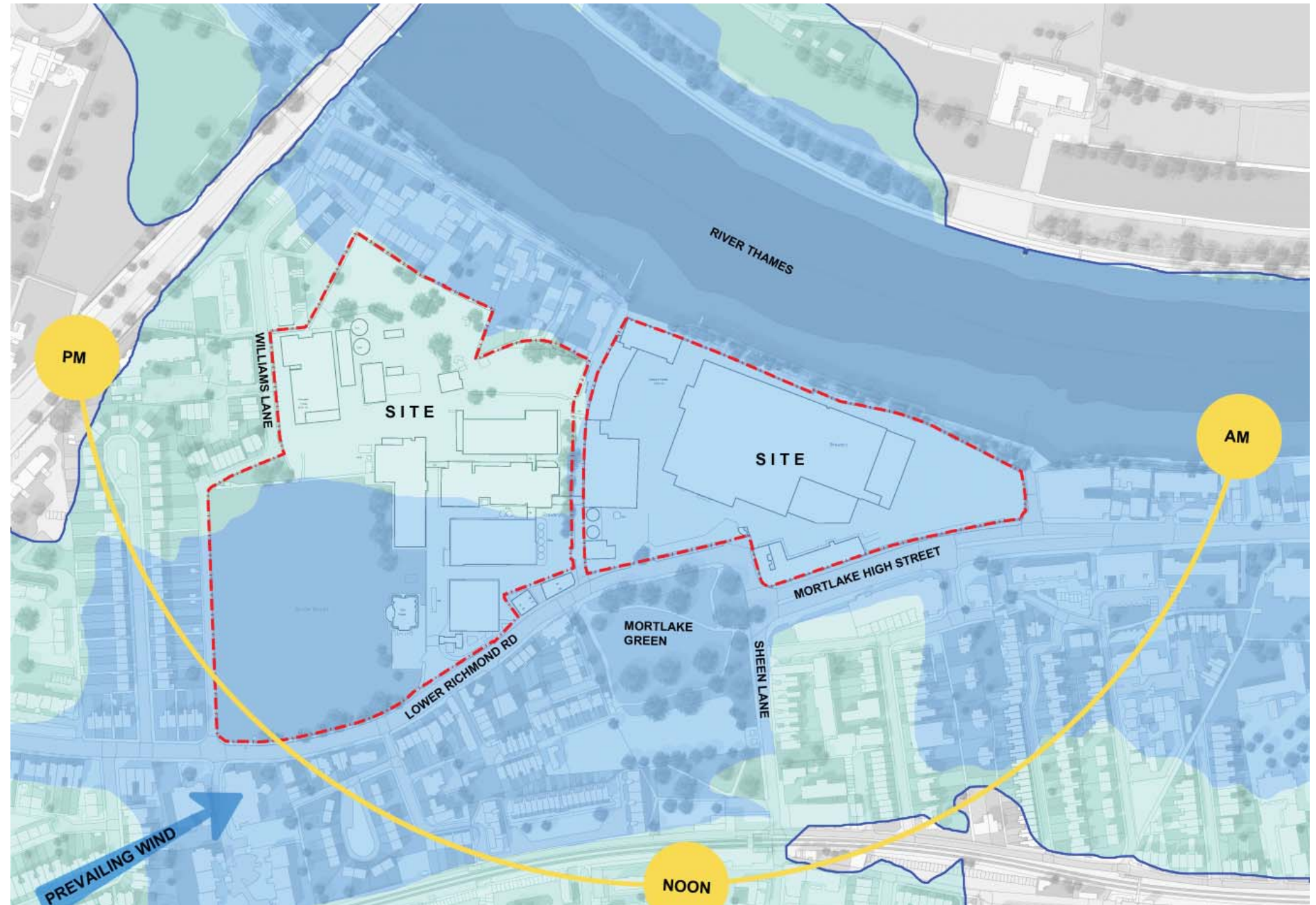


Diagram showing extent of flood risk across the site



The wider impact of the development on Chalkers Corner must be considered



Traffic issues relating to the Sheen Lane roundabout are of particular concern



Photograph of existing towpath and historically important wall

3.0 Design Concept and Evolution

3.1 Stag Brewery Planning Brief

Stag Brewery Planning Brief was prepared by LBRuT. This Planning Brief informed the Masterplan proposal in terms of Design Vision and Objectives and Key Design Rationale.

3.2 Design Vision and Objectives

The detailed design of Development Area 1 aims to develop the design with the principles of the Masterplan to realise the objectives of creating a vibrant heart for Mortlake. The overall vision is to provide a new heart to Mortlake that will serve both existing and proposed new local residents as well as visitors from other areas. The design approach elaborates the Masterplan building typology to refine the building massing to respond to the Planning Brief and create an attractive townscape that works cohesively with its existing context.

Key objectives for the design of the buildings were:

- To provide a variety of animated building appearances developing the building typology and bringing elements of detail drawn from the history of the site and the context
- Create clearly defined public spaces and routes that enhance amenity provision and increase permeability and accessibility through the site and create a clear sense of space
- Avoid overbearing relationship with context – particularly with lower level buildings and the existing towpath

3.3 Key Design Rationale

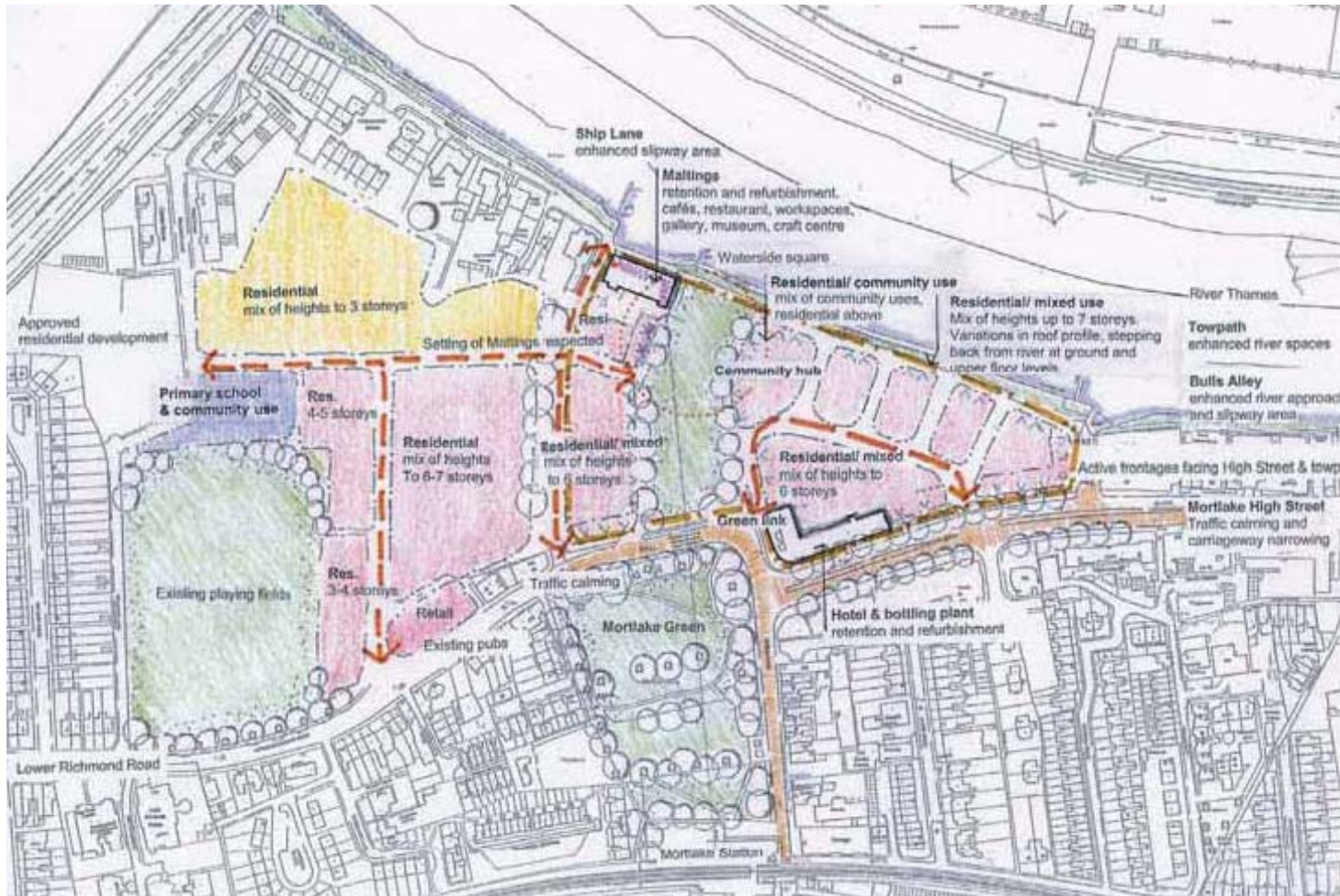
A number of key features were proposed within the illustrative masterplan that appended the Stag Brewery Planning Brief. These included the following:

- A Green Link connecting Mortlake Green with the River Thames
- A Community Hub situated on the Green Link
- A new East/West route through the site lined with mixed uses
- Residential buildings facing the Thames and with open space interspersed
- Active frontages along Mortlake High Street
- Re-use of the existing Locally Listed Maltings and Bottleworks buildings

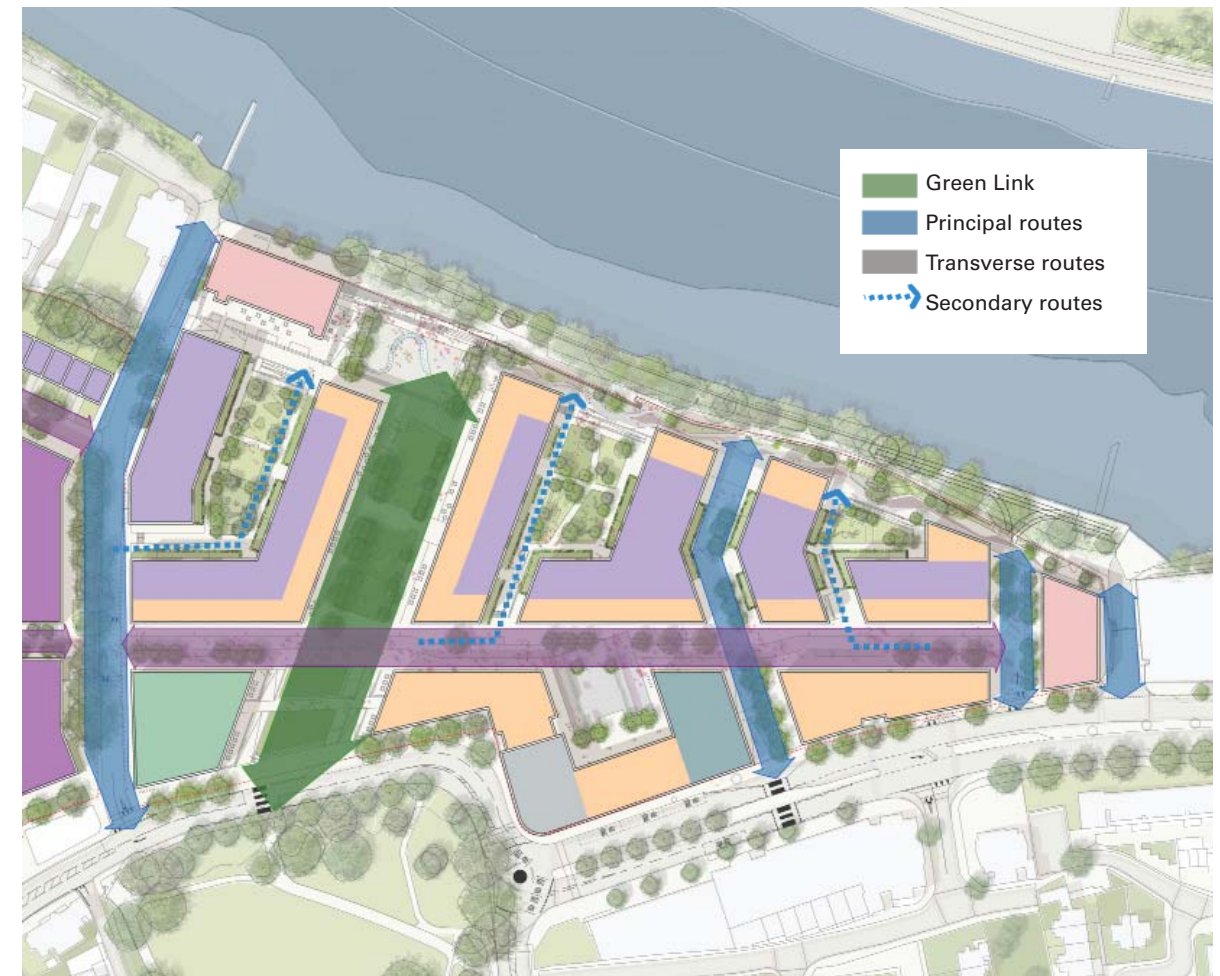
In setting out a new network of streets and open spaces, the masterplan carves out a number of building forms that will respond to the varied context in different ways. Likewise, the form of the buildings will have an impact on the character of the open spaces that sits amongst the buildings.

These relationships have informed the distribution of uses and the approach to appearance that has been used across Development Area 1. A more detailed explanation of the proposed distribution and appearances is provided within Section 4.0.

The Masterplan proposals, as outlined in the Design and Access Statement Volume 1, amplifies the original key features of the Planning Brief, bringing a clear urban structure of permeable routes, garden courtyards and a new High Street an public spaces.



Stag Brewery Planning Brief - masterplan sketch





Proposed urban structure defined by permeability through the site for Development Area 1 of the masterplan

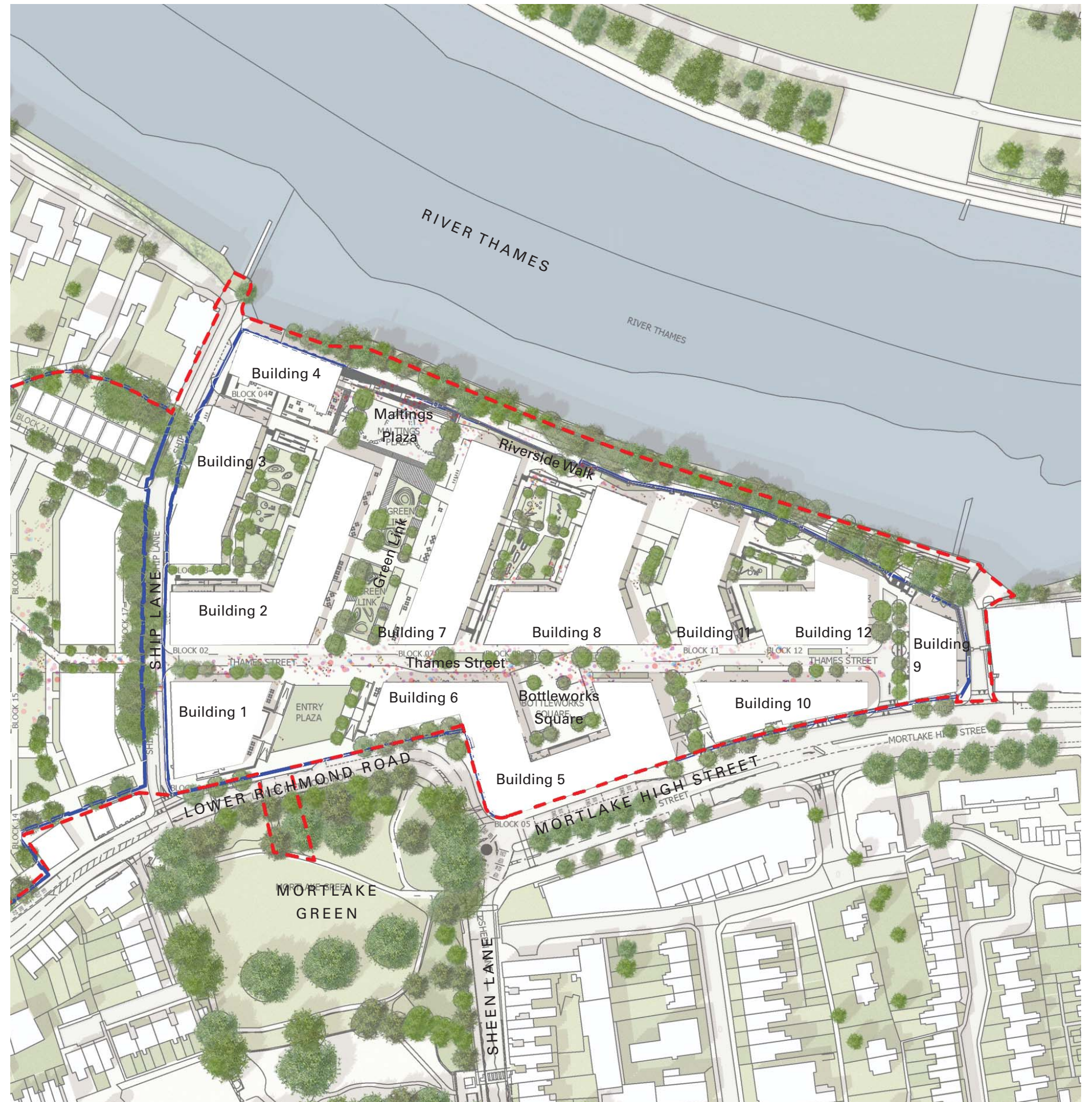
3.4 Masterplan Proposal

An explanation for the evolution of the proposed Stag Brewery Masterplan and how it follows with the Planning Brief is included within section 5.0 of the Design and Access Statement : Volume 1 Masterplan Proposals.

The Masterplan sets out the layout of building blocks, routes and open spaces within both Outline and Detailed Planning Applications that are submitted as part of the hybrid planning application A. The detailed design of Development Area 1 is explained within the following section.

KEY:

-  Application Boundary
-  Ownership Boundary



Masterplan proposal building and landscape layout

3.5 Consultation

An extensive consultation was undertaken with the Local Authority, Statutory Consultees, Key Stakeholders and the local community. Details of this consultation are included in section 3.6 of Design and Access Statement : Volume 1 Masterplan Proposals and the Statement of Community Involvement that accompanies this application.

Regular liaison with the planning officers has meant that the masterplan and detailed appearance of the proposal have benefited from their input. A number of items have been of key interest to the planners:

- Sensitivity to existing context in terms of both massing and appearance
- Variety in heights and dropping of heights along waterfront
- Appearance of varied building typologies, including facades and roofscape
- Adherence with the Planning Brief heights
- Optimisation of public open space
- Widening of new High Street to avoid overlooking issues

Two Public Exhibitions and a regular series of Community Liaison Groups were held at the Stag Brewery Sports Club. These provided the wider public and key local residents and councillors the opportunity to review and comment on the proposal as the design has developed. A number of key issues regarding the overall masterplan as well as the Phase 1 proposal were raised. The issues relating to the masterplan for the Detailed Application Site were as following:

- Impact on existing traffic due to density of development
- Campanile proposal too high and not in-keeping with context
- Green Link not wide enough



Photograph from Stag Brewery public exhibition





3.6 Design Development

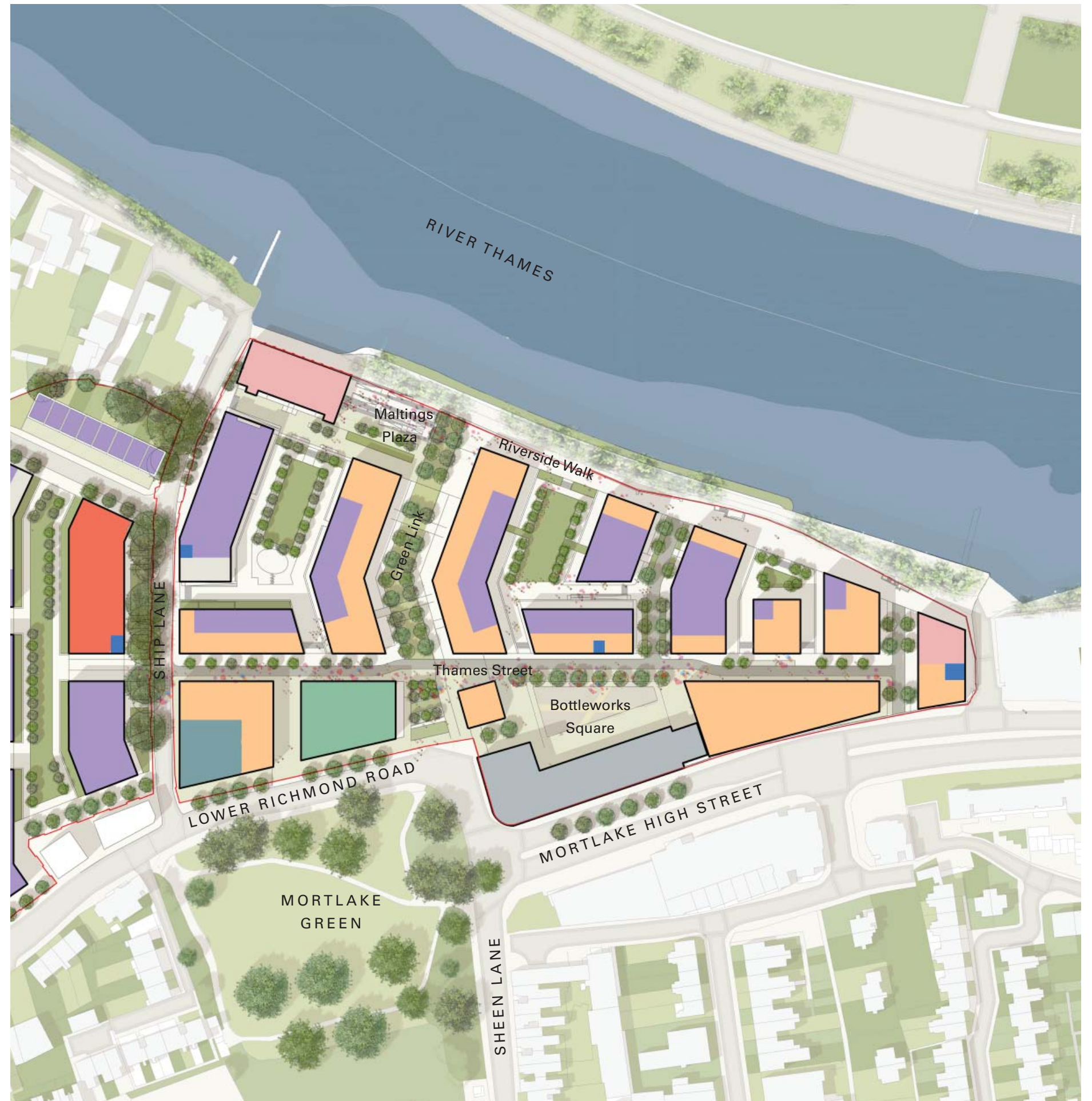
During the consultation process a number of alterations were made to the masterplan and heights for Development Area 1. These included the following:

- Re-orientation and widening of the Green Link
- Removal of campanile building
- Widening of entrance to the green link
- Widening of new High Street route
- Widening and making the permeable routes more legible
- Reduction of heights of buildings along Mortlake High Street
- Varying of building next to the Riverside

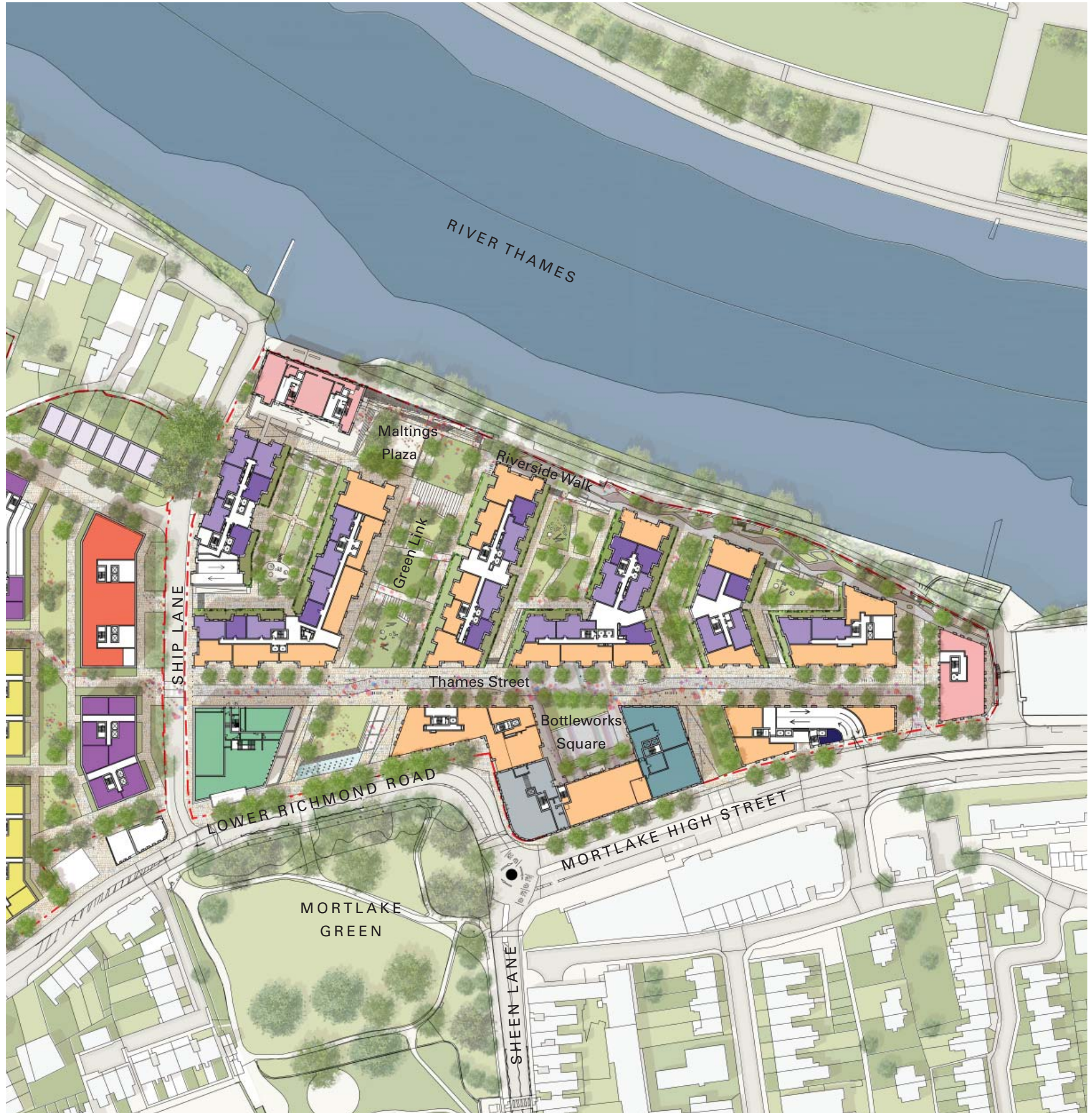
The building massing and appearance has also been carefully considered and refined to address the planning officer comments.

KEY:

	Residential
	Flexible commercial
	Community
	Cinema
	Hotel
	Extra Care



Masterplan proposal for Development Area 1 that was presented at the first Public Exhibition



Detailed Application Proposal at Second Public Exhibition showing design development



View of Green Link - First Public Exhibition



View from River - First Public Exhibition



View from River - Second Public Exhibition

4.0 The Design

4.1 Structure and Layout:

The street structure set out in the masterplan focuses on creation of a new high street (Thames Street) running in an East/West direction and a major new Green Link in a North/South axis between the River and Mortlake Green. These are the primary public routes through Development Area 1.

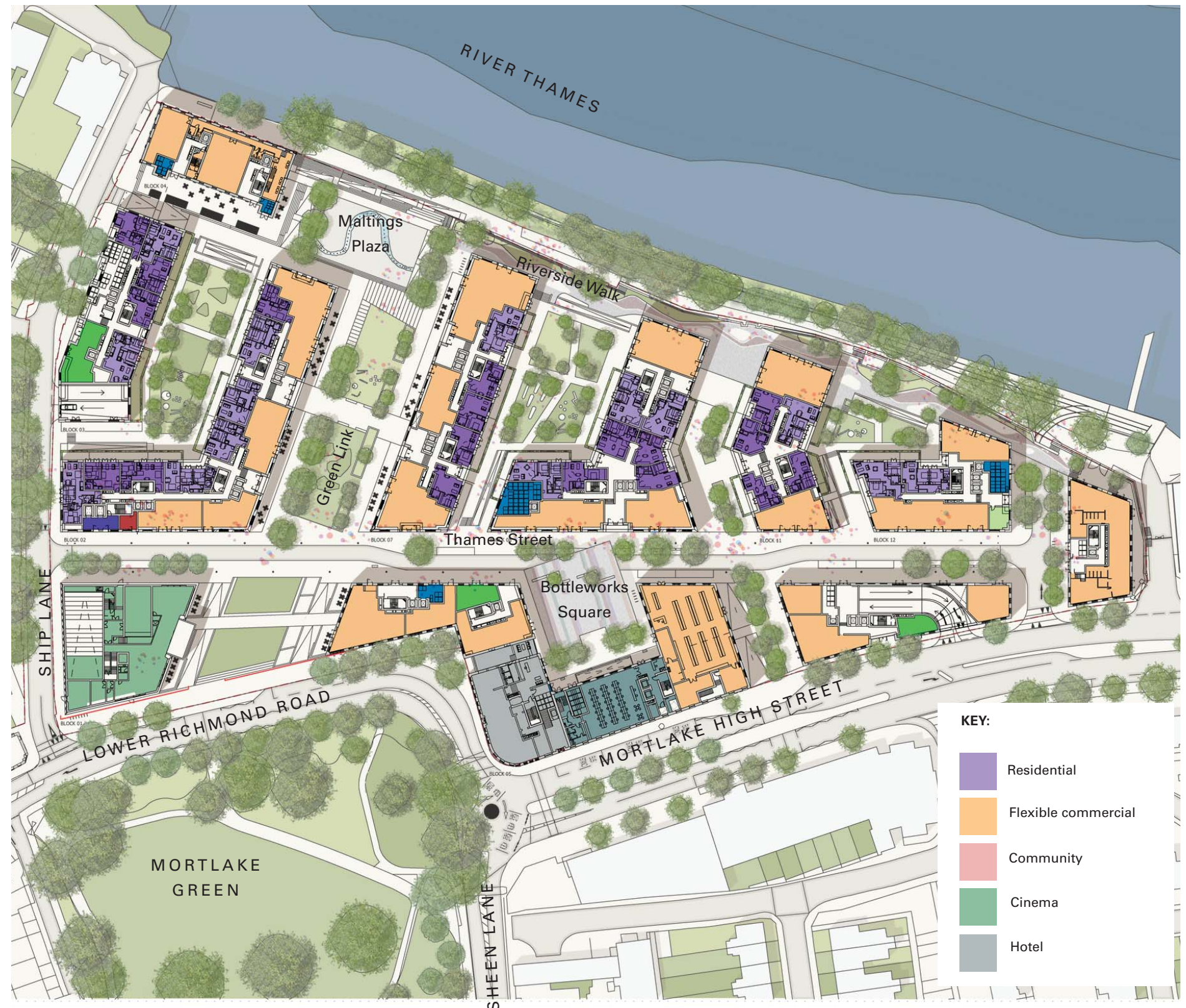
To the North of Thames Street three clusters of courtyard buildings are proposed. The courtyard configurations maximise river outlooks and prevent the waterfront from being dominated by continuous built form.

Two other public open spaces are provided in the form of Bottleworks Square and Maltings Plaza. The former open space is defined by a number of new and existing buildings including the former Bottling and Hotel Building (Building 5). The latter is a public space situated on the waterfront adjacent to the former Maltings building. This public space will serve the unique location for hosting audiences of the annual Oxford Cambridge Boat Race and is designed to take reference from that history and suit the adaptive use.

Street widths and distances between buildings have been carefully considered to create a range appropriately proportioned streets. There are several different street widths on the site from the Green Link which is between 30m and 38m and smaller routes through the site which are 15m generally with some openings between blocks around courtyards narrowing to 10m. The layout of windows in these areas has been minimised and apartments generally have secondary bedrooms or non-habitable rooms on these areas to ensure adequate amenity and privacy between dwellings. The number of these areas have been minimised and most apartments overlook much wider courtyards or the Green Link. A small proportion (less than 5%) of apartments are single aspect looking north, due to the need to create the new east-west route of Thames Street

4.2 Distribution of uses

The Planning Brief established a clear indication for the range of uses that should be provided within any new development. This has been embraced by the Applicant, with the Development Brief including not only residential and retails uses but also office, cinema and community uses. These uses have been distributed throughout the masterplan layout in a manner that responds to the context and ambitions in terms of movement through the site.



Masterplan Proposal for the Detailed Planning Application - Ground Floor Plan

The Green Link and Thames Street were perceived as a means of increasing permeability and providing significant new public open space. It is therefore considered appropriate that flexible use activity should line these primary thoroughfares at ground floor level.

A stand-alone cinema building (Building 1) is proposed at the entrance to the Green Link on the junction of Ship Lane and Lower Richmond Road. The aim of this is to provide a welcoming public building facing the main routes of approach from the Roads and Railway Station and marking the main route down to the riverside.

The courtyard blocks facing the River Thames (Buildings 2, 3, 7, 8, 11 and 12) benefit from attractive outlook directly on to the River and will be set away from the busier existing highways to the South (Mortlake High Street and Lower Richmond Road). The combination of these attributes lend themselves to residential dwellings that would benefit from the resultant shared amenity space of the garden courtyards between buildings at ground floor level.

The adaptation of the existing Maltings (Building 4) and Bottling and Hotel (Building 5) buildings has been carefully considered to provide appropriate uses. The existing Maltings (Building 4) building has a repetitive rhythm of windows on both North and South facades. The floor to floor height of the existing building was limited to maximum approximately 2.4m due to its former use and need to prevent overloading of floors with malted barley. This floor to floor height does not lend itself to flexible uses, which typically require more substantial height, however it would suit a residential use, which can accommodate some internal spaces within a more limited floor to ceiling height. The existing Bottling and Hotel building (Building 5) is composed of different building components from different eras. These components were used for different purposes that were not physically connected to one another. The consequential internal level changes and façade variation would make disjointed internal space if used for a single use. It is therefore proposed to serve a variety of new uses including flexible use, gym, hotel and office uses.



Perspective visualisation of Green Link



Perspective Visualisation of Bottleworks Square