

Floor Plan General Notes

3. Excavate floor at ground floor to accommodate the new lift footings. All stone paving stones are to be carefully lifted by hand and set aside for reuse. All stones are to be labelled and their location recorded to allow their reinstallation; those that aren't needed for reuse will be stored within the sealed void. Refer to Key Hatch 'H'; Drawings 209, 210 & 211;

5. Existing asbestos board cladding to door. Refer to Key Hatch 'D'. The asbestos is to be carefully removed
 6. Widened doorway to accommodate a new door; make good wall. Refer to Key Hatch 'B'. Refer to Drawing 210

- 7. Friable or failed cementitious/gypsum wall plaster to be removed, the wall masonry is to be pointed with lime putty mortar and then re-plastered with a lime putty three coat plaster. Refer to Key Hatch 'F'. Refer to drawing 210 for details of approximate areas.
- 8. Remove the asbestos lining to the staircase.
- 9. Remove the existing glazed screen and steps. Refer to Key Hatch 'B'.
- 10. Strip out all existing shop fittings from G01. Refer to Key Hatch 'C'.
- 11. Electrical socket or switch that has failed due to damp ingress. Remove faceplate, metal backbox, MICC cabling associated with identified fitting up 1 m above floor level and where it is causing failure to plaster. Retain all sockets and switches for possible 'decorative reuse'. Refer to Key Hatch 'G'.
- 12. Strip out the existing mechanical & electrical installation. Refer to Key Hatch 'E'.

13. Remove the existing modern timber framed rooflight Refer to Drawing 211.

16. Remove modern architraves from around door reveal DG07 and make good plaster.

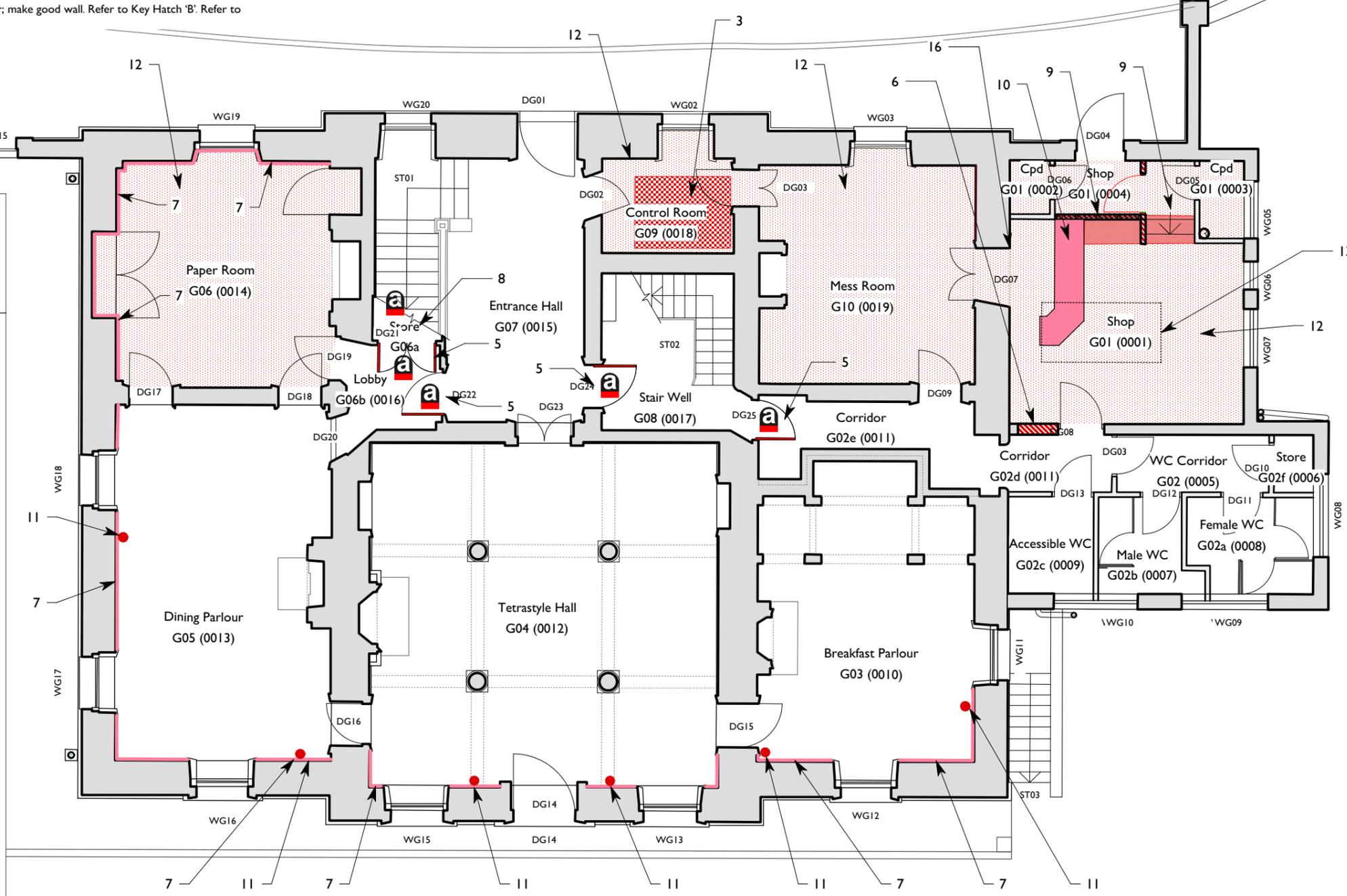
DO NOT SCALE THIS DRAWING USE DIMENSIONS ONLY
 VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS
 INFORM THE ARCHITECT BEFORE ANY WORK STARTS IF THIS DRAWING EXCEEDS THE QUANTITIES IN ANY WAY

Revision	Date	Description
A	8th May 2017	Addition of demolition information and hatches
B	11th May 2017	Amendment to note 11.
C	31st August 2017	Notes amended for planning submission

Read this drawing in conjunction with all current issue Drawings, Specifications and the Schedule of Works. Notify the Architect to any discrepancies in the information immediately.

Demolitions Key

- A. miscellaneous item to be removed
- B. walls to be removed
- C. furniture to be removed
- D. asbestos door cladding
- E. strip out existing services
- F. friable or failed plaster to be removed
- G. electrical socket or switch to be removed
- H. careful excavation or opening up of floor to accommodate the new lift
- I. identified asbestos.



DRAWING ISSUE STATUS	REVISION N°	DATE	SIGNED
RISK ASSESSMENT UNDERTAKEN			
PLANNING APPLICATION N° 1			
PLANNING APPLICATION N° 2			
PLANNING CONSENT			
LISTED BLDG APPLICATION			
LISTED BLDG CONSENT			
DAC APPROVAL			
BLDG CONTROL APPLICATION			
BLDG CONTROL APPROVAL			
TENDER DOCUMENT			
CONTRACT DOCUMENT			

CLIENT	English Heritage
PROJECT	Marble Hill House
TITLE	Main House: Ground Floor Plan; as existing (showing demolition & stripout)
SCALE	1:100 @ A3
DATE	December 2016
JOB N°	16_132
DRAWN	HS
DRAWING N°	110 C
Acanthus House 57 Hightown Road Banbury • Oxfordshire OX16 9BE Tel: 01295 702600 Fax: 01295 702601 architects@acanthusclews.co.uk www.acanthusclews.co.uk	



Asbestos is present within this building



Ground Floor Plan



Acanthus Clews architects