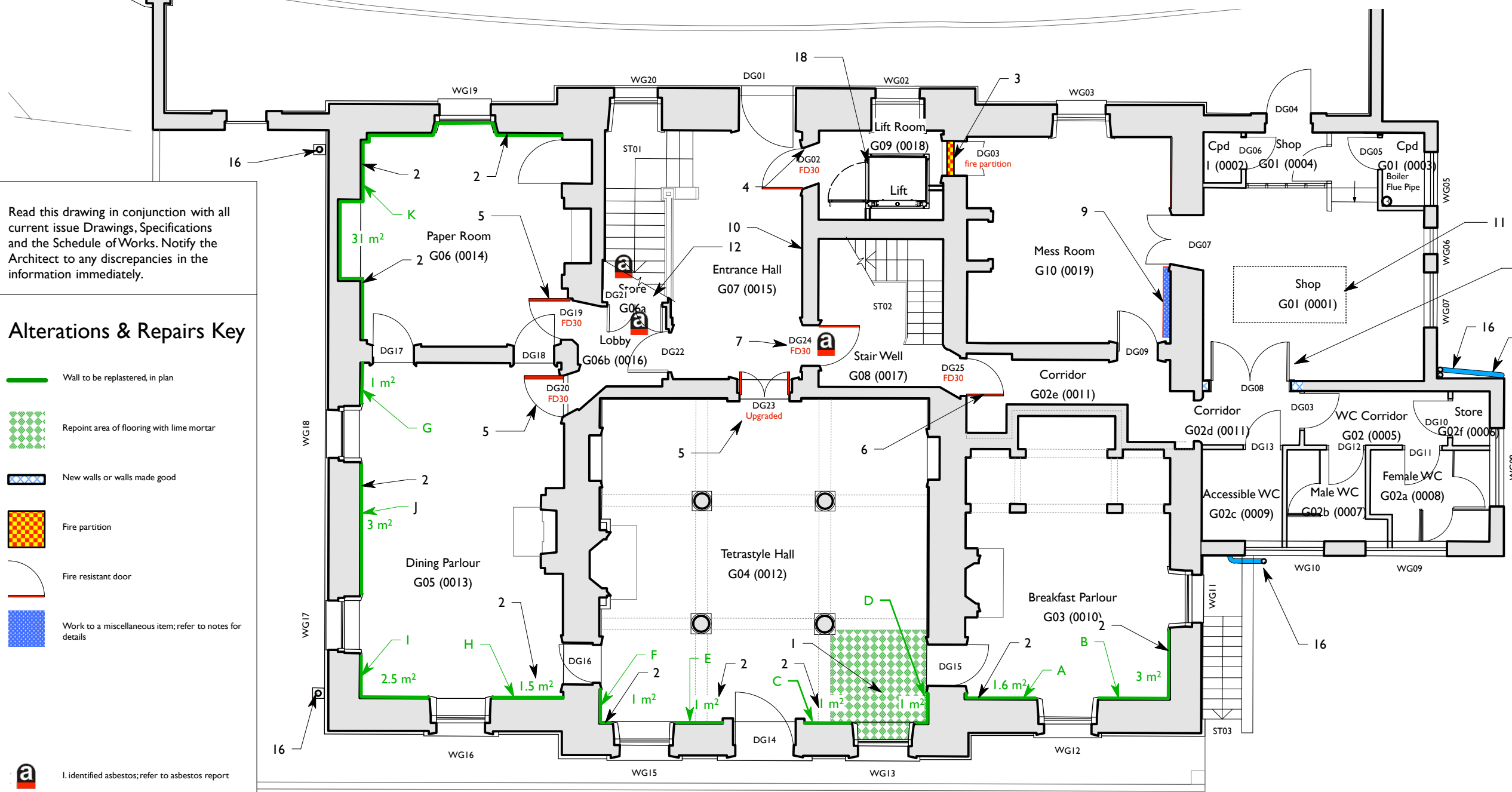


Floor Plan General Notes

- Damp affected internal paving slabs; carefully rake out all mortar joints and repoint with lime putty mortar.
- Friable or failed cementitious/gypsum wall plaster to be removed, the wall masonry is to be pointed with lime putty mortar and then re-plastered with a lime putty three coat plaster. Refer to Key Hatch and the approximate areas of plaster given on this drawing (210). In G06 all external wall plaster is to be removed, in the other rooms this is only up to dado level. The existing plaster should be removed at the beginning of the project to allow the walls to dry out; once the plaster has cured it is to be painted with a breathable paint. Refer to drawing 210; for details of approximate areas,
- New fire partition installed within existing openings DG03 & DF02. Refer to Drawing 311;
- Existing door rehung to open outwards, the fire resistance is to be improved. Refer to Drawing 330
- Existing door, fire resistance is to be improved. Refer to Door Schedule Drawing 330,
- Existing modern flush door DG25 to be replaced with a new FD30 fire door to match the detailing of the existing doors; the leaf is to be fitted within the existing frame. Refer to Door Schedule 330,
- Existing asbestos clad fire resistant door, this is to have the asbestos removed. After these works, fire resistance is to be improved. Refer to: Drawings 110 & 111; Door Schedule 330;
- Room G10 (Mess Room); all security and electrical controls are to be relocated from Room G09 to G10 as it is indicated in accordance
- Fireproof the existing heater wall grille; remove the existing the grill and install a new 180 minute Intumescent Grill within the void. Replace the existing grill and redecorate. Make good the damaged plaster with new lime putty plaster.
- Remove the decayed modern timber rooflight; including the internal modern wire glass glazing; and replace with a new low profile rooflight; such as 'The Conservation Plateau Rooflight' from 'The Rooflight Company'; this will not be visible above the parapet level. Internally the plaster is to be made good and the existing 'soffit architrave' reused to form the opening.
- Remove the asbestos lining from the staircase and repair structure in accordance with report.
- All existing cast iron rainwater pipes & lead rainwater goods are to be taken down, fully refurbished, redecorated/refinished and reinstalled. They are to be reinstalled in their original locations; the downpipes are to be adapted and be fitted with shoes. The gulleys are to be replaced with new earthenware accessible gulleys fitted with cast iron covers. Paint colour to match existing; British Standard BS 4800 '00 E 55 White'.
- The below ground rainwater disposal is to be modified. Refer to Drawing 270.
- New platform lift; refer to Drawing 301.
- Existing opening widened and fitted with a new set of double doors; this is a modern wall and space.

DO NOT SCALE THIS DRAWING USE DIMENSIONS ONLY
 VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS
 INFORM THE ARCHITECT BEFORE ANY WORK STARTS IF THIS DRAWING EXCEEDS THE QUANTITIES IN ANY WAY

Revision	Date	Details
A	11th January 2017	Notes 3 & 11 changed & 14, 15, 16, 17 & 18 added.
B	26th January 2017	Note 5 amended
C	11th May 2017	All notes amended
D	31st August 2017	Notes amended for planning submission
E	5th January 2018	Lift proposals adjusted



Read this drawing in conjunction with all current issue Drawings, Specifications and the Schedule of Works. Notify the Architect to any discrepancies in the information immediately.

Alterations & Repairs Key

- Wall to be replastered, in plan
- Repoint area of flooring with lime mortar
- New walls or walls made good
- Fire partition
- Fire resistant door
- Work to a miscellaneous item; refer to notes for details

a I. identified asbestos; refer to asbestos report



Ground Floor Plan

- Lime Plaster Areas, refer to note 2**
- A. G03 - 1.6 metre square
 - B. G03 - 3 metre square
 - C. G04 - 1 metre square
 - D. G04 - 1 metre square
 - E. G04 - 1 metre square
 - F. G04 - 1 metre square
 - G. G05 - 1 metre square
 - H. G05 - 1.5 metre square
 - I. G05 - 2.5 metre square
 - J. G05 - 3 metre square
 - K. G06 - 31 metre square

DRAWING ISSUE STATUS	REVISION N°	DATE	SIGNED
RISK ASSESSMENT UNDERTAKEN			
PLANNING APPLICATION N° 1			
PLANNING APPLICATION N° 2			
PLANNING CONSENT			
LISTED BLDG APPLICATION			
LISTED BLDG CONSENT			
DAC APPROVAL			
BLDG CONTROL APPLICATION			
BLDG CONTROL APPROVAL			
TENDER DOCUMENT			
CONTRACT DOCUMENT			

CLIENT
English Heritage

PROJECT
Marble Hill House

TITLE
Main House:
Ground Floor Plan; as proposed

SCALE
1:100 @ A3

DATE
December 2016

JOB N°
16_132

DRAWN
HS

DRAWING N°
210 E

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