

HERITAGE IMPACT ASSESSMENT DEVELOPMENT WORKS AT STABLE BLOCK, MARBLE HILL, LONDON TW1 2NL



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1. INTRODUCTION

1.1 This Appraisal has been produced to support Listed Building Consent and Full Planning applications for works to the Stable Block at Marble Hill, London, Twickenham TW1 2NL. It has been produced in accordance with NPPF, Section 16: *Conserving and enhancing the historic environment*, paragraphs 189, 192, 193 and 194 to demonstrate the understanding of the place and assess the impact of the proposal on its significance as a heritage asset.

1.2 Marble Hill House and Park are owned freehold by English Heritage Trust. The Charity is in the process of developing a major project to transform and deliver a sustainable future for the site, representing the house and its landscape setting in a way which is commensurate with its historical significance, architectural importance and to enhance the understanding of the extraordinary life of its original owner Henrietta Howard, onetime mistress to George II, socialite and intellectual.

1.3 The project includes repairs, restoration, access improvements and new interpretation of the House and the 18th-century. The House and its gardens are both assets of international importance and will be open to the public free of charge. To provide financial support so as English Heritage is able to recreate, best interpret and tell the story of the site, as well as create community engagement opportunities, it is necessary to upgrade the café and other facilities within the 19th-century Stable Block. The Stable Block itself will also benefit from conservation repairs and upgrades of systems and services as well as refurbishment of the public toilets. This Appraisal focuses on the works planned at the Stable Block.

1.4 To complete some of these works the Trust is seeking Parks for People grant from Heritage Lottery Fund for the landscape restoration works and had been successful in their Phase 1 development costs application.

1.5 This Appraisal outlines the impact of the works on the significance of the listed Stable Block and Registered Marble Hill Park. This document complements and should be read in conjunction with a separate Heritage Appraisal considering the impact of the works on South End House, its gazebo and Design and Access Statement prepared by vHH Architects.

1.6 The proposal has been consulted with Historic England who are satisfied that in principle the works are acceptable and enhance the significance of Marble Hill as a heritage asset.

2. THE SITE

2.1 Site Location

2.1.1 The site consists of the Marble Hill Stable Block with its surrounding area and the rear courtyard delineated by a brick boundary wall with South End House to north-west.

2.1.2 Marble Hill is situated on the north bank of the River Thames (National Grid Reference: NGR TQ 17353 73651), c. 1km upstream from Richmond Bridge and on the opposite bank to Ham House. Richmond town is c. 2km to the north-east, and Twickenham c. .1km to the south-west. The park is separated by iron railings from Warren Path, an asphalted footpath which runs alongside the river to Richmond. Richmond Road and the backs of houses in Cambridge Park provide the boundary to the north and east, Montpelier Road and Orleans Road the boundary to the west.

2.1.3 Stable Block forms part of Marble Hill estate which was created for Henrietta Howard in 1720s and focuses on Marble Hill House, a compact, quintessential Neo-Palladian villa situated in the centre of the park. Stable Block forms an important landscape element in the park with views across from the east, the great lawn and Marble Hill House focussing on this historic building.

2.1.4 To north-west of the Stable Block, seen over the boundary wall, there stand South End House and Montpelier House.

2.2 Heritage Assets: Description and History

Stable Block

2.2.1 Marble Hill Stable Block was constructed in c.1827 by Lieutenant-General Jonathan Peel, a politician, soldier and patron of the turf who owned Marble Hill at the time.

2.2.2 The building consists of a two-storey linear block running N-S, with a hipped pitched roof with front pediment and small central clocktower, and two single storey rear wings, again with hipped roofs. It is made of loadbearing brick, with sash windows, doors and clocktower in painted timber, with slated roofs. The east (principle) façade is distinguished by a symmetrical composition, with the clocktower above and a central carriage arch giving access to the yard at the rear as originally conceived. The other facades are less visible and less formal, partly as they have been extensively altered over the years, with one remaining pair of large timber coach house doors to the north wing.

2.2.3 Originally the building included 6 stalls for carriage and working horses and 3 loose boxes where more valuable horses, perhaps mares with their foals, were kept. Archival plans from 1905 show that the building was converted into two tenement houses. The stalls partitions are still intact and located in main range on the ground floor together with the office and tack room, while the rear wings acquired service function – in the south one of the loose boxes was converted into a wash house and the north wing, originally a cart shed,

was later converted to a garage. The upper level provided residential accommodation including bedrooms, scullery and coal storage.

2.2.4 Externally the building is relatively unchanged, its principle, east elevation is distinguished by elegant simplicity and retains its original volume, proportions, architectural articulation and detailing as well as the number, rhythm and detailing of all the openings. The rear elevations has been most altered with a number of new openings, blocking of others and removal of one of the original cart doors.

2.2.5 Internally the layout has been subject to alterations carried out in the 1960s. These alterations are mostly confined to the ground floor, with the stalls partitions and several dividing walls removed and the north range converted into toilet facilities. Some of the original features such as chimney pieces, panelling in the small office have been retained. The position of the horse stalls in the south range is marked by the surviving partition posts (for phasing of the building see Figs. 1&2).

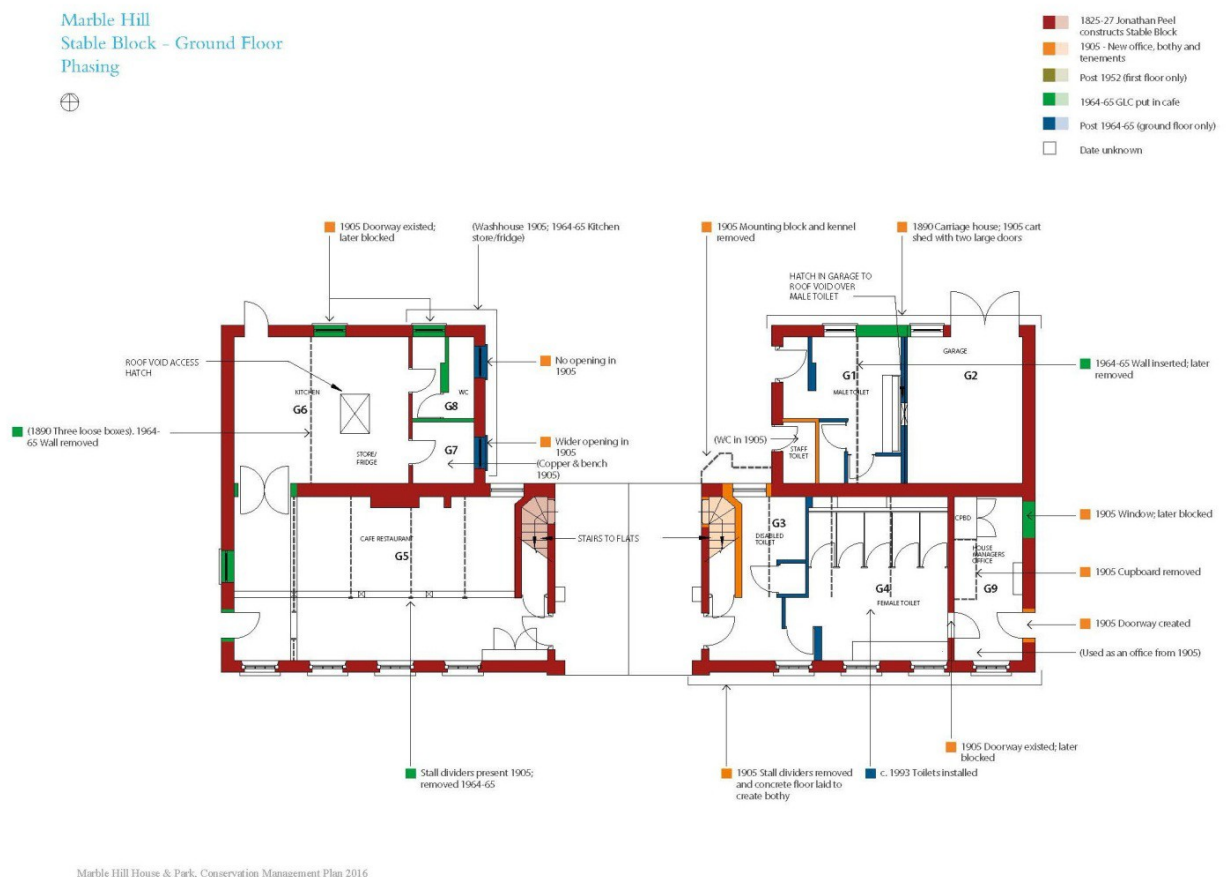


Fig. 1 Stable Block, ground floor. Phasing and evolution.

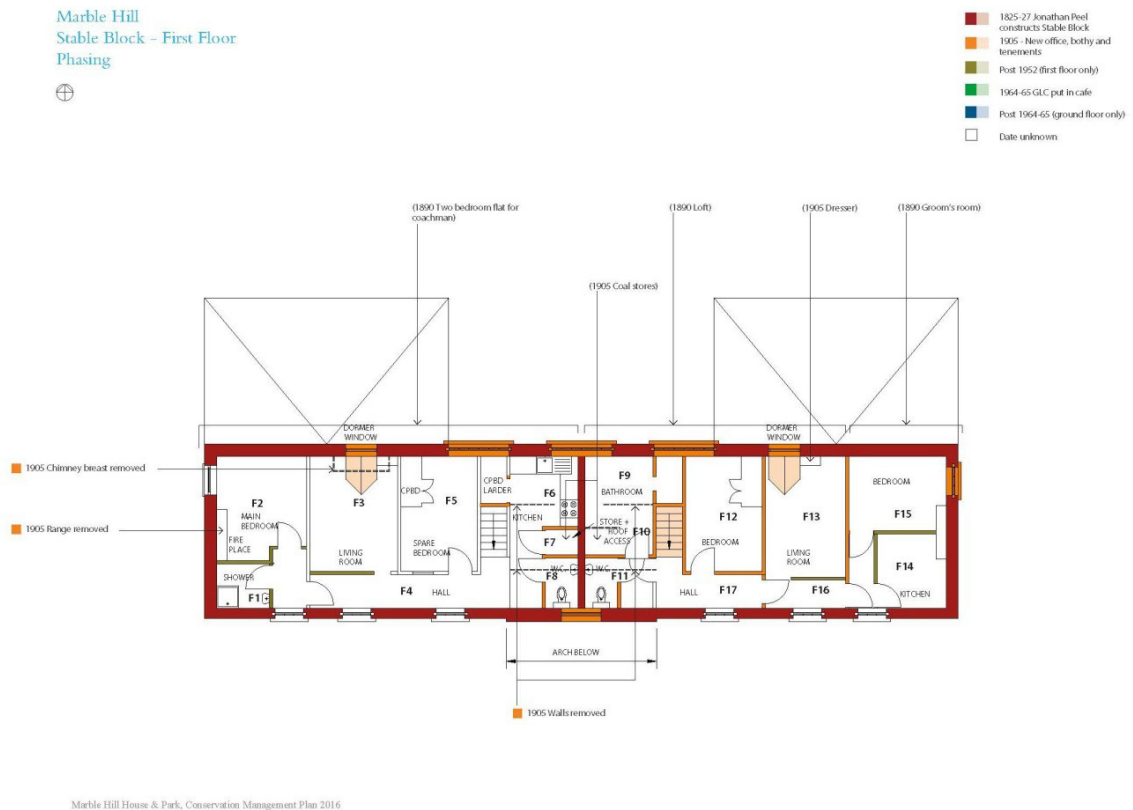


Fig. 2 Stable Block, first floor. Phasing and evolution.

2.2.6 At present the building houses the café, public toilets and flats for staff on the first floor. The raised beds in front of the block were thought to have been added with rubble from the Second World War but current tests indicate that they contain only soil. To the rear of the Stable Block is a walled yard. This is currently used for car parking and is poorly presented. Historic OS maps provide evidence for existence of some structures in the yard, and adjacent to its south-west corner, in the 19th and 20th centuries (2nd edition of 1896 and 4th edition 1935 see Figs. 3&4 below). Historic stone setts are present beneath the modern surfacing.

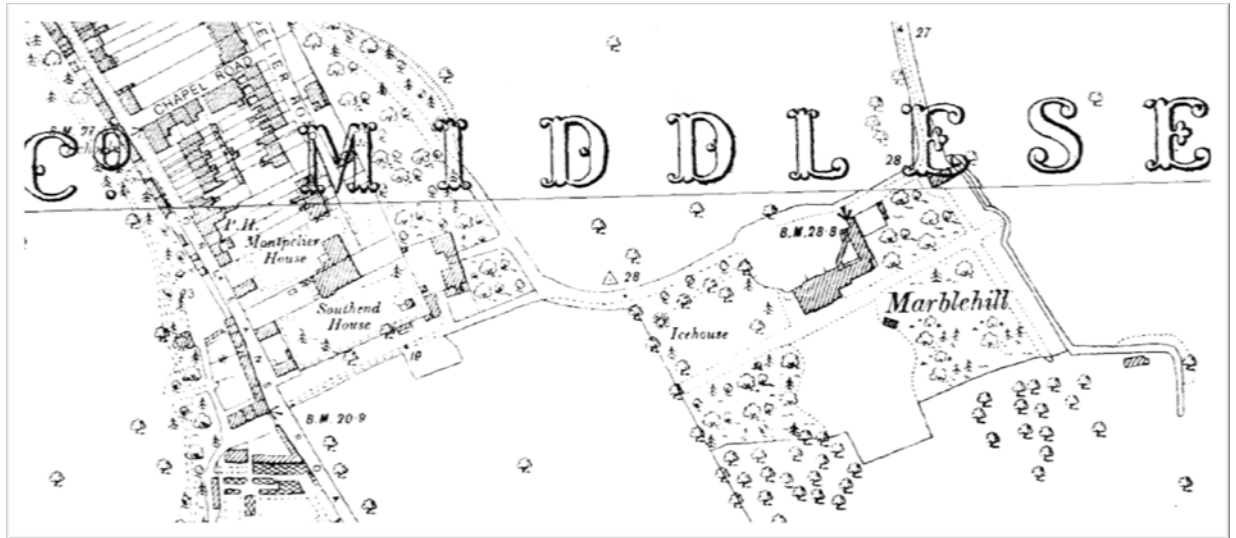


Fig. 3 Marble Hill, 2nd Edition OS map (1896).



Fig. 4. Marble Hill, 4th Edition OS map (1935).

2.2.7 Associated with the stable block is a disused GLC changing block located to the north and hidden in the shrubbery of the Sweet Walk. It is made of timber, well detailed, and in fair condition. It does not have a negative impact on the setting of the Stable block and as such, it is anticipated that the block will be retained. To the north-east of the stables, at the corner of the shrubberies is a small shed clad in waney-edge boards, containing a ticket machine for the tennis courts.

Boundary Wall

2.2.10 The boundary wall to the west of Stable Block is a 19th-century structure, built most probably together with the Block. It encloses the Stable Block backyard on three sides, with independent access given from the south via a pair of timber gates framed by tall brick piers. The northern side is also partly open to a garden beyond, but with no trace of gates. It is made of variable purple stock brick and rises to approximately 1.8 metres in height, and extends to a length of 30 metres. It has a western lean along much of its length of some four

degrees from perpendicular. A considerable length of the west wall has been reduced by c.0.75 metres from its original height to 1.8 m. The wall is considerably higher to the south.

(For a detailed description of South End House and associated assets including the boundary wall see a separate Heritage Impact Assessment submitted as part of this application).

2.3 Designations

2.3.1 The Site contains statutory listed structures. The Stable Block is grade II listed and forms part of Marble Hill Park, which is a grade II* Registered Park and Garden.

2.3.2 Within the 500m study area, the assessment has identified two Grade I, 11 Grade II* and 23 Grade II listed buildings. The Grade I Marble Hill House (AOC 114) is located c. 250m west of the proposed site. A grade II listed Gazebo stands to south-west of the Block, beyond the boundary wall with South End House, which is grade II* listed together with Montpelier House to the north. The boundary wall itself is curtilage listed.

2.3.3 A grade II Ice House stands to the east of the Stable Block. Grade II listed White Lodge stands at the north-west entry to Marble Hill Park. Along Montpelier Row there are a total of five Grade II* and five Grade II Listed Buildings.

2.3.4 The site lies within Conservation Area 8: Twickenham Riverside, and within an Archaeological Priority Area, both designated by Richmond upon Thames Borough Council.

2.3.5 Three other Conservation Areas, as designated by Richmond upon Thames Borough Council, lie within the 500m study area, comprising 21: Cambridge Park; 48: Amyand Park Road; and 49: Crown Road.

2.3.6 The proposed development site does not lie within or within 500m of any nationally designated Scheduled Monuments, Registered Battlefields or World Heritage Sites.

2.3.7 A total of 77 non-designated heritage assets, registered on the Greater London Historic Environment Record, fall within the 500m study area. None of these fall within or are adjacent to the site's boundary.

3. THE PROJECT

3.1 Project Background

3.1.1 At present both Marble Hill House and its grounds do not meet their potential as a heritage asset and tourist attraction and the site incurs a substantial annual loss. To address this issues English Heritage Trust is developing a large project involving restoration and repairs to the grade I listed Marble Hill House and its historic landscape and introducing new interpretation integrating the House and its surroundings. It also proposes some internal alterations of the 19th-century Stable Block to improve the catering offer for the whole site.

3.1.2 The project as a whole will improve the knowledge, appearance and appreciation of the site and its history and enhance its community and social values by engaging new and diverse audiences and offering opportunities for development of work-related skills by providing a variety of apprenticeships. The full list of public benefits associated with the restoration of the Stable Block is included in Section 3.4.

3.1.3 The core of the new proposal is a re-configuration of the historic stable block building, leaving its principal volumes unaffected. The proposal does not require any extension to the building or substantial alteration to its external elevations. A new fenced compartment along the southern part of the rear courtyard will contain and conceal the air-handling unit for the kitchen. Other small alterations of the stable block will be described below.

3.1.4 The café will continue to be entered via the Stable Block central carried arch from the Park, and retain an opening to the south, converted into a serving hatch, offering views of the children's play area and the wider landscape.

3.1.5 The new facilities will be housed inside the existing Stable Block building (for details see architectural drawings by vHH). The building has been subject to many alterations in the 20th century which had some impact on its historic layout and resulted in the removal of most of the original features. There are traces of the dado cladding, chimney piers and stall posts in the present café. The office retains its fireplace and matchboard wall linings. The disaster store retains its flooring blocks, but elsewhere the original flooring is lost or covered.

3.1.6 The building will also continue to provide residential accommodation for rangers and toilet facilities for the Park. Staff car-parking will remain available in the rear courtyard.

3.1.7 The key to the new proposal is to achieve financial sustainability of Marble Hill while enhancing its heritage significance.

3.2 Process - Location of the New Facilities

3.2.1 The present location for the new facilities in the Stable Block was chosen following detailed consideration of the landscape and built heritage constraints and discussions with the curatorial, retail and catering teams within English Heritage, study of precedents and market research, all supported by van Heyningen and Haward's extensive experience of designing visitor centres situated in historic areas.

3.2.2 The present café in the Stable Block has served the users of the park successfully for a
Marble Hill Stable Block **Heritage Impact Assessment**

few years and it was deemed that this location benefits from a well-liked and tested tradition of use, being sufficiently central and visible to provide a successful offer but not competing visually with Marble Hill House. The location of the new café in the House was ruled out because it is a compact building and the spaces within it will be better used for providing interpretation which will enhance the understanding and enjoyment of Marble Hill.

3.2.3 In addition, retaining a sympathetic association with an existing historic building will reduce the impact on the historic character of the landscape, which English Heritage plans to restore as part of this project. There are no other locations in the newly restored landscape where a café or shop could be situated without having a detrimental impact on its historic layout, integrity as well as the illustrative and aesthetic values.

3.2.4 As part of the new project the operational basis of the House will be changed to free-flow and free of charge, yet the greater visitor numbers need to provide increased income so that the site can become financially self-sufficient and economically sustainable. Because of this the café needs to be able to provide up to 30 internal covers within the main café and an additional 30 in the space to the north of the central carriageway. There will also be 80 external covers facing the cricket pitch, together with kitchen, welfare, storage and retail facilities. An additional requirement of the café and shop, and especially the cafe, was that it provided suitable scope and space to allow it to be used for the apprenticeship and training offer proposed. The catering offer will be tailored to the syllabus ensuring staff development and community involvement.

3.2.5 Studies have concluded that it is feasible to provide good quality catering and retail offer without the need to intervene into the historic layout and fabric of the listed building itself. The building has lost the majority of its original internal features but has preserved most of its layout and this state of preservation is one of the principal qualities which enhances its significance as a heritage asset.

3.2.6 The intact appearance of the east (principal) façade is another important attribute which enhances the significance of the Stable Block and extensions to the east or south were ruled out as detracting from the elegance of its symmetrical composition and historic character. The west elevations of the building are less formal and have been extensively altered. No large-scale alterations to the external elevations of the building will be necessary.

3.3 Enabling Works

3.3.1 This proposal envisages only minimal alterations to the existing interiors of the building while respecting all of its significant elements and features, removing redundant fittings and services, an addition new walls and removal of some 20th-century additions (see Schedule of Works and architectural drawings). New partitions would be expressed as new work and would be standard lightweight stud walling, clad with plasterboard.

3.3.2 The interior of the space will be fitted out with English Heritage's standard retail fit-out

furniture units, reducing the need to modify the walls to support shelving and display.

3.3.3 The interior of the manager's office which is largely intact will be renovated as a staff room and later, unsympathetic additions stripped off while its original features repaired and enhanced.

3.3.4 It is also planned to redecorate and refurbish the existing toilet facilities in the north-west block to serve those visiting the café. A small compartment will be created within the present garage (proposed plant room) containing a WC for staff.

3.3.5 On the exterior, the existing doorway in the south wall of the Stable Block will be modified to create a hatch for the café kiosk. This doorway is a modern creation as testified by the 1950s photograph (Fig. 3).

3.3.6 It is proposed to provide ventilation to a plant room in the former garage by a small louvred panel (225mm x 1275 mm) that will be introduced into the north elevation of the rear range.

3.3.7 A historic doorway in the west elevation of the south wing, converted into a window in the 20th century will be carefully reinstated with appropriate materials and techniques.

3.3.8 In the courtyard, the poorly maintained surfaces will be repaired.

3.3.9 Along the southern side of the courtyard, a new timber compartment with a shallow single-pitch asphalt roof will be erected. This will enclose the air-handling unit for the kitchen and the bin store. Access to the compartment will be by two doors in its north wall.

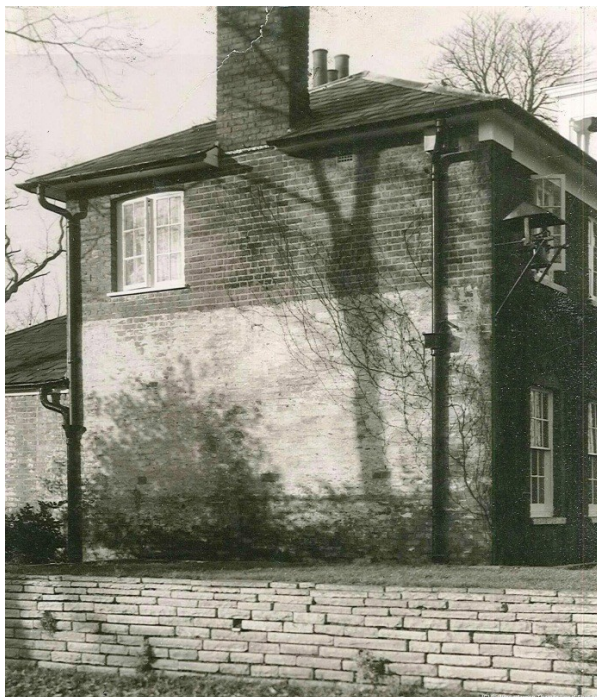


Fig. 5 Stable Block, south elevation. 1950s.

3.4 Public Benefits of the Project

3.4.1 The project will deliver multiple public benefits as follows:

- The interior of the stable building will be renovated, unsympathetic 20th-century additions removed and original features repaired and conserved.
- The proposal will re-establish a historic opening in the rear elevations of the Stable Block. This will constitute a minor enhancement to the evidential and aesthetic values of the building.
- The unsightly surface of the rear yard will be tidied up.
- The historic boundary wall is in a vulnerable condition, and as part of this project it will be carefully rebuilt and strengthened to conserve its structural integrity and protect the heritage significance of a partition on this line.
- Landscaping improvements around the building will include demolition of the two unsightly raised lawns in front. The concrete paved terrace used by the café will be replaced with a permeable, natural surface with a good quality fence replacing the present poor quality timber fence.
- The dog-free area to the south of the Stable Block is used by those with small children, and this area will be enhanced by the landscape works.
- The full catering kitchen will provide fresh and seasonal hot and cold food, made on the premises to all park users and visitors to the house. In addition to the main servery, a small external 'kiosk' hatch will be provided to allow customers to buy ice-cream and drinks without entering the café proper. This will enhance the catering offer within the park.
- The café will provide a better working environment for staff and the kitchen will provide suitable facilities and space to allow it to be used for the apprenticeship and training.
- A nearby external area for display of plants will support horticultural apprenticeships and training planned on site.
- It is planned to minimise the water and energy used by the new facilities, and use sustainable urban drainage techniques to mitigate rain water run-off.
- The Stable Block will be better appreciated, and its history and importance in the development of Marble Hill better studied and understood. New research has provided a better understanding of how Jonathan Peel used and developed Marble Hill during his occupancy and allowed us to trace the architectural changes to the building. These findings have been recorded in the Conservation Management Plan for the site and will inform its constructive and sustainable management.
- The redeveloped Stable Block will provide a friendly and attractive environment for park users and visitors thus enhancing the community value of the site.

4. ASSESSMENT METHODOLOGY, CRITERIA and LIMITATIONS

4.1 Assessment Methodology

4.1.1 Before considering the issues that affect a heritage asset, its conservation or management, it is necessary to define what it is that gives significance to the place and therefore warrants protection.

4.1.2 This assessment has been carried out in accordance with the method used for assessing heritage significance set out by English Heritage in *Conservation Principles: Policies and Guidance for the sustainable management of the historic environment* (2008). This significance is further assessed in terms of heritage values.

4.1.3 There are several broad values, some of which consist of more than one type. The principal values considered here are:

- **Architectural value** – the aspects of the building such as its original and historically important decorative features, layout, plan form and fabric of interest.
- **Aesthetic Value** – which can derive from the design of an asset, or perhaps through more fortuitous occurrences over time. It derives from the ways in which people draw sensory and intellectual stimulation from a place.
- **Evidential** – the physical aspects of a building or a place that yield evidence about its past and how an asset can connect us to the past, usually through illustrating aspects of the past, or by association with noteworthy people, movements or events.
- **Historical** - the ways in which past people, events and aspects of life can be connected through a place to the present – it tends to be illustrative or associative.
- **Communal Value** – relating to what a place means for people, whether it is the commemorative or symbolic values of a place that people derive part of their identity from or have particular memories of, or the social value that accrues to a place which performs a community role through its distinctiveness or function as a place of worship.

4.1.4 Significance is more than just a sum of its parts but the assessment of different values and grading significance allows for a more nuanced approaches to conserving the site: i.e. where the level of significance of an element varies from one grade to another, the respective weight that should be given to each grade will need to some extent to be actively debated.

4.1.5 To achieve good understanding of this delicate balance, this assessment draws upon the study of historical development of the place as set out in Section 7 and follows established conservation practice in using the following terms:

Exceptional significance – the place or structure of the very highest historical, evidential and aesthetic value; of national or international importance.

High significance – original or historic features that make a substantial contribution to the historical, evidential and aesthetic value of the heritage asset.

Moderate significance – original or historic features which contribute to the historical, evidential and aesthetic value of the heritage asset; could also include relatively recent or humble features of particular interest.

Some significance – original or historic features, which make a minor contribution to the historical, evidential and aesthetic value of the heritage asset, e.g. fabric located in an area that has undergone notable change, or more recent features which contribute positively to maintaining the site’s character.

Neutral significance – features which do not contribute positively to the historical, evidential and aesthetic value of the site, but also do not negatively impact on the appreciation of its significance.

Detracting – features that obscure or detract from the historical, evidential and aesthetic value of the site.

These terms are used in a purely relative sense within the context of the site and the assessment formulated on the condition and mutual relationship of the assets at the time of writing taking into account historical changes and factors which have impacted on what could have been perceived as the significance of the study site and its buildings in their original state. The assessment of significance should not be taken as descriptions of the absolute significance of elements compared to those of other designated sites, apart from in the case of exceptional significance.

4.1.6 The assessment has used the sources listed below to identify Heritage Assets and other relevant find spots or evidence with the site and defined study area. Heritage Assets are defined in national planning guidance (see Section 6) and can include designated assets (Scheduled Monuments, Listed Buildings etc.), standing, buried or submerged remains, historic buildings and structures, parks and gardens and areas, sites and landscapes - whether designated or not.

4.1.7 This information forms the description of the heritage baseline conditions, together with:

- Designated Heritage Asset data, accessed from English Heritage’s online National Heritage List for England;
- Archival and documentary sources held at Richmond, National Archives and British Library;
- An assessment of topographical, archaeological and historical information from web based and in-house sources;
- Cartographic evidence for the study area;
- An assessment of relevant published and unpublished historical sources listed in the References section;
- Site visits

4.2 Magnitude of Impact

4.2.1 The likely magnitude of the impact of the proposed development is determined by identifying the level of effect from this development upon the 'baseline' conditions of the site and the significance of the heritage assets identified in the assessment. This effect can be either adverse (negative) or beneficial (positive). The criteria for assessing the magnitude of impact are set out in Table 1 below.

Table 1. Magnitude of Impact criteria based on ICOMOS guidance for assessing heritage impact assessment of development affecting World Heritage Sites.

LEVEL OF MAGNITUDE	DEFINITION
MAJOR	Change to key historic building elements that contribute to its significance such that the resource is totally altered. Comprehensive changes to the setting.
MODERATE	Changes to many key historic building elements, such that the resource is significantly modified. Changes to the setting of an historic building, such that it is significantly modified.
MINOR	Change to key historic building elements, such that the asset is slightly different. Change to setting of an historic building, such that it is noticeably changed.
NEGLIGIBLE	Slight changes to historic building elements or setting that hardly affect it.
NO IMPACT	No change to fabric or setting.

4.3 Limitations

4.3.1 It should be noted that the report has been prepared under the express instructions and solely for the use by English Heritage Trust. All the work carried out in this report is based upon the author's professional knowledge and understanding of current (November 2016) and relevant United Kingdom standards and codes, technology and legislation. Changes in these areas may occur in the future and cause changes to the conclusions, advice, recommendations or designs given.

4.3.2 The locations, designations of identified heritage features (for example, the National Grid References) are provided from various secondary sources (e.g. GLHER). Any inaccuracies with this data lie within the source material.

4.3.3. The author did not have access to South End House, its grounds and ancillary structures and relied on photographs and account of the third party. The information on the dating and construction of the gazebo is derived from a report produced by AOC Archaeology for Dyer Grimes Architects (2012). Conclusions on the dating, construction and condition of the boundary wall are based on the archaeological investigation report by Lee Prosser (2016; attached).

5. POLICY FRAMEWORK

5.1. National Planning Policy Framework (NPPF)

5.1.1 The national policies of relevance to this report are set out within the *National Planning Policy Framework* (2018) and within the *Historic Environment Planning Practice Guide* (2010), which remains relevant despite the replacement of *Planning Policy Statement 5: Planning for the Historic Environment* (2010) by the NPPF (2012 and 2018).

5.1.2 The NPPF requires applicants for development proposals to provide a description of the significance of the heritage asset affected by proposed development. A heritage asset is defined within Annex 2 of the NPPF as:

A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage assets include designated heritage assets and assets identified by the local planning authority (including local listing).

5.1.3 Significance (for heritage policy) is defined within Annex 2 of the Framework as:
The value of a heritage asset to this and future generations because of its heritage interest. This interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.

5.1.4 Paragraph 189 of the NPPF indicates that, in determining planning applications, local planning authorities should require an applicant to:
describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.

5.1.5 Paragraph 192 of the NPPF indicates that, in determining planning applications, local planning authorities should take account of:

- *The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- *The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- *The desirability of new development making a positive contribution to local character and distinctiveness.*

5.1.6 In respect of designated heritage assets, paragraph 193 states that great weight should be given to the asset's conservation; *the more important the asset, the greater the weight should be.*

5.1.7 Paragraphs 195 and 196 then set out the criteria for weighing 'substantial harm' or 'less than substantial harm' against the benefits of proposed developments:

Para 195. *Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:*

- *the nature of the heritage asset prevents all reasonable uses of the site; and*
- *no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- *conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible;*
and
- *the harm or loss is outweighed by the benefit of bringing the site back into use.*

Para 196. *Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.*

5.2 Regional and Local Policies

5.2.1 Regional and local policy relating to heritage assets are contained within the *Mayor of London's London Plan* and the *London Borough of Richmond upon Thames Local Plan* (July 2018). The *Local Plan* supersedes the *Core Strategy and Development Management Plan* (DMP).

5.2.2 The Local Plan was adopted on 3 July 2018 and is a policy document which determines the future development of the borough over the next 15 years. The Plan outlines the:

- Strategic Vision and Objectives
- Spatial strategy
- 45 core planning policies on topics such as climate change, housing, employment and retailing

5.2.3 The policies within the Local Plan that are of relevance to this development are:

Policy LP 1

Local Character and Design Quality

A. The Council will require all development to be of high architectural and urban design quality. The high quality character and heritage of the borough and its villages will need to be maintained and enhanced where opportunities arise. Development proposals will have to demonstrate a thorough understanding of the site and how it relates to its existing context, including character and appearance, and take opportunities to improve the quality and character of buildings, spaces and the local area.

To ensure development respects, contributes to and enhances the local environment and character, the following will be considered when assessing proposals:

1. compatibility with local character including the relationship to existing townscape, development patterns, views, local grain and frontages as well as scale, height, massing, density, landscaping, proportions, form, materials and detailing;
2. sustainable design and construction, including adaptability, subject to aesthetic considerations;
3. layout, siting and access, including making best use of land;
4. space between buildings, relationship of heights to widths and relationship to the public realm, heritage assets and natural features;
5. inclusive design, connectivity, permeability (as such gated developments will not be permitted), natural surveillance and orientation; and
6. suitability and compatibility of uses, taking account of any potential adverse impacts of the co-location of uses through the layout, design and management of the site.

Policy LP 3

Designated Heritage Asset

- A. The Council will require development to conserve and, where possible, take opportunities to make a positive contribution to, the historic environment of the borough. Development proposals likely to adversely affect the significance of heritage assets will be assessed against the requirement to seek to avoid harm and the justification for the proposal. The significance (including the settings) of the borough's designated heritage assets, encompassing Conservation Areas, listed buildings, Scheduled Monuments as well as the Registered Historic Parks and Gardens, will be conserved and enhanced by the following means:
1. Give great weight to the conservation of the heritage asset when considering the impact of a proposed development on the significance of the asset.
 2. Resist the demolition in whole, or in part, of listed building. Consent for demolition of Grade II listed buildings will only be granted in exceptional circumstances and for Grade II* and Grade I listed buildings in wholly exceptional circumstances following a thorough assessment of the justification for the proposal and the significance of the asset.
 3. Resist the change of use of listed buildings where their significance would be harmed, particularly where the current use contributes to the character of the surrounding area and to its sense of place.
 4. Require the retention and preservation of the original structure, layout, architectural features, materials as well as later features of interest within listed buildings, and resist the removal or modification of features that are both internally and externally of architectural importance or that contribute to the significance of the asset.
 5. Demolitions (in whole or in part), alterations, extensions and any other modifications to listed buildings should be based on an accurate understanding of the significance of the heritage asset.
 6. Require, where appropriate, the reinstatement of internal and external features of special architectural or historic significance within listed buildings, and the removal of

internal and external features that harm the significance of the asset, commensurate with the extent of proposed development.

7. Require the use of appropriate materials and techniques and strongly encourage any works or repairs to a designated heritage asset to be carried out in a correct, scholarly manner by appropriate specialists.
8. Protect and enhance the borough's registered Historic Parks and Gardens by ensuring that proposals do not have an adverse effect on their significance, including their setting and/or views to and from the registered landscape.
9. Protect Scheduled Monuments by ensuring proposals do not have an adverse impact on their significance.
 - B. Resist substantial demolition in Conservation Areas and any changes that could harm heritage assets, unless it can be demonstrated that:
 1. in the case of substantial harm or loss to the significance of the heritage asset, it is necessary to achieve substantial public benefits that outweigh that harm or loss;
 2. in the case of less than substantial harm to the significance of the heritage asset, that the public benefits, including securing the optimum viable use, outweigh that harm; or
 3. the building or part of the building or structure makes no positive contribution to the character or distinctiveness of the area.
 - C. All proposals in Conservation Areas are required to preserve and, where possible, enhance the character or the appearance of the Conservation Area.
 - D. Where there is evidence of intentional damage or deliberate neglect to a designated heritage asset, its current condition will not be taken into account in the decision-making process.
 - E. Outline planning applications will not be accepted in Conservation Areas. The Council's Conservation Area Statements, and where available Conservation Area Studies, and/or Management Plans, will be used as a basis for assessing development proposals within, or where it would affect the setting of, Conservation Areas, together with other policy guidance, such as Village Planning Guidance SPDs.

Policy LP 5

Views and Vistas

The Council will protect the quality of the views, vistas, gaps and the skyline, all of which contribute significantly to the character, distinctiveness and quality of the local and wider area, by the following means:

1. protect the quality of the views and vistas as identified on the Policies Map, and demonstrate such through computer-generated imagery (CGI) and visual impact assessments;

2. resist development which interrupts, disrupts or detracts from strategic and local vistas, views, gaps and the skyline;
3. require developments whose visual impacts extend beyond that of the immediate street to demonstrate how views are protected or enhanced;
4. require development to respect the setting of a landmark, taking care not to create intrusive elements in its foreground, middle ground or background;
5. seek improvements to views, vistas, gaps and the skyline, particularly where views or vistas have been obscured;
6. seek improvements to views within Conservation Areas, which:
 - a. are identified in Conservation Area Statements and Studies and Village Plans;
 - b. are within, into, and out of Conservation Areas;
 - c. are affected by development on sites within the setting of, or adjacent to, Conservation Areas and listed buildings.

Policy LP 7

Archaeology

The Council will seek to protect, enhance and promote its archaeological heritage (both above and below ground), and will encourage its interpretation and presentation to the public. It will take the necessary measures required to safeguard the archaeological remains found, and refuse planning permission where proposals would adversely affect archaeological remains or their setting.

Desk based assessments and, where necessary, archaeological field evaluation will be required before development proposals are determined, where development is proposed on sites of archaeological significance or potential significance.

5.3 Twickenham Riverside Conservation Area Policies

Twickenham Riverside Conservation Area was designated on 14th January 1969 and extended in 1982 and 1991. Richmond Borough Council's Conservation Area Statement includes the following information relevant to Marble Hill.

History and Development

"The village is of medieval origin focused on the Parish Church of St. Mary which dates from the 14th century. The pattern of Georgian and early Victorian development illustrates that growth took place based on this core. There was also some 18th century villa development along the river. With the advent of the railway in 1863 the focus shifted towards the current centre of Twickenham. York Street was built in 1890 and became the main route to Richmond, bypassing the original centre."

Character

"The area was originally designated in recognition of the historic and architectural value of the original village core and river frontage. It was extended to include the

C18th splendour of Marble Hill Park and the setting of important surrounding buildings, particularly Montpelier Row (...).

17th and 18th century development along the Thames is characteristic of the period's grand formal approach to landscape and buildings. The Palladian Marble Hill House, set in extensive grounds running down to the river, is a nationally important example of such development. Together with York House, Orleans House and Montpelier Row it contributes to an exceptionally fine area of integrated architectural and landscape design. These buildings also have a strategic role in visually linking up with other houses in the area such as Ham House and Strawberry Hill and viewpoints such as Richmond Hill. (...) Trees play an important role in framing views and providing the setting to the buildings."

Problems and Pressures

- *Development pressure which may harm the balance of the river and landscape-dominated setting in many parts of the area, and the obstruction or spoiling of views, skylines and landmarks*
- *Loss of traditional architectural features and materials due to unsympathetic alterations*
- *Loss of front boundary treatments and front gardens for car parking*
- *Lack of coordination and poor quality of street furniture and flooring*

Opportunity for Enhancement

- *Improvement and protection of the river and landscape setting*
- *Preservation, enhancement and reinstatement of architectural quality and unity*

5. 4 Setting of Heritage Assets

5.4. 1 Setting of Heritage Assets is defined in Annex 2 of the NPPF as:

The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surrounding evolve. Elements of setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

5.4.2 The *Historic Environment Good Practice Advice in Planning – Note 3: The Setting of Heritage Assets*, 2nd edition published by Historic England in 2017 provides a five step approach for accessing the impact of a development proposal on the setting of a heritage asset, as follows:

1. *Identify which heritage assets and their settings are affected;*
2. *Assess the degree to which these settings and views make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated;*
3. *Assess the effects of the proposed development, whether beneficial or harmful, on the significance or on the ability to appreciate it;*
4. *Explore the way to maximise enhancement and avoid or minimise harm;*
5. *Make and document the decision and monitor outcomes.*

6. SIGNIFICANCE

6.1.1 Conservation Management Plan for Marble Hill outlines the significance of the Stable Block as a sum of the following values:

6.1.2 Historical and Evidential

The Stable Block is a good example of a small Victorian suburban estate stables. It accommodated working horses, as well as more valuable studs or mares with their foals, while the upper floors provided staff lodgings and hay loft. Through careful observation of the fabric it is possible to trace the physical development of the building over time (see Figs. 1&2).

New research has re-evaluated the significance of the Stable Block and its builder Jonathan Peel who was a celebrated figure in the 19th-century British racing circles. This knowledge has enhanced the historical illustrative value of the Stable Block and the estate, as well as contributing to the wider topic of equestrian history. The Stable Block represents the Peel family's phase of ownership of the estate and their re- location of stabling from the north-east to the west of the park, in association with building a new carriage drive and the White Lodge. This change was probably motivated in part by Jonathan Peel's interest in horse racing and thus the Stable Block illustrates this popular leisure pastime, as well as the practical need for horse-drawn transport.

Due to successive changes of use, there are few signs of its original use as a stable due to the loss of stall dividers, hay racks, loose boxes etc. In addition, the changes to the plan form on both floors, makes it difficult to be certain about its original operation prior to 1890.

6.1.3 Aesthetic

The Stable Block is an attractive, distinctive building in the park landscape; its design is typical of the period. The relatively modest nature of the building compared to the grandeur and refinement of Marble Hill House probably explains why it does not feature in any historic artworks of the estate. As would be expected of a service building, the surviving joinery and features are very plain.

6.1.4 Communal

Around 1905 the first floor was converted into two tenements and the ground floor became a visitor café and toilets in 1960s. Thus the building has potential to tell the story of Edwardian tenement housing as well as the approach of the site's guardians towards visitor experience and facilities.

6.1.5 Significance - Summary Exterior

The original exterior fabric survives better than the interior, albeit with numerous alterations to window and door openings to the sides and rear. The distinguishing features of the design are the archway to the yard beyond and the clock. The facades are of **high significance** due to their overall state of preservation and aesthetic appeal.

6.1.6 Significance - The Yard

The yard is surfaced with cracked asphalt and used for car parking; this does little to enhance the setting of the building. The yard is of **moderate significance** as part of the

Stable Block's spatial layout. The yard is bounded by a wall on the western side which forms part of the garden of South End House, Montpelier Row.

6.1.7 Significance – The Wall

The wall is composed of different phases of brickwork and difficult to date precisely despite its appearance on historic maps. The wall is of **some significance** as part of the Stable complex (For detailed assessment of the significance of the wall see a separate Appraisal of South End House and associated heritage assets).

6.1.8 Ground Floor

This has very little surviving historic fabric due to the 1901 and 1960s conversions which altered the plan form drastically. The only space which remains more or less of the same dimensions is the office, which also retains much of its historic fabric including cupboard, fireplace, plaster cornice and full height matchboard panelling. The original walls of the Ground Floor and the historic layout are of **high significance** while modern features are of **neutral significance**.

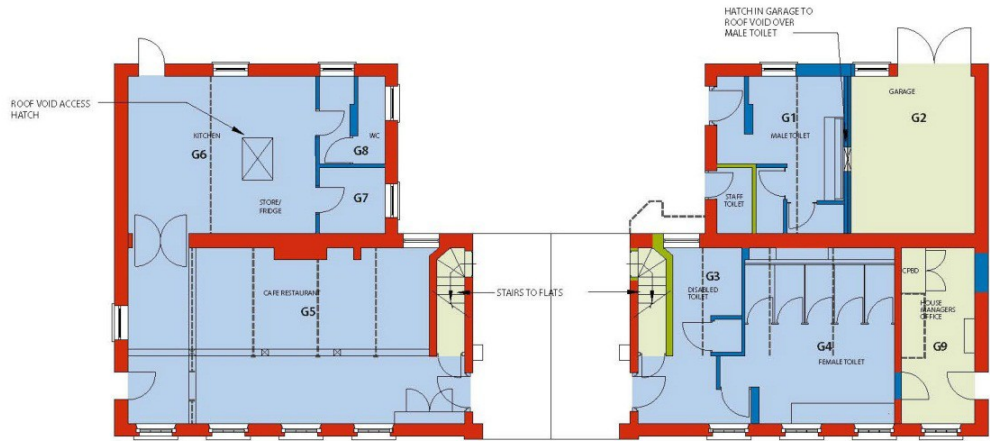
6.1.9 First Floor

The 1901 works slightly reorganised the plan form of the existing building at to the south and created a new one to the north. There are some features which together have collective interest from this phase, such as fireplaces, dressers and joinery. More recent alterations include the addition of walls to the living rooms for fire regulations, which are on the line of a previously removed historic wall. The spaces on this floor are of **some significance** as part of the Edwardian conversion.

Marble Hill
Stable Block - Ground Floor
Significance



- High significance
- Moderate significance
- Some significance
- Neutral



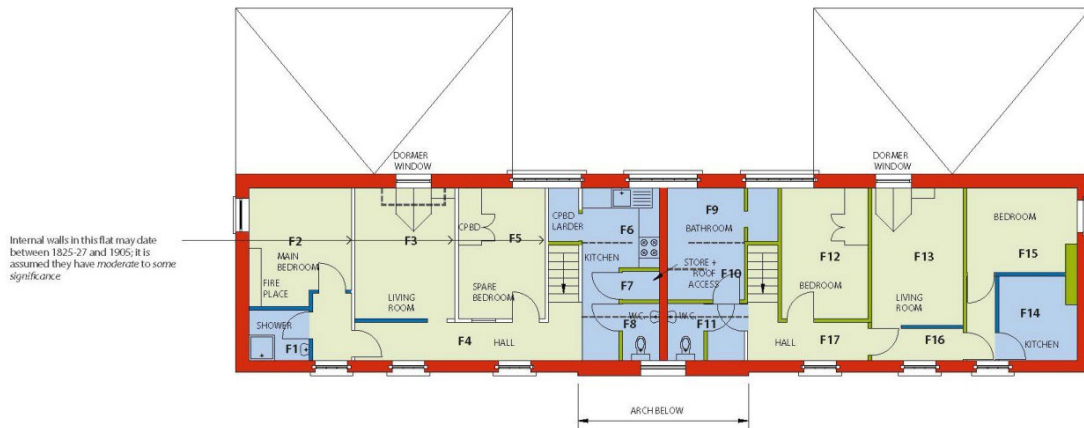
Marble Hill House & Park, Conservation Management Plan 2016

Fig.6 Stable Block, ground floor. Significance.

Marble Hill
Stable Block – First Floor
Significance



- High significance
- Moderate significance
- Some significance
- Neutral



Marble Hill House & Park, Conservation Management Plan 2016

Fig.7 Stable Block, first floor. Significance.

7. HERITAGE ASSETS IMPACT ASSESMENT

7.1 This section provides an assessment of the impact of the proposed new café extension on the heritage significance of Marble Hill Stable Block and the Registered Park. A separate, in-depth assessment of the impact of the project on South End House, its Gazebo and the boundary wall are presented in separate Appraisal submitted as part of the same planning application.

7.2 The building has lost majority of its original internal features but has preserved most of its layout and this state of preservation is one of the principal qualities which enhances its significance as a heritage asset. As the proposed works will not have any impact on the original layout and features and will reinstate an original opening, and because research undertaken to inform the development has expanded our knowledge of the building, its builder and history, it is deemed that the project will constitute a minor enhancement of the evidential and historic values of the building.

7.3 The intact appearance of the east (principal) façade is another important attribute which enhances the significance of the Stable Block and the west elevations of the building are less formal and have been extensively altered.

7.4 Archaeological investigation of the courtyard has not revealed any significant finds (Compass Archaeology 2016) and the impact of the new service trench in the ground will be mitigated by an archaeological watching brief during construction works.

7.5 As the new café will offer better facilities for regular park users and visitors as well as providing training and apprenticeships and a venue for educational activities, it is deemed that the communal value of the Stable Block will be enhanced.



Fig. 8 Stable Block seen from the Great Lawn.



Fig.9 Stable Block from south-east.

Table 2. Magnitude of impacts on the significance of Stable Block and Marble Hill Park

Asset Name	Impact on Architectural & Aesthetic value	Impact on Historic & Evidential Value	Impact on Communal Value	Impact on the Setting	Overall Impact
Stable Block	Negligible	None	Enhance/Positive	Negligible	Negligible
Marble Hill Park	Negligible	None	Enhance/Positive	Negligible	Negligible

Table 3. Summary of the magnitude of impacts on the Twickenham Riverside Conservation Area

Asset Name	Overall Significance	Overall Impact	Harm
Stable Block	High	Negligible	Less than substantial

Table 4. Summary of the magnitude of impacts on the overall significance and resulting level of harm.

Asset Name	Overall Significance	Overall Impact	Harm
Stable Block	High	Negligible	Less than substantial
Marble Hill Park	High	Negligible	Less than substantial

8. CONCLUSION

8.1 This Appraisal has been undertaken to fulfil the requirement of NPPF, Paragraph 189 and Richmond Borough Council Local Plan Policy LP1, that oblige the applicant to study and describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail provided here is proportionate to the assets' importance and presented to facilitate the understanding of the potential impact of the proposal on their significance.

8.2 The methodology, used to assess the magnitude of impacts, has been developed by ICOMOS for assessing the degree of impact and harm of developments affecting the significance of World Heritage Sites.

8.3 Overall it is considered that the alterations proposed for the stable block will have only a very slight impact on the character and significance of the place while delivering multiple benefits of enhanced knowledge, understanding, conservation and improved amenities in Marble Hill Park.

8.4 Having assessed the heritage values of the assets, it is considered that Marble Hill Stable Block and Park are of high significance. The proposed development will have no effect on the setting and significance of the Park and only negligible impact on the setting of the Stable Block. There will be no impact on the evidential, historic, architectural and aesthetic values of the latter.

8.5 Because of this it is considered that the development will cause less than substantial harm to the significance of the Marble Hill Stable Block and Park as heritage assets.

8.6 It should be noted that the proposal forms part of a larger project which will lead to the restoration of the 18th-century landscape, and conservation enhancement to Marble Hill House, both of which are heritage assets of international importance. As the new café will underpin the financial sustainability of the site, it may not be possible to carry out the restoration of the landscape if it is not built.

8.7 The NPPF, Para 196 states that where a development proposal leads to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal. This proposal will deliver multiple public benefits of conservation, protection, enhanced knowledge and understanding as well improved facilities. It will create a better environment for park users and visitors and the volunteering, employment and apprenticeship opportunities within the new café and shop will strengthen the connection of the local people to the site, thereby enhancing its community values.

8.8 In conclusion, it is considered that the proposal is in line with the national and local policies which are set out in the NPPF and Richmond Borough Local Plan and should be supported.