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5.0 Design Development

The Pre-application Process

The design proposal presented for this planning application has been through a progressive pre-application process with Richmond Council planning officers.

The following pages provide a summary of the design development and feedback received from the pre-application meeting and Public consultations held to date:

Liaison with Healthcare Trust

This planning application is promoted in partnership with the health care trust. This is to ensure that the property can continue in health-related uses for the foreseeable future, serving the local community. The extent of floor area that is proposed for the health function is based on a detailed assessment by the Trust as to what is required going forward.

The Trust met with Richmond Council during 2016 to discuss the potential development of the property and how this met with the wider objectives of the Estate Modernisation Programme(EMP).

Current Consultation Process

In April 2018 UKI Richmond Ltd. commenced the process of pre-application consultation with London Borough of Richmond upon Thames. This has involved a number of meetings with Council officers alongside a separate set of consultation exercises undertaken with local residents and other interested parties.

Meetings were held with Richmond Council on 25th of June, 28th August 2018 and October 2018. The meetings described and discussed the proposed works as set out in the following pages.



Public Consultations

Core/ Principal Development Considerations

The proposed scheme is a conversion of the current healthcare facility to a mixed-use providing 68 residential apartments and healthcare use.

It will involve a sensitive restoration and conversion of the existing listed building and Buildings of Townscape Merit (BTM).

A new block alongside small scale elements of rooftop extension will reflect the surrounding residential typologies in materiality, scale and proportion combining modern contemporary detailing with reference to classical hierarchy.



01 Sensitive restoration and conversion of the existing buildings. The listed building will be converted to its former and original residential use. The BTM will be retained with minor internal refurbishment.

02 The rear of the North and South wings are to be extended. These rear facades have been built post 1900s in a fragmented manner and do not have a positive contribution to the site.

03 Demolition of stair wing additions built in 1995. Rebuilt as part of the Evelyn Road and Shaftesbury Road elevations to create a sympathetic design with the surroundings..

04 Shared access through site to be retained giving permeability and helps the servicing access.



01



02

03



04

Core/ Principal Development Considerations



05 New building development enclosing a new communal courtyard by providing an edge to the shared access road. The building block is stepped to follow the profile of the shared access road and to break the monotonous appearance

06 Concrete surface zone in front of building to be developed with soft landscape to give 'Front Garden' character to the building.

07 Surface car parking to be removed and developed as a communal courtyard with access from the building and access from the shared road.



05



06

06

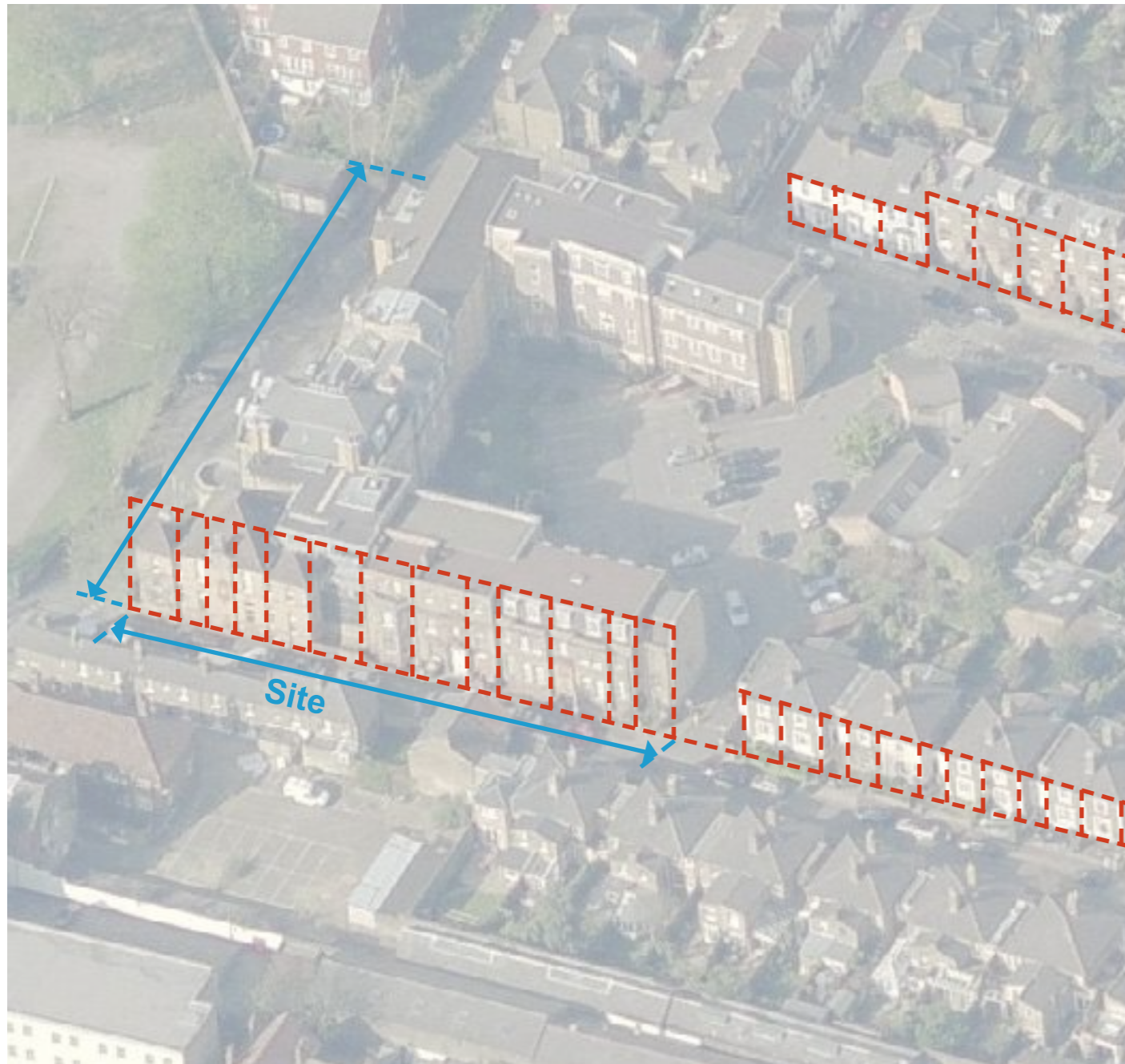


07

Core/ Principal Development Consideration

New Build Elements

The street scenes for Shaftesbury and Evelyn Road are comprised of a variety of terrace houses at varying scales, heights and materials. The design explores the existing street rhythm and facade treatment for the new building and side extension.



Subdivision

Retain the reference to the traditional urban block by subdivision of the façade. Key elevations have been split into identifiable bays, each reflecting their context in terms of character, historical narrative, plot width, vertical emphasis and window proportion.

Materiality

Propose a palette of considered materials and building elements which seek to reflect the local vernacular, contrasting subtly between the old and the new.



North Wing- Evelyn Road Elevation

This section describes the evolution of the North Wing Elevation where the existing buildings were built in three periods; 1896, 1920's and 1930's.



Aerial View of Richmond Royal Hospital North Wing

..... varied roofscape and different architecture style



Site Location Plan

..... Outline of North Wing (As Existing)

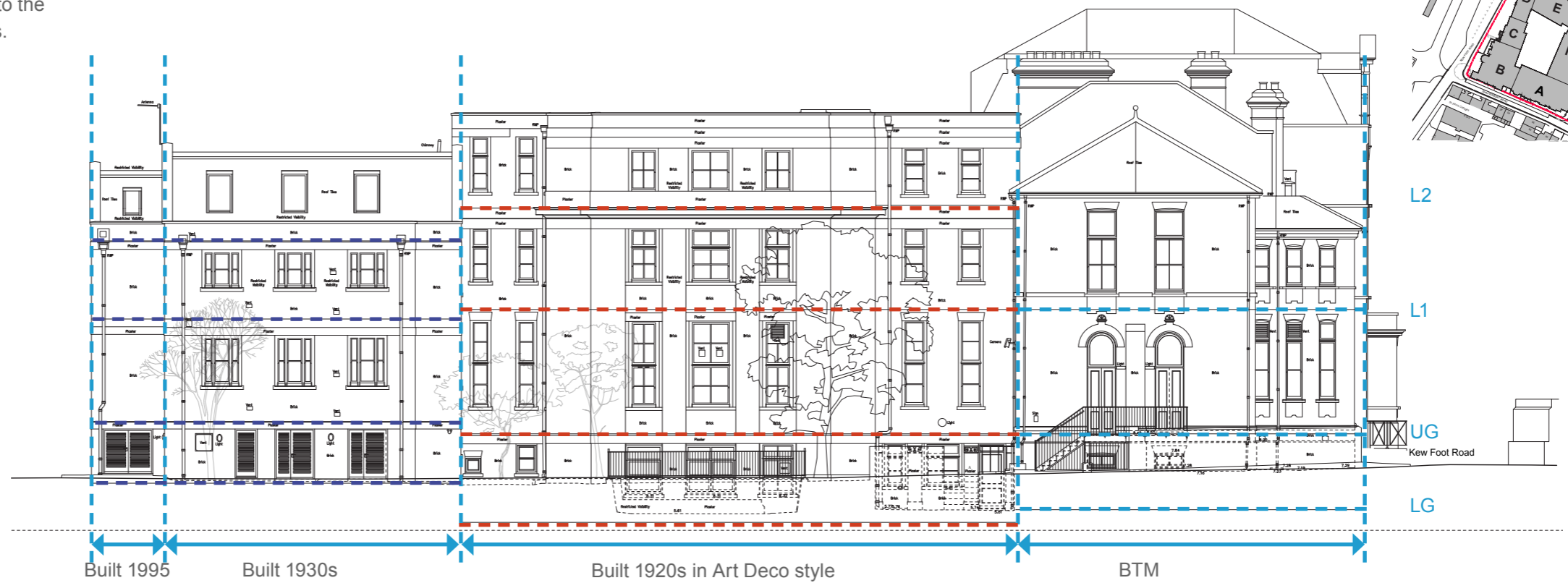


North Wing- Evelyn Road Elevation

Existing Floor Levels

Floor levels for 1930s & 1995s vary significantly to the rest of the building block requiring two stair cores.

- - - Existing FFL for 1930s & 1995 Buildings
- - - Existing FFL for 1920s Building
- - - Existing FFL for Building of Townscape Merit



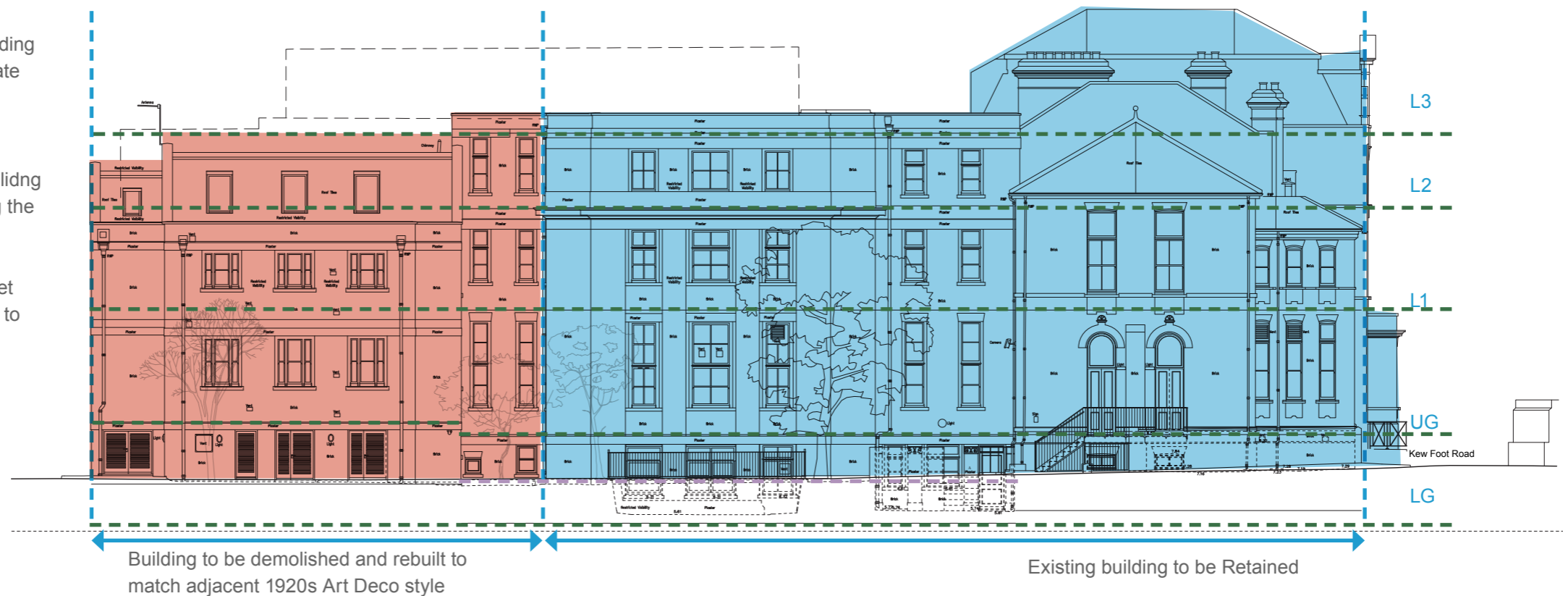
Proposed Floor Levels

The proposal is to retain the BTM and 1920s building but demolish the 1930s and 1995 building to create levelled floors throughout.

The new facade will be sensitively designed to respond to the adjacent 1920s Art Deco style building by continuing the horizontal bands and matching the window proportion.

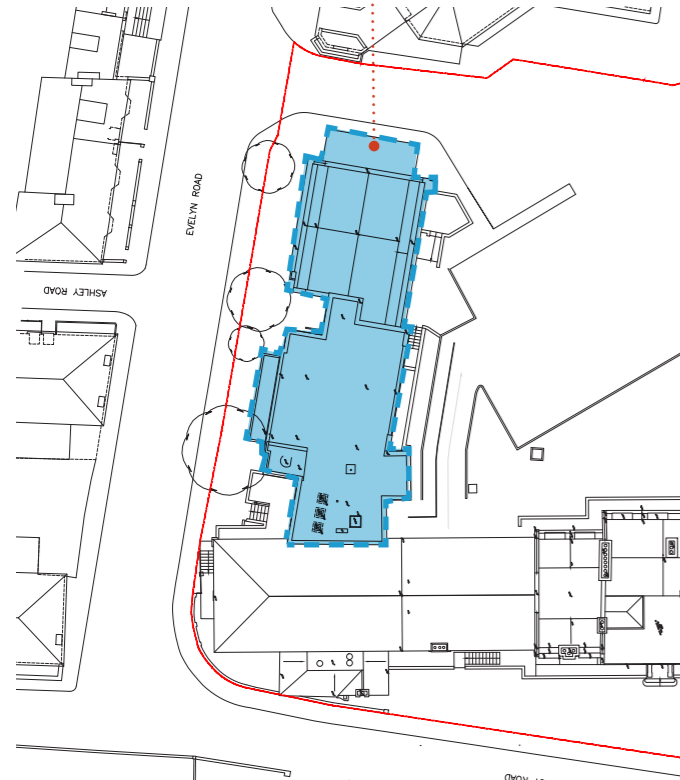
The new roof top extension at third floor will be set back by 1m from the facade and is a subordinate to the existing brick facade.

- - - Proposed FFL
- Building to be demolished and rebuilt to match adjacent 1920s style
- Existing Building to be retained



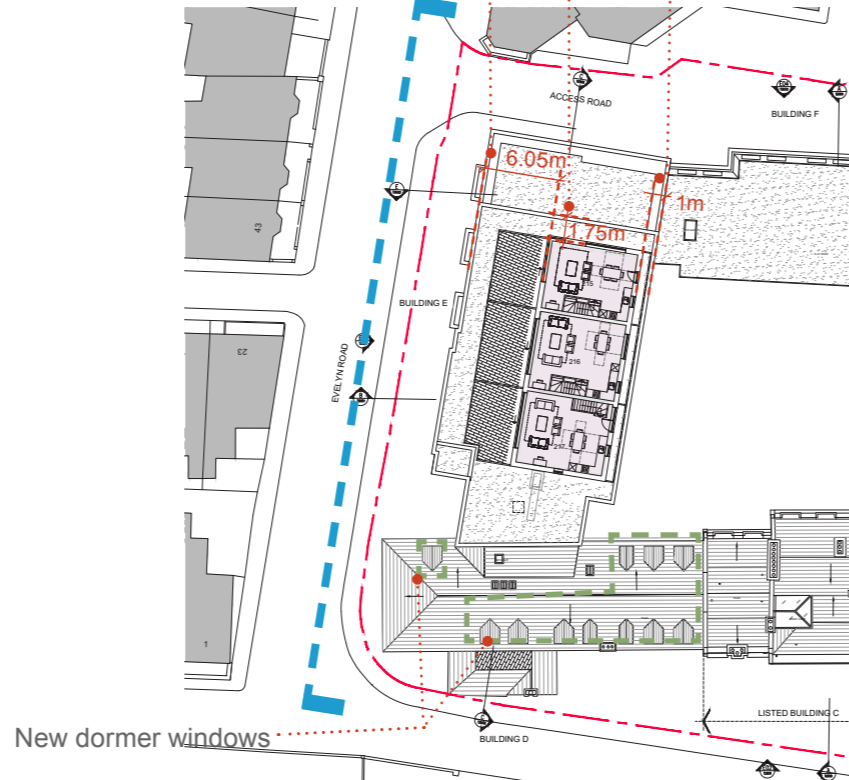
Sensitive Modern Addition

Fragmentary existing
roofscape



Existing Third Floor Roof Plan

Roof top extension set back
from facade below

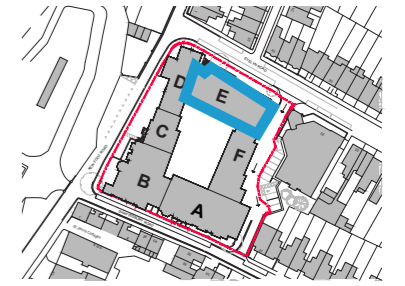


Proposed Third Floor Roof Plan

Fragmented existing Roofscape
rationalised to flat roof.



Proposed Roof Plan



Proposed Elevation

Rooftop extension setback 6.05m from
facade below.

Reduced building height in response to
existing corner massing.

Horizontal clear datum lines established in
reponse to the existing Art Deco style.



Precedents: Art-Deco Style

Art-Deco Buildings found in Richmond



Litchfield Court, Richmond

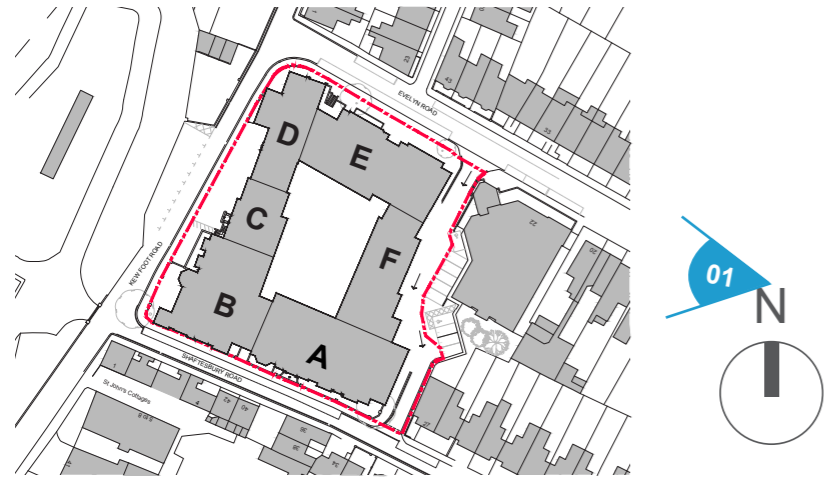


Richmond Station, Richmond



Litchfield Court, Richmond

Proposed Elevation Views from Evelyn Road: View from West



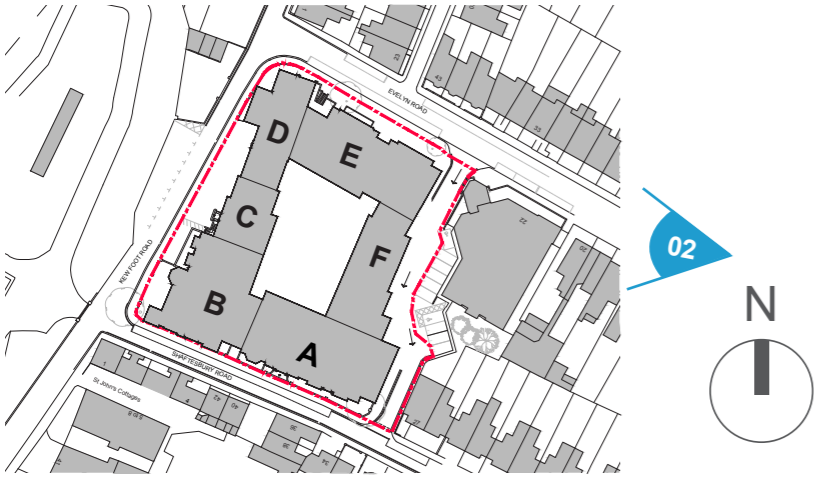
Existing View 1



Second and third floors are set back from the main facade and reduce the massing of the roof top extension.

Proposed View 1

Proposed Elevation Views from Evelyn Road: View from West

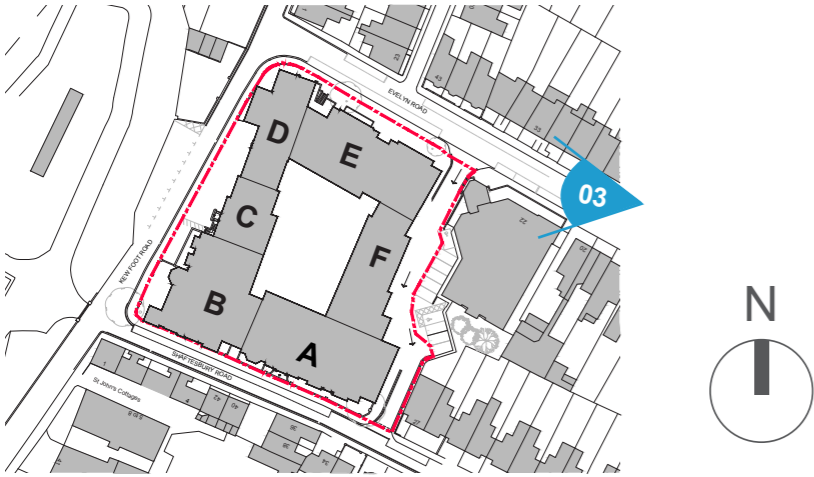


Existing View 2

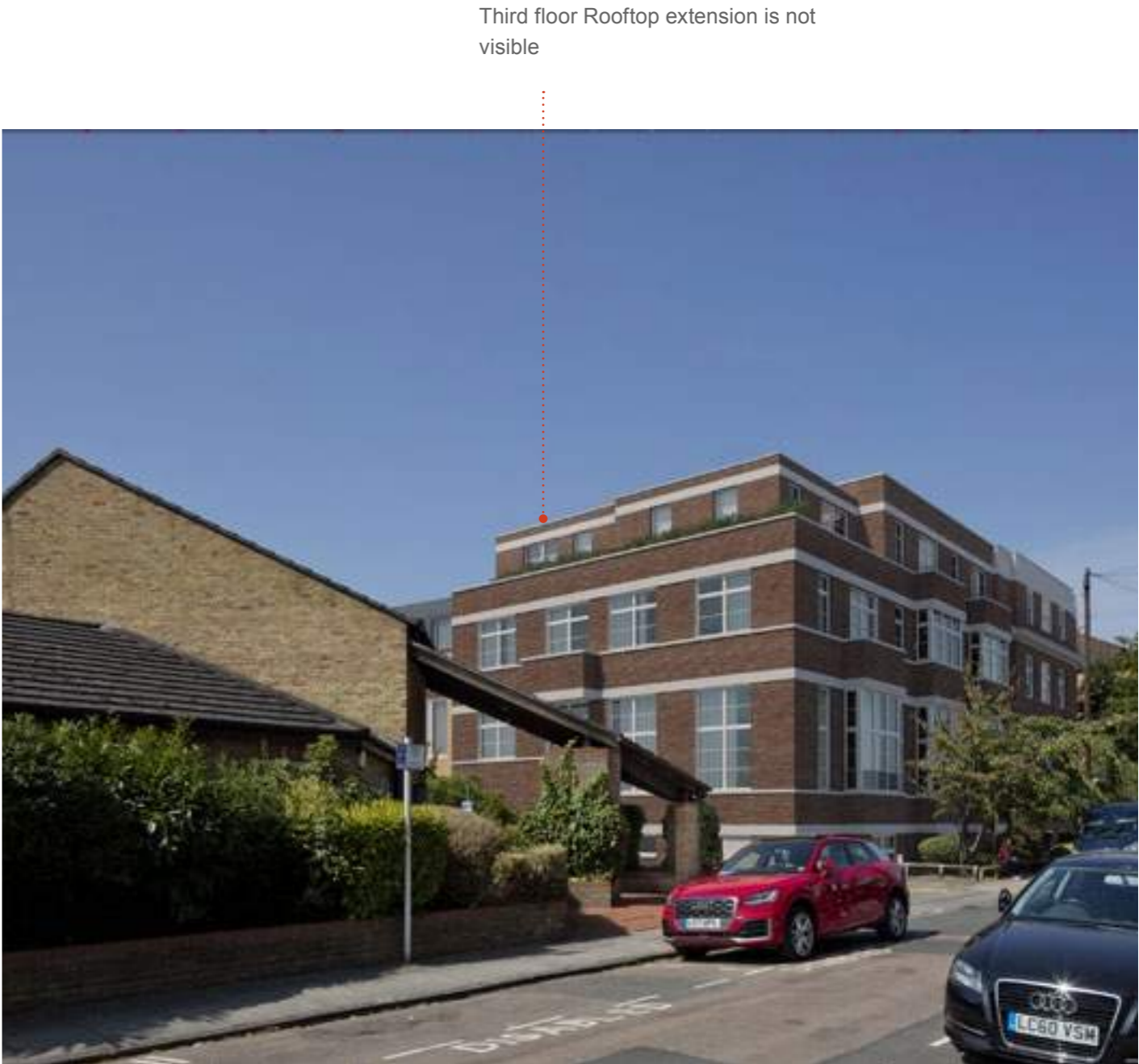


Proposed View 2

Proposed Elevation Views from Evelyn Road: View from West



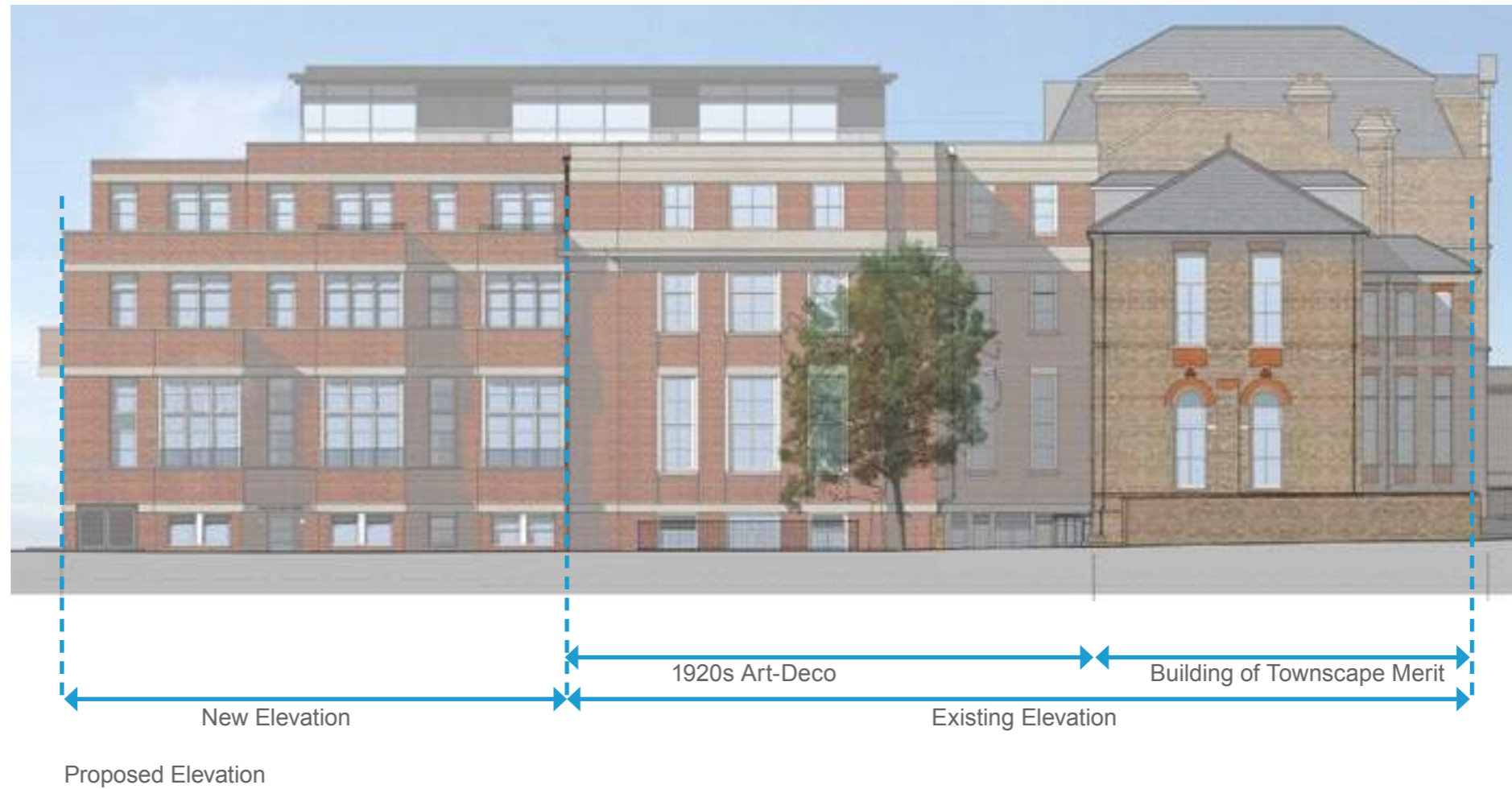
Existing View 3



Proposed View 3

Proposed North Wing - Evelyn Road Elevation

- Evelyn Road Elevation revised in response to comments received from Conservation Officer during pre-application meeting on site on 29th August 2018.
- New proposed elevation to continue the existing 1920s Art-Deco style.
- New Red London stock brickwork to match existing.
- Window proportion to be aligned with existing.
- Roof top extension stepped and changing material from masonry to lightweight cladding.



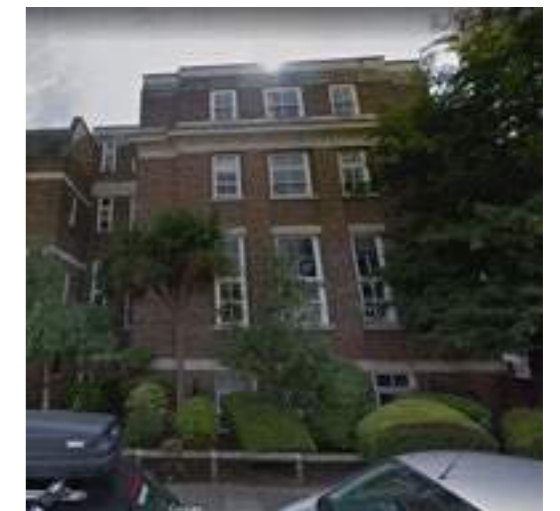
Existing Elevation



Existing Image 01



Existing Image 02



Existing Image 03

Proposed External Materials

- 01 Brick - Richmond Multi-Stock
- 02 Timber Window- White
- 03 Natural Slate Roof
- 04 Glazed Brick- White
- 05 Zinc Roof - Grey
- 06 Aluminium Window-Grey
- 07 Brick - Red London Stock to match existing
- 08 Lead Dormer Window
- 09 Balustrade- Grey
- 10 Glazed Brick - Pewter
- 11 Glazed Brick - Yellow
- 12 Balustrade- Black
- 13 Aluminium Cladding/ Flashing-Grey
- 14 Natural Stone to match existing



Red London Stock



Balustrade- black

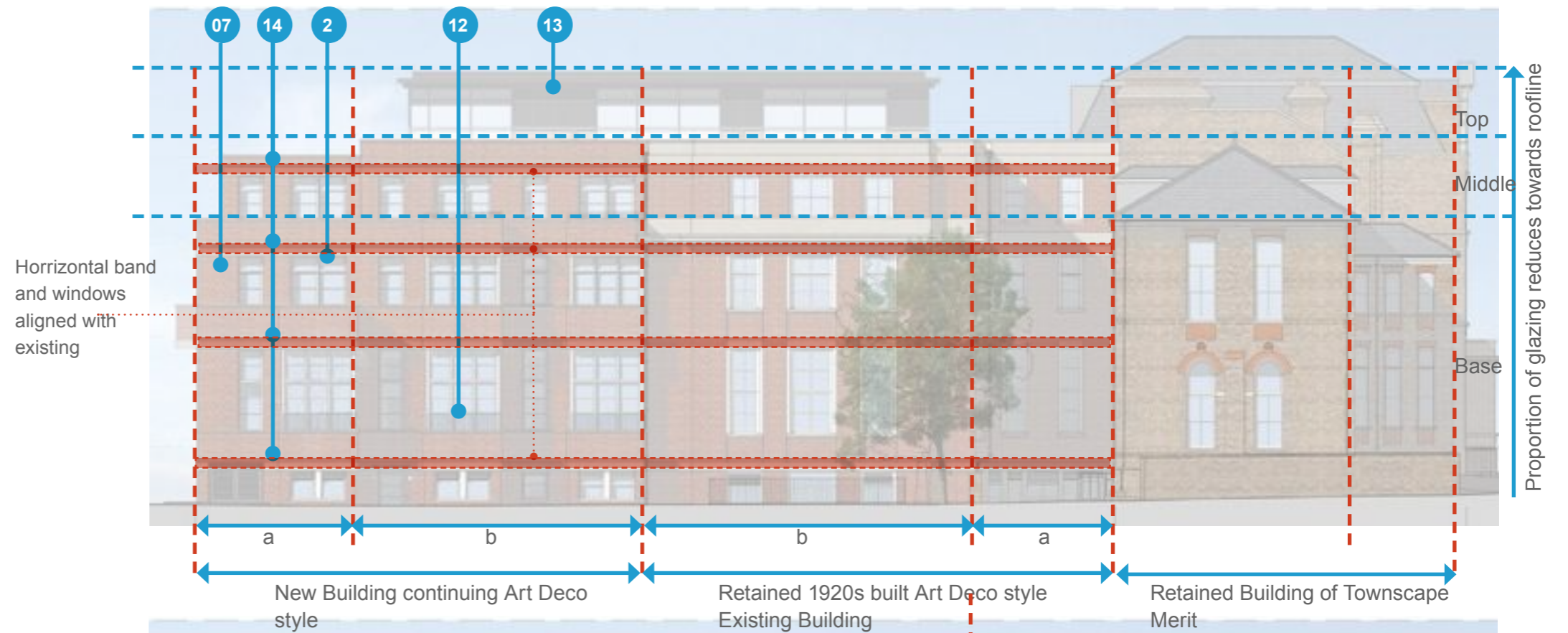


Natural Stone to match existing

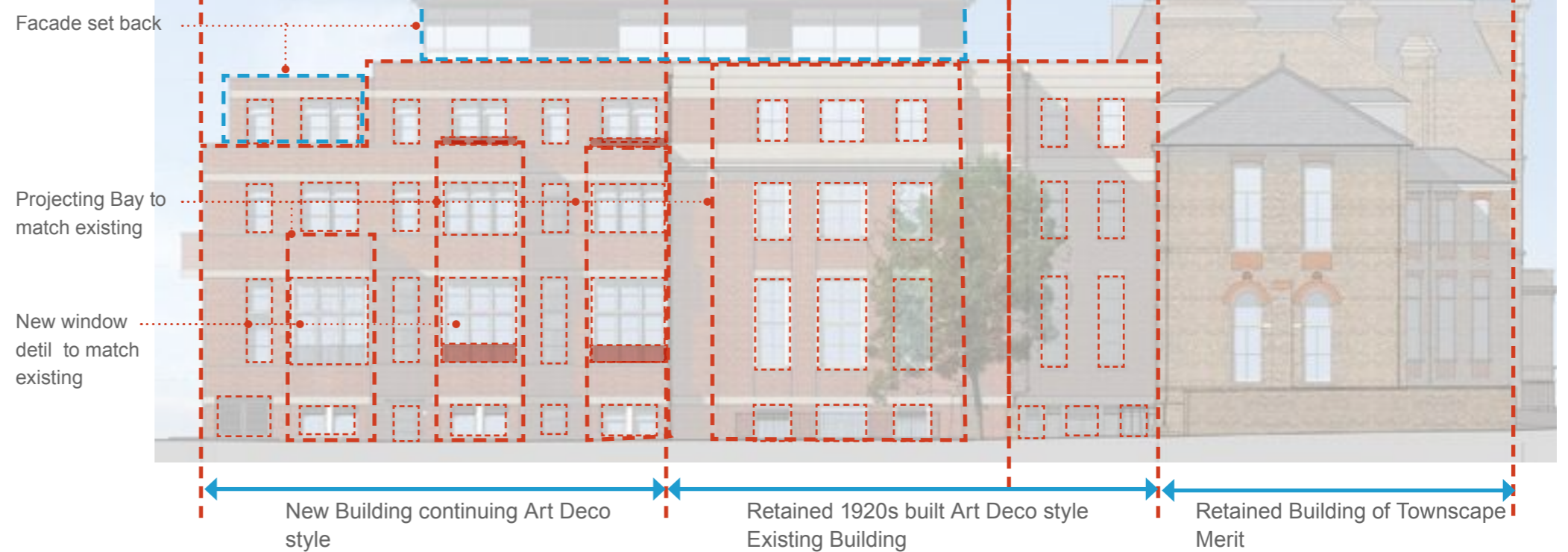


Aluminium Cladding- Grey

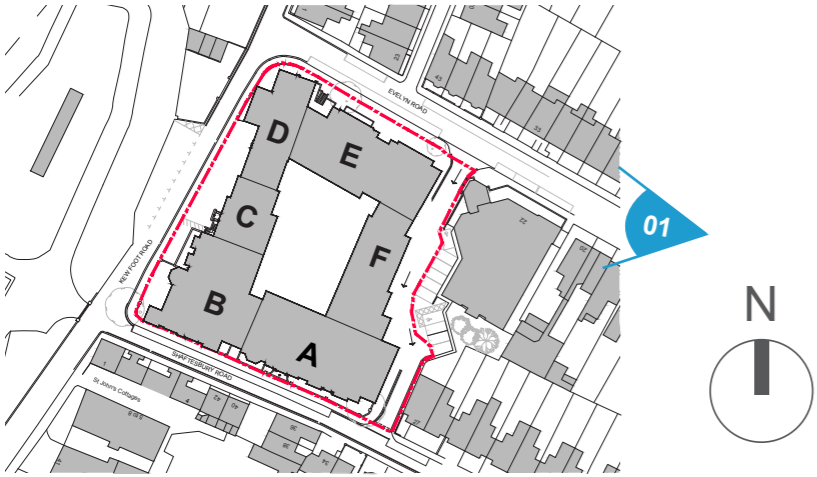
Facade Rhythm/Hierarchy



Accent/ Relief



Proposed Elevation Views from Evelyn Road: View from East



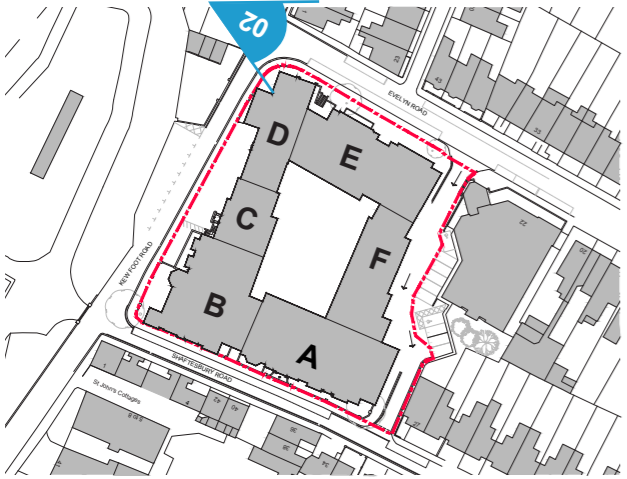
Existing View 1



Second and third floors are set back from the main facade and reduce the massing of the roof top extension.

Proposed View 1

Proposed Elevation Views from Evelyn Road: View from West



Horizontal band detail continued to new elevation

Level 3 set back by 6.05m from main facade & not visible



Existing View 2



New Building continuing Art Deco style

Retained 1920s built Art Deco style Existing Building

Proposed View 2

East Wing - Shared Access Road Elevation

This section describes the evolution of East Wing Elevation to respond to the characters of Evelyn Road and Shaftesbury Road elevations forming the corners of the wing and a contemporary modern addition in the middle.



Aerial View of Richmond Royal Hospital East



Site Location Plan

Outline of Proposed East Wing
(Dotted in red)



Precedents: Brick Facade

Precedents of Contemporary Brick Buildings



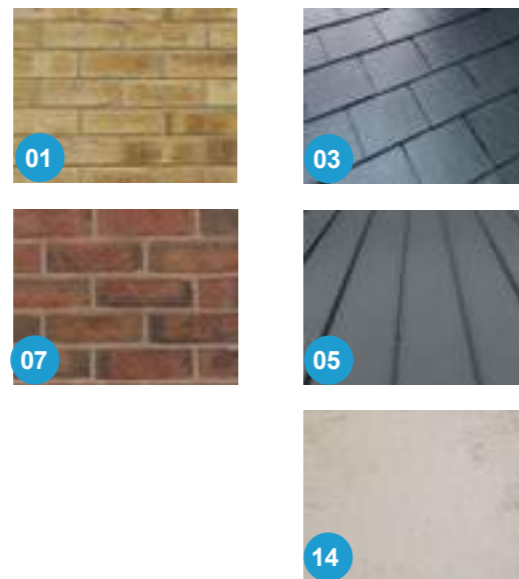
Proposed East Wing Elevation

East Wing elevation is comprised of variety of brickwork in response to the existing characters of Shaftesbury and Evelyn Road. These two wings form the framework for the modern addition in the middle.



Proposed External Materials

- 01 Brick - Richmond Multi-Stock
- 02 Timber Window- White
- 03 Natural Slate Roof
- 04 Glazed Brick- White
- 05 Zinc Roof - Grey
- 06 Aluminium Window-Grey
- 07 Brick - Red London Stock to match existing
- 08 Lead Dormer Window
- 09 Balustrade- Grey
- 10 Glazed Brick - Pewter
- 11 Glazed Brick - Yellow
- 12 Balustrade- Black
- 13 Aluminium Cladding/ Flashing-Grey
- 14 Natural Stone to match existing



Existing View to Corner of Shaftesbury Road & Access Road



Existing View to Corner of Evelyn Road & Access Road

Building facade is subdivided with use of vertical recessed brickworks in reference to the traditional plot width used in the adjacent buildings.



Proposed Elevation



Typical Houses along Shaftesbury Road



Proposed Window Plan Detail



Material details used in local context



Typical Houses along Evelyn Road

Potential Locations for Integration of Artwork

Courtyard Entrance Detail

The shared residents access to courtyard garden via secured access gate has been detailed in a way that would provide the required sense of arrival whilst retaining a pedestrian friendly scale on the streetscape.

The space provides weather protection and repose from the open street, and a moment of pause to take in the inside covered lobby, before going to the communal courtyard.

The metal gate is an intricate design which would add visual interest and grandeur to the entrance. It was decided that some form of public art could be integrated into the design elements of the gate. The same motif could be carried through to the design of metal balustrades around the foot bridges and stairs within the courtyard.

UKI Richmond Ltd would wish to work closely with Richmond Council to develop these proposals.

- A** Access Gate
- B** Foot Bridge
- C** External Stairs

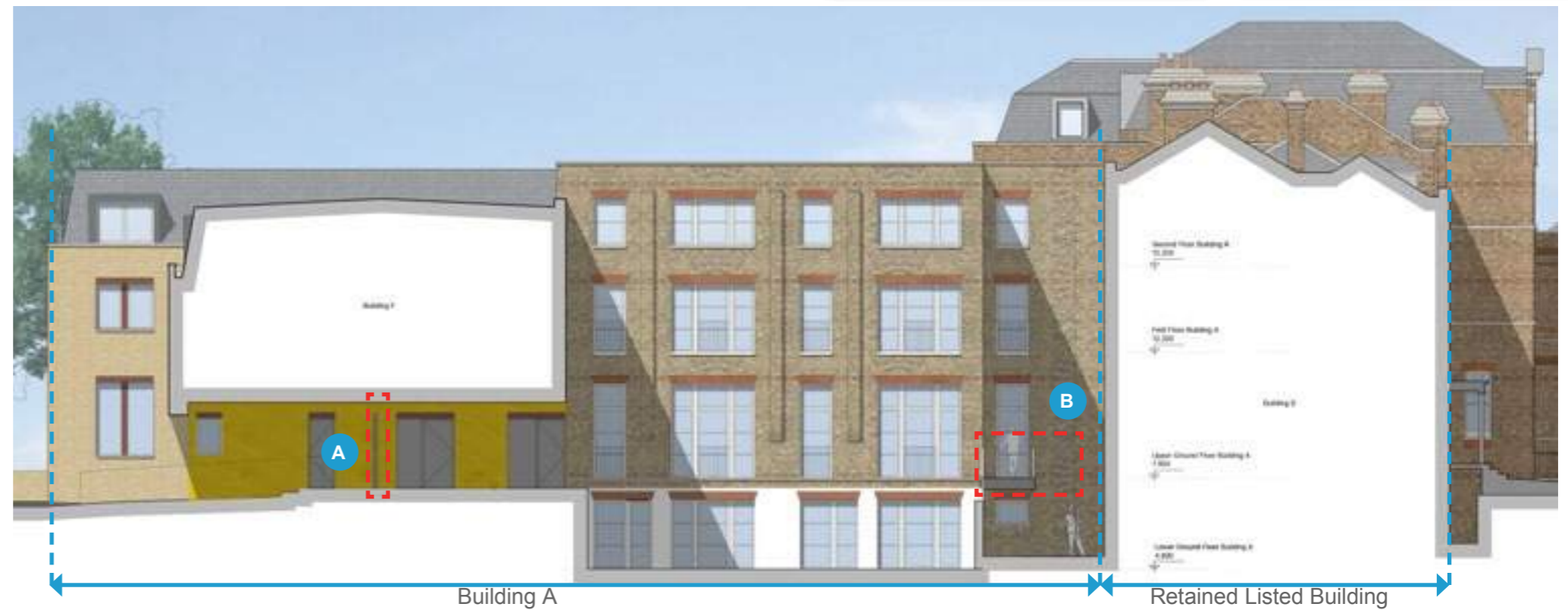


Proposed East Elevation



Images of Metal Work

- A Access Gate
- B Foot Bridge
- C External Stairs



Proposed Shaftesbury Wing Courtyard Elevation

Proposed Elevation Views from Shaftesbury Road

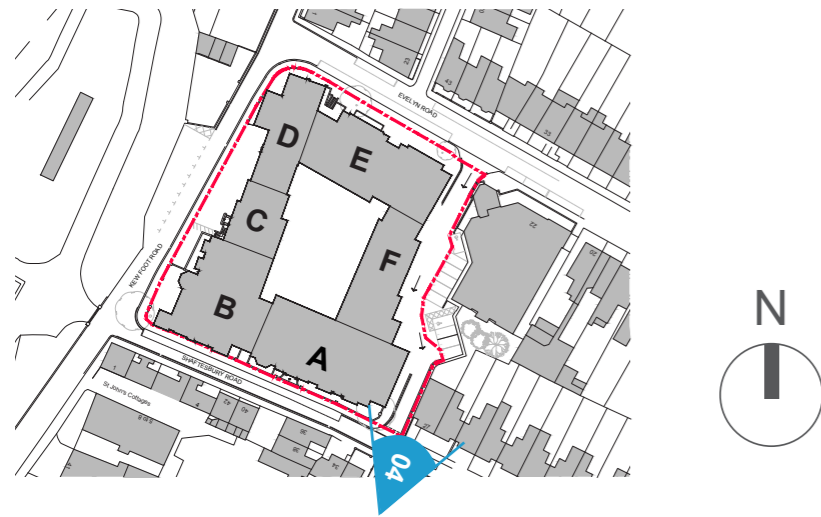


Existing View 3

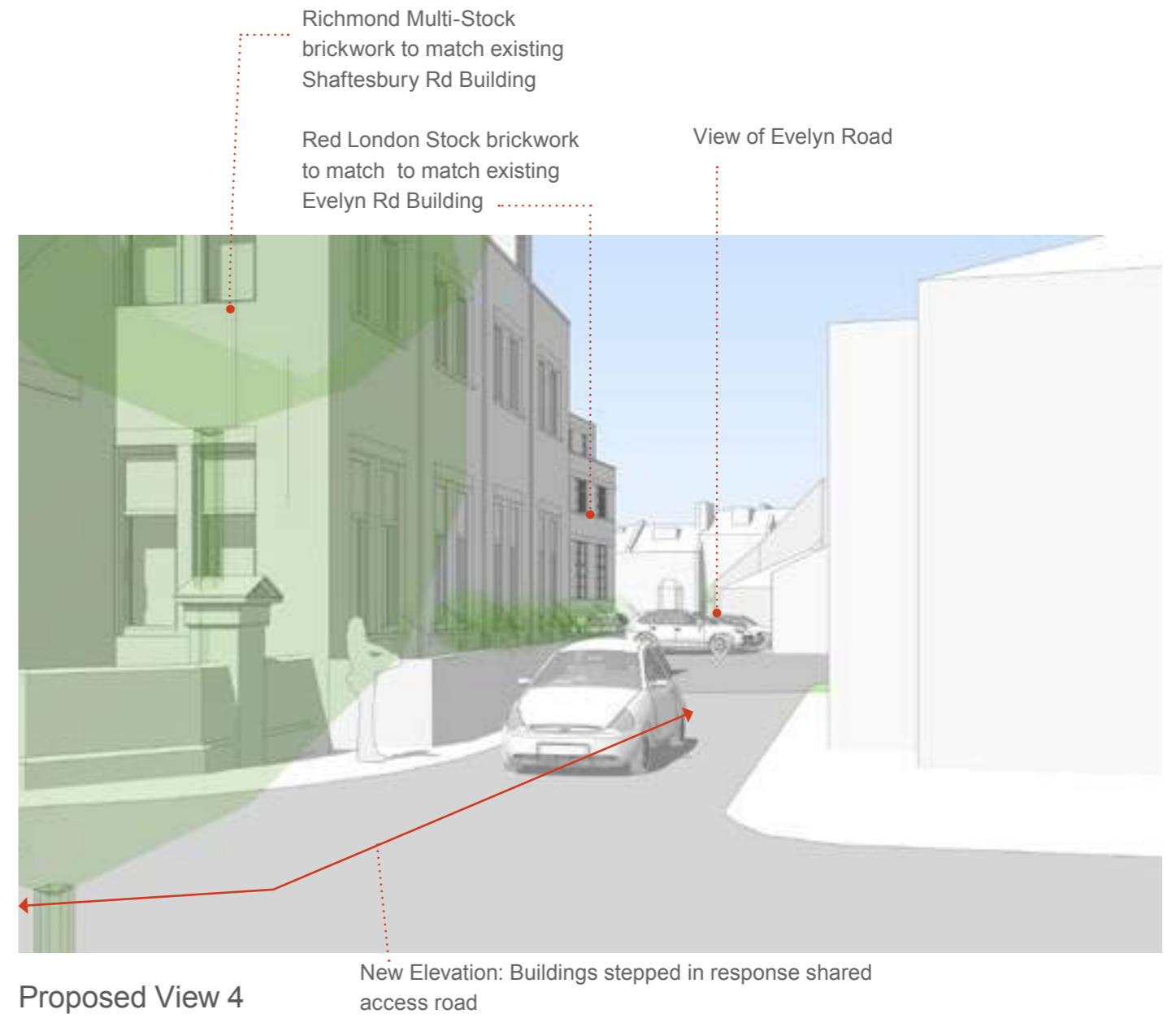


Proposed View 3

Proposed Elevation Views from Shared Access

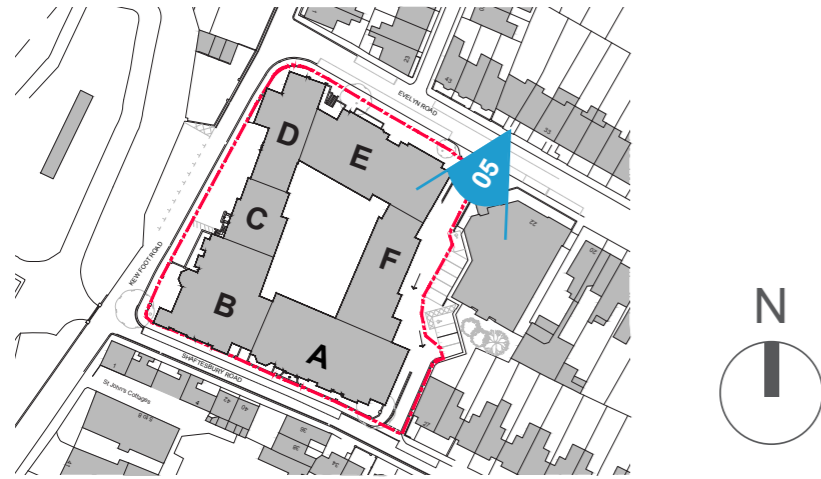


Existing View 4



Proposed View 4

Proposed Elevation Views from Evelyn Road



Existing View 5



Proposed View 5

Richmond Multi-Stock brickwork with slate mansard roof to match existing Shaftesbury Rd building. New mansard rooftop extension set back from main facade

Richmond Multi-Stock brickwork with zinc mansard roof for contemporary addition

Red London Stock brickwork with same 'art-deco' character as existing Evelyn Rd building.

New Building Elevation stepped to follow the profile of shared access road