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DESIGN & ACCESS STATEMENT

Proposed Senior Independent Living Extra Care Development

12-14 Station Road and Nos.13 & 19-33
Lower Teddington Road Hampton Wick

Prepared by PRC Architecture & Planning Ltd
on behalf of
The Sons of Divine Providence Developments LTD
Issue Planning
PRC Ref: 10901

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All drawings are indicative only and not to scale

INTRODUCTION

TERMS OF REFERENCE

Application Site: 12-14 Station Road Hampton Wick, KT1 4HG, and Nos 13 & 19 - 33 Lower Teddington Rd, Hampton Wick, KT1 4EU

Local Authority: London Borough of Richmond Upon Thames

Site Area: 0.84 ha

PURPOSE OF THE DOCUMENT

This document has been prepared on behalf of the applicant The Sons of Divine Providence Developments LTD in support of a detailed planning application.

This document considers the existing site analysis and site influences. It sets out the design development of the site, reviewing the options considered and the issues associated with the site that has led to the submitted scheme.

The issues considered in the document include the layout, use, amount, scale, appearance and materials. Although diagrams are included in the document, they are not to scale. Scaled floor plans, elevations and images have been submitted as part of the application and should be referred to in conjunction with this document.

This statement accords with the national information requirements set out in the National Planning Practice Guidance and the form and content of Design and Access Statements which are prescribed by the Town & Country Planning (Development Management Procedure) (England) Order 2015.

DEVELOPMENT OVERVIEW

Description of the Application

This is a detailed application for the erection of an Independent Senior Living Extra Care building comprising 28 units (following demolition of the existing care home) at 12-14 Station Road; the refurbishment and renovation of Nos.13 and 23-33 Lower Teddington Road (including the erection of a single storey rear extension to No.23, the change of use of No.13 from office to residential, the relocation of offices within the site; and the conversion of Nos.27 and 29 to apartments from houses in multiple occupation); the erection of a temporary sales building to the rear of Nos 31-33 Lower Teddington Road; and associated landscape planting and car parking.

Application Team

The applicant has put together a professional design team who have worked on numerous significant projects and have prepare a series of supporting documents for this application which should be read in conjunction with this Statement:

Architect	PRC Architecture & Planning Ltd
Planning	PRC Architecture & Planning Ltd
Landscape	PRC Architecture & Planning Ltd
Health Impact	PRC Architecture & Planning Ltd
Heritage	Heritage Collective
Highways	Paul Mews Associates
Construction	Paul Mews Associates
Ecology	Middlemarch Environmental
Planning Needs	Carterwood
Arboricultural	Barrell Tree Consultancy
Energy/ BREEAM	Cudd Bentley
Utilities	Cudd Bentley
Ground Investigation	Bradbrooks Consulting
Flood Risk	KRS Consulting
Drainage	KRS Consulting
Financial Viability	BNP Paribas
Daylight/ Sunlight	S2 Partnership
Archaeology	CGMS
Air Quality	ACCON
Noise	ENS

LAND OWNERSHIP

The application site is owned by The Sons of the Divine Providence as part of a wider estate. The diagram opposite illustrates the land ownership in relation to the application site.



Fig. 1: East Birds Eye View of the Site

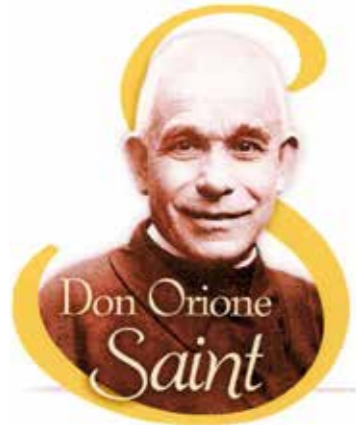


Fig. 2: Photo of the existing care home at 12-14 Station Road

INTRODUCTION

THE APPLICANTS

The Sons of Divine Providence



The application site is owned by 'The Sons of the Divine Providence', a religious community founded by Saint Don Orione. The site forms part of a wider estate, including other sites in East Molesey in Elmbridge, and Up Holland in Lancashire. The Sons of Divine Providence' are also a registered provider of social housing (No.LH4338).

Orione Care is the working name for 'The Sons of Divine Providence', who are also a registered charity (No.1088675), with the charitable company first established being in 1952. They provide high quality housing, care and support to older people, older people with dementia and adults with a learning disability.

The Sons are committed to "do good always and harm nobody", guided by Roman Catholic teachings of Saint Don Orione, while their worship services are open to people of all backgrounds and beliefs.

'The Sons of the Divine Providence' (The Sons) currently provides 65 units of independent social housing, in Teddington, East Molesey and Up Holland in Lancashire.

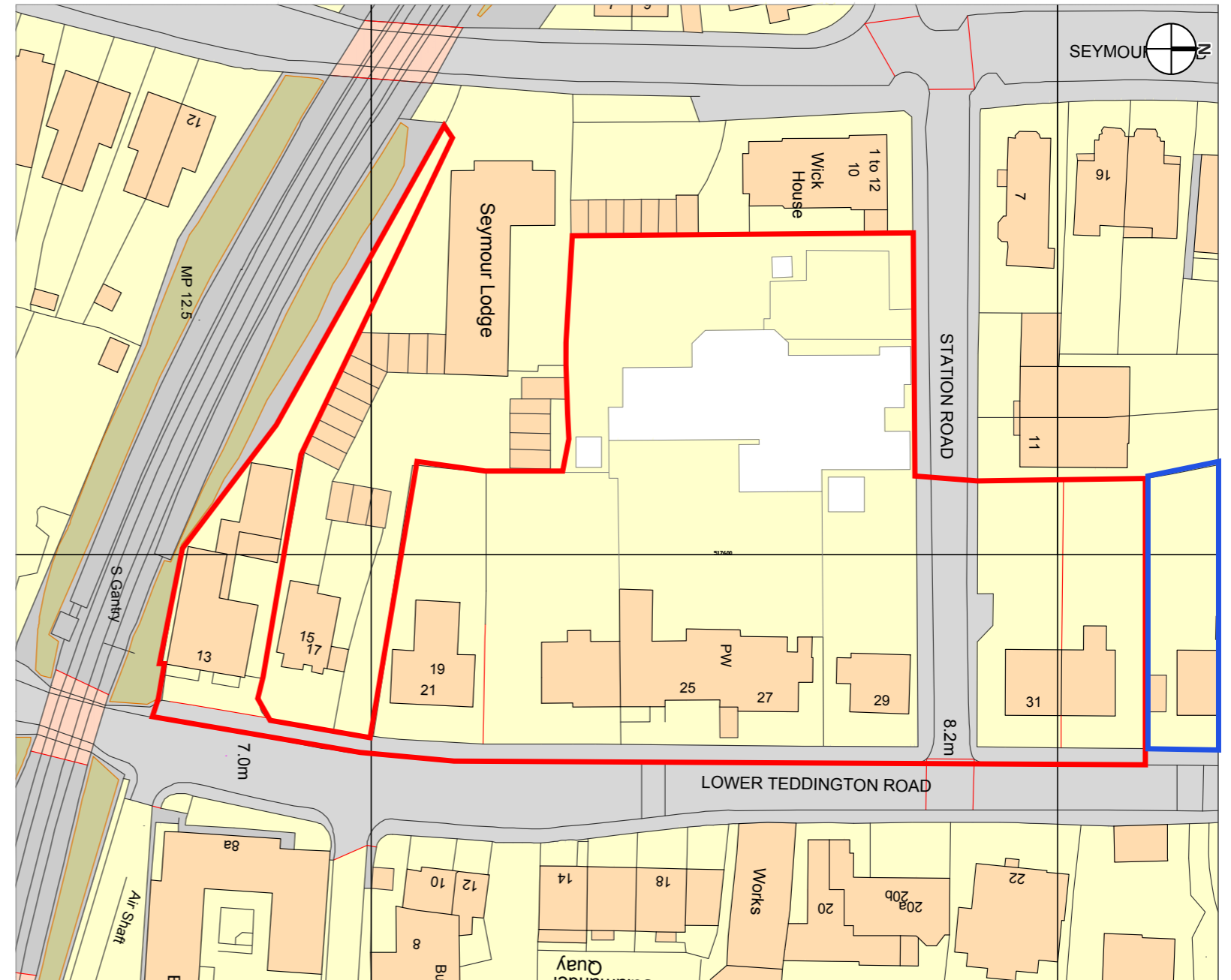


Fig. 4: Ordnance Survey illustrating the application site and other land ownership



Fig. 3: Applicant images location

ASSESSMENT

SITE CONTEXT

Site Location

The site is located on Lower Teddington Road and Station Road in the village of Hampton Wick in the London Borough of Richmond Upon Thames.

The site has relatively good transport links being located within 500m of seven London bus routes and Hampton Wick train station on Upper Teddington Road, which can also be accessed from Station Road. Upper Teddington Road (A308) is the primary route through the Village, whilst Lower Teddington Road is a secondary alternative route from Kingston to Teddington.

Local Services/ Connectivity

A Transport assessment has been prepared by Paul Mews Associates as part of this application and should be referred to.

Road Hierarchy

Upper Teddington Road A308 is the primary route through Hampton Wick, whilst Lower Teddington Road is an alternative secondary route which runs north-south through the village on a parallel trajectory to the River Thames.

Station Road is a tertiary route which runs east-west between Lower Teddington Road, Seymour Road and ends at the railway line.

Access & Parking

Vehicle & pedestrian access is available at several points along Lower Teddington Road and from Station Road. There is no pedestrian access through the site.

Parking for the site is contained to off-street surface parking in two areas adjacent to Orione House and No.19 LTR.

Public Transport

The site has a PTAL rating of 3. Bus stops & Hampton Wick train Station are located on Upper Teddington Road, which is within 150m of the site. Hampton Wick is a key commuter hub in travel card zone 6. Trains run regularly to London Waterloo in approx 30 minutes.

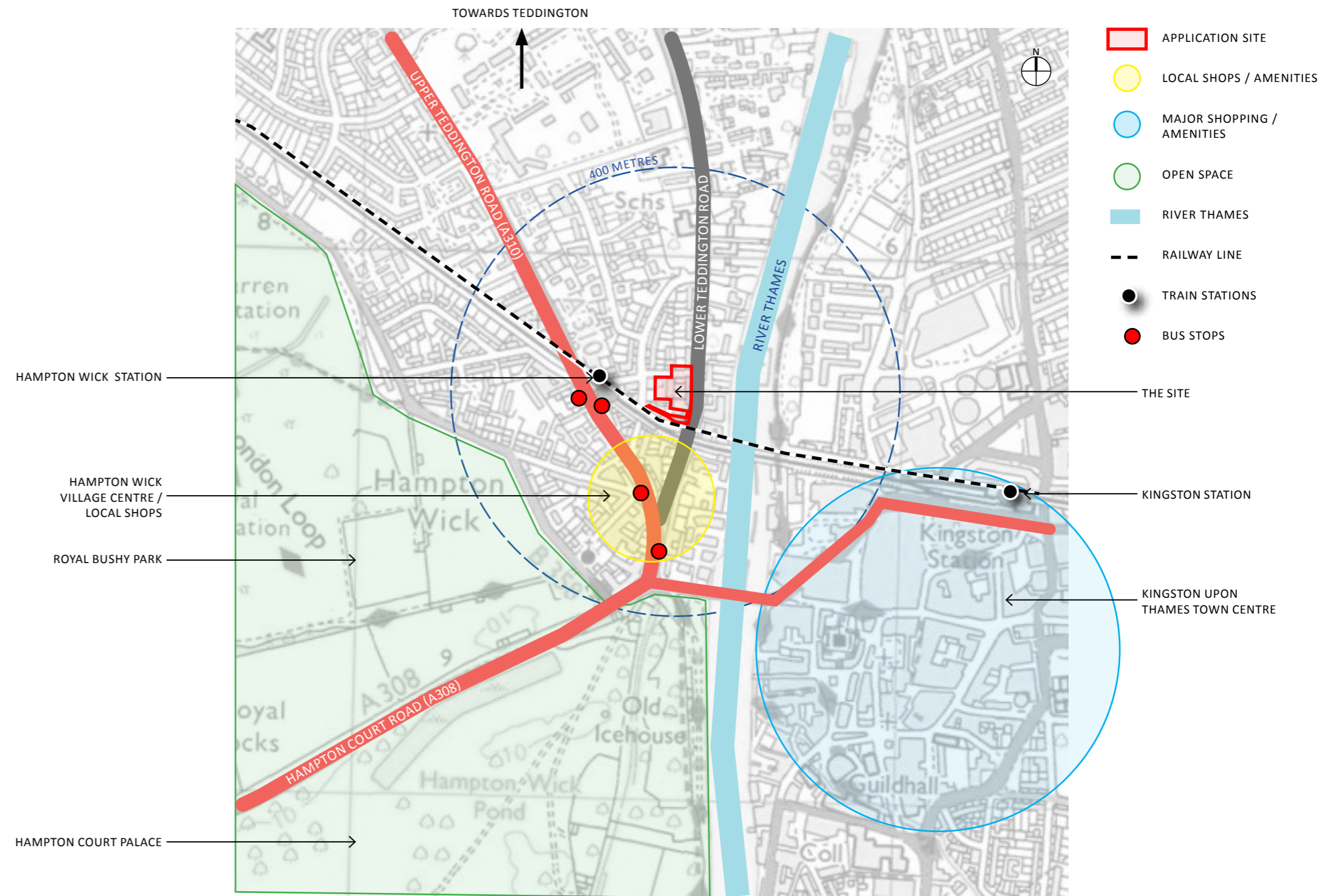


Fig. 5: Ordnance Survey showing the Site Location with a red pin

ASSESSMENT

SITE CONTEXT

Site History

In 1955 Miss Cecilia Cooper, a devout Catholic, living in 25 Lower Teddington Road, decided to make a gift of the house to The Sons of Divine Providence. She had improvised a chapel in her own home in which, with Cardinal Griffin's permission, a monthly Mass was celebrated. The Chapel was later extended and continues to serve the community.

Work commenced on the conversion of the family house into a residence for elderly gentlemen, and in 1958 Fr. Bidone, with some of the residents from Fatima House, moved from Streatham to Hampton Wick.

In 1956 Cardinal Griffin summoned Father Bidone to Archbishop's House to find out what work The Sons were engaged upon in the Westminster diocese. When it was explained that a residential home for the aged was planned the Cardinal handed Fr. Bidone a cheque for £2,000 to help the work. Providentially this was exactly the price required to purchase the house next door to that gifted by Miss Cooper and which The Sons had just purchased on mortgage, to enable the two to be joined to give extra rooms. These properties came to be named "Westminster House" situated as it was within that diocese.

Between 1952 and 1962 not only were the houses caring for the elderly well established, plans were in hand for a residential unit for severely mentally handicapped children, Colombo House. In Hampton Wick, another house, No. 13 Lower Teddington Road, was acquired for conversion to a nursing home.

No. 13 was owned by the Railway authorities and needed extensive conversion to provide an 8-bedded nursing home. It was opened on 11th February 1966 fully staffed and registered as St. Mary's Nursing Home.

By the late sixties the complex of Lower Teddington Road provided residence for the elderly gentlemen, the nursing home, a hostel at No. 21, St. Stephen's on the upper floors and offices on the lower ground floor.

Compensation funds from the Greater London Council (as it was then) formed the basis for the new home for the elderly in Hampton Wick which was called after the founder, Orione House. When two big houses with large grounds between Westminster House and the railway station became available the plan was put into action. Orione House was opened on 12th October 1974

In the summer the community sit in the garden of Orione House together with the residents. In recent years the AGM has been held in the garden with the celebration of Mass in the open air followed by reports given by the Company Secretary and the Financial Administrator finishing with a barbecue and social get-together.

Residents of Orione House are able to lead their lives as their physical abilities allow, they are free to come and go as they wish - the house is truly their home. Some people have their fees met by the Social Services payments from the State and some pay privately. Some residents never have a visitor and for them the priests and brothers and the staff are their family and their friends.

A statue of Our Lady was given to The Sons of the Divine Providence by Mr. Sydney Farmer, a practising Catholic, who recognised it as a mediaeval work and probably Christian. In 1960 it was authenticated as a rare example of mediaeval Gothic art and was blessed in Westminster Cathedral by Cardinal Godfrey. Fr. Gaetano Piccinini said the votive Mass. When Pope John XXIII was shown a photograph of the statue he autographed it with the words "Hail, Star of the Sea, God's own Mother blest".

The Grotto in the garden at the back of the house. The little grotto to Our Lady of Lourdes which Miss Cooper had erected in her garden became the focus of the first street procession in honour of Our Lady to be held in England since the Reformation in the Hampton area.



No.25 Lower Teddington Road



No 13 Lower Teddington Road



Rear Garden of Orione House



Statue of Our Lady



Miss Cecilia Cooper



Existing Grotto

Fig. 6: Historical photos of the site

ASSESSMENT

SITE CONTEXT

Heritage

Part of the site falls within a Conservation Area, the details of which are contained within the London Borough of Richmond Adopted Management Plan (Policy DM HD 1). The Conservation Area extent is shown on the diagram opposite. Given that part of the site falls within the Conservation Area, it is assumed that any development on the site should be mindful of the character setting. The submitted Heritage Assessment by Heritage Collective, sets out the detailed analysis of the heritage impact of the proposed scheme.

Historic Character

Distinct character of development exists on and around the site, which will be considered in the new proposals.

The frontage to the west side of Lower Teddington Road comprises pairs of high quality Victorian and Georgian villas, circa late C18 to early C19. Over time, various alterations and extension work has been carried out to the existing properties, and the proposals will seek to improve or maintain the current status and hierarchy of the built environment within the Conservation Area.

Within the site, and outside the Conservation Area, the existing development is more recent, and modern in style. However, the new proposal will seek to introduce more sympathetic design and style in the development.



Fig. 7: Extract from Conservation Area No.18

ASSESSMENT

SITE CONTEXT

Flood Risk

Please refer to the extract from the Environment Agency Flood Map opposite.

The River Thames is situated approx. 50m to the east, and part of the site falls with Flood Zone 2, which indicates a medium probability of flooding. A Flood Risk Assessment will be required.

The parts of the site which are within Flood Zone 2 are currently developed areas, and any proposals will need to ensure that no increase in footprint of development is proposed.

The part of the site which is proposed for the new apartment building is located within Flood Zone 1 (low probability), and therefore development is considered appropriate in terms of Flood Risk.

The details of the Flood Risk are set out within the Flood Risk Assessment undertaken by KRS Consulting.

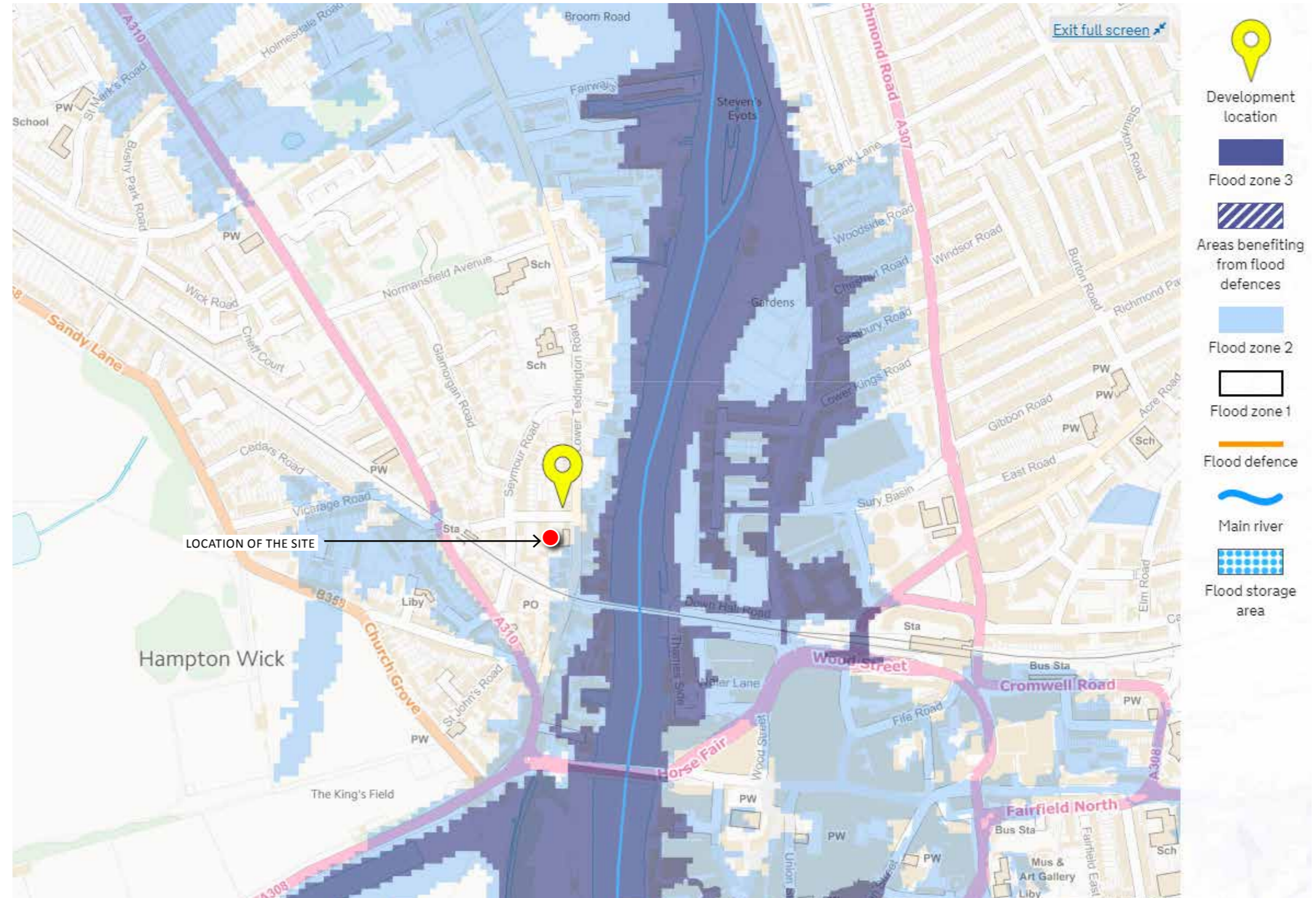


Fig. 8: Extract from Flood Map for Planning service website

ASSESSMENT

SITE CONTEXT

Contextual Analysis

Hampton Wick is an attractive River Thames village with an historic context. A number of listed buildings exist locally and much of the area is designated within the Conservation Area. In addition, Hampton Court Palace and Bushy Park are within close proximity having a bearing on the history of the village.

Local shops and historic pubs line the high street, and Hampton Wick is also close to Kingston Upon Thames (south-east) providing the benefits of a large town centre including a wide variety of shops, bars & restaurants.

Surrounding development to the site is of similar scale, between 2 and 4 storeys, and generally residential in character, including conversion of residential to office. Some purpose built commercial properties also exist on Lower Teddington Road.

Character

Local shops and historic pubs line the High Street, and Hampton Wick is also close to Kingston Upon Thames (south-east) providing the benefits of a large town centre including a wide variety of shops, bars & restaurants.

Surrounding development to the site is of similar scale, between 2 and 4 storeys, and generally residential in character, including conversion of residential to office. Some purpose built commercial properties also exist on Lower Teddington Road.

A contextual analysis has identified that:

- There is an eclectic mix of building styles and sizes within the surrounding area;
- That there is a mixed palette of materials with the predominant use of red brick or light coloured render (both stucco and plain);
- A variety of roof materials are used, predominantly grey slate or red/brown clay roof tiles;
- Brick walls and black railings

The detailed Contextual Analysis is set out as Appendix 1 of this report.



Sheriff House, No.2 Seymour Road



Station Road



Station Road



Station Road



Station Road



Station Road



Station Road



Station Road



Lower Teddington Road



Lower Teddington Road



Lower Teddington Road



Lower Teddington Road



High Street - The Swan Pub circa 16th C.



High Street (The Forresters Pub)



High Street



High Street

Fig. 9: Local Character - Examples of Contextual Analysis

ASSESSMENT

EXISTING SITE ANALYSIS

Use & Amount

The existing use of the site is mixed use. Refer to the table below for detail.

The application site measures 0.84 ha in area. There are currently six blocks of development on the site including 12-14 Station Road and its ancillary buildings, plus Nos. 13 and 19 to 33 Lower Teddington Road.

The existing building footprint of 12-14 Station Road is 1,622sqm GEA (1,394sqm GIA).

Location	Use	Planning Category	Accommodation
Orione House, 12-14 House, Station Road	Care Home - linked to religious community	Residential care home/ nursing home	Vacant. Closed in August 2017. Previously 34 single rooms.
No.13 Lower Teddington Road	Ancillary Office for The Sons of Divine Providence	Office & sui generis - meeting rooms	Ground floor & part 1st floor. All related to religious community and care use
Nos.19/21 Lower Teddington Road	Residential - linked to religious community	Dwelling house	8 apartments comprising 6 x 1b, 1 x 3b & studio flat
Nos.23 -27 Lower Teddington Road	Mixed use		
	- place of worship (chapel) - residential for priests/ students & visitors	Non residential institution <i>Sui generis</i>	23 bedroom spaces comprising 2x1 bed apartments, 6 bedsits, 2 additional bedrooms plus 4 priests rooms and 9 guest/ visitor bedrooms
No.29 Lower Teddington Road	House in multiple occupation - linked to religious community	House in Multiple Occupation	Single unit comprising 6 bedrooms
No.31 Lower Teddington Road	Residential - linked to religious community	Dwelling house	4 x 2b apartments
No.33 Lower Teddington Road	Residential - linked to religious community	Dwelling house	4 x 2b apartments

Fig. 10: Table listing the existing uses of each building on the application site



Fig. 12: Diagram illustrating the location and use of the existing buildings within the application site



Fig. 11: Photographs of the existing buildings on the application site

ASSESSMENT

EXISTING SITE ANALYSIS

Layout

Frontages & Access

The main site frontage is to the east of the site fronting Lower Teddington Road, however the site is effectively split between the existing properties of Lower Teddington Road and 12-14 Station Road. The entrance to 12-14 Station Road is from the southern side of Station Road.

Scale & Massing

Development on the site is varied in height, predominately two and three storeys in scale, with additional basement accommodation in the buildings on Lower Teddington Road. Roof dormers also exist giving a maximum 4 storey scale of buildings locally.

Built in the 1970s, 12-14 Station Road is pink/grey brick built and 3 storeys in height with a tall central element for the lift overrun and plant area. The house is the largest building mass on the site and sits on the north-south axis extending back into the site from Station Road, with its frontage to Station Road.

The remaining properties front Lower Teddington Road (LTR) and each rise to 2 storeys with part basement levels. These properties are circa Georgian era.

No.29 LTR is a brick built detached house with pitched roof. The entrance is positioned to the southern side of the building stepping up from ground level into an arched entrance. No. 27 LTR mirrors No.29 but has been combined with Nos 25 & 23 to form Our Lady of Westminster House. This block has been rendered and painted, with part pitched and part parapet roofline, but retains the Georgian fenestration similar to the adjacent properties.

Nos 19 & 21 LTR is a semi-detached house of 3 storeys with part basement. The building is part render with the upper floors in brick with white coins. This building is separated from Our Lady of Westminster House by a shared off-street parking area. This building is included within the application site but is being refurbished under a separate planning consent (LPA Ref.16/ 1145).

Topography

Site levels

The site is relatively flat, with a gentle fall of around 1.2 metres from north to south along Lower Teddington Road, and a similar fall from west to east.

Environment / Landscape

Several trees existing on the site and a tree survey with root protection zones has been carried out by Barrell Tree Consultancy to inform the proposed development. The survey identified four category B trees of moderate quality, with the remaining trees identified as category C trees of low quality.



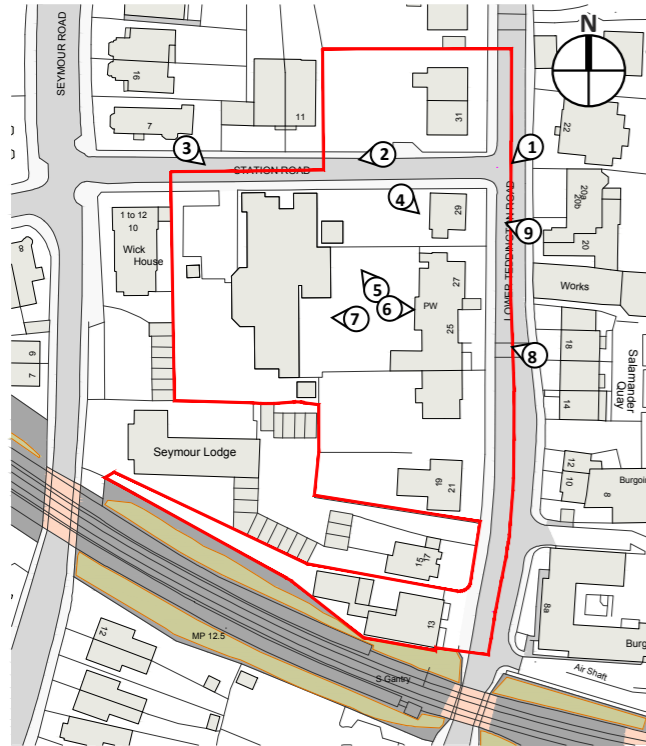
Fig. 13: Diagram illustrating the existing building heights, frontage & access



Fig. 14: Diagram illustrating the existing site environment

ASSESSMENT

EXISTING SITE PHOTOS



Site map, showing the location of the site (red) and other areas within ownership (blue). Numbers relate to the views opposite.



Site View 1



Site View 2



Site View 3



Site View 4



Site View 5



Site View 6



Site View 7



Site View 8

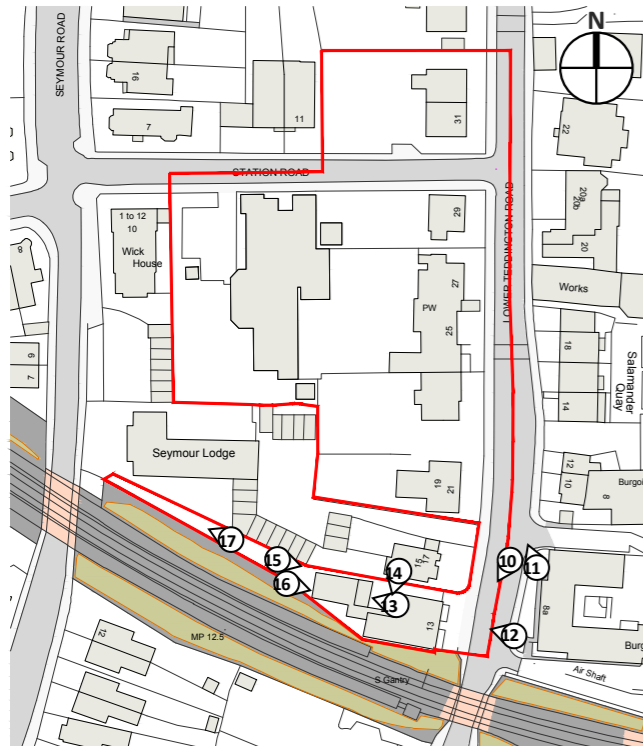


Site View 9

Fig. 15: Photos of the application site as existing - Sheet 1

ASSESSMENT

EXISTING SITE PHOTOS



Site map, showing the location of the site (red) and other areas within ownership (blue). Numbers relate to the views opposite.



Site View 10



Site View 11



Site View 12



Site View 13



Site View 14



Site View 15



Site View 16



Site View 17

Fig. 16: Photos of the application site as existing - Sheet 2

ASSESSMENT

PLANNING DESIGN POLICY

Introduction

This section reviews the relevant planning design policy context for the site and its surrounding area. This has influenced the scheme design including use, unit sizes, amenity area, parking provision and the distance between the proposed building and neighbouring properties.

NPPF 2018

At the heart of the NPPF is the ‘presumption in favour of sustainable development’ and a requirement for the highest standards of design quality. Section 12 seeks to ensure the highest standards of design quality are achieved. Planning policies and decisions should ensure that developments:

- a. will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b. are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c. are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d. establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e. optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f. create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience

London Plan (2016)

Policy 3.5 requires all housing design to be of the highest architectural quality taking account of the local context and minimum space standards. The minimum standards for one, two and three bedroomed apartments ranges between 37/39sqm to 95sqm GIA depending on the number of bed spaces per unit.

Policy 5.3 requires development to achieve the highest standards in sustainable design and construction. Policy 5.10 supports new soft landscape planting, particularly in public areas. Policy 5.11 supports the creation of green roofs and walls in larger developments.

Policy 6.9 requires developments to provide secure and convenient cycle parking facilities. Policy 6.10 seeks improved pedestrian environments. Policy 6.13 addresses the issue of parking and identifies maximum standards (in Table 6.2) that should be adhered to, based on the PTAL rating of a site. The sites PTAL rating 3-5 requires a maximum parking standard of ‘up to 1 space per unit’. Policy 7.2 requires all developments to have the highest accessibility and inclusive design which will need to be addressed within the submitted Design and Access Statement.

Local Plan 2018

Policy LP1 (Local Character and Design Quality) – All development must be of high architectural and urban design quality and will need to take into context the surrounding local character in terms of layout, density, scale, development patterns, views, materials and detailing. The proposal must make the best use of land and take account of spaces between buildings, heights and relationship to the public realm, heritage assets and natural features.

Policy LP2 (Building Heights) – All developments must respect and strengthen the boroughs valued townscape and landscape making a positive contribution to the skyline generally reflecting the prevailing building heights in the areas. Any taller buildings than the surroundings must make public realm benefits and be of the highest architectural quality providing a positive impact on the character and quality of the area. The development should preserve and enhance the borough’s heritage assets and setting and respect the local context.

Policy LP8 (Amenity and Living Conditions) – the amenity and living conditions of new, existing and adjoining properties will be protected, with good standards of daylight and sunlight being achieved; ensuring balconies do not raise unacceptable overlooking or noise to nearby occupiers; ensure proposals are not overbearing and that no harm to the reasonable enjoyment of the use of buildings, gardens or other spaces results from traffic, parking, servicing, noise and pollution.

Policy LP11 (Subterranean Developments and Basements) – More than single storey basements will be resisted. Basements should be no more than 50% of the existing garden in size and demonstrate structural integrity, with the use of natural light and ventilation.

Policy LP16 (Trees, Woodland and Landscape) – seeks to protect existing trees requiring replacement trees where any are felled either on site or through a financial contribution. Important landscape features should be retained and new planting to be of high quality. Policy LP17 (Green Roofs and Walls) – All developments with over 100sqm of flat roof are encouraged to provide green roofs where structurally able.

Policy LP22 (Sustainable Design and Construction) Developments of 1 unit or more or greater than 1000sqm of non-residential development are required to complete the Sustainable Construction Checklist with the application. New development will also be required to incorporate water conservation measures of 110 litres per person per day for homes. New non-residential buildings over 100sqm require BREEAM ‘excellent’ rating and proposals for change of use to residential must meet the BREEAM Domestic Refurbishment ‘excellent’ standard where feasible.

EVALUATION

SITE INFLUENCES

Existing features / constraints

- Vacant / redundant care home no longer suitable for use
- Ageing Buildings of Townscape Merit and other buildings in poor repair
- Poor quality local environment and public realm within the Hampton Wick Conservation Area
- Poor quality design adjacent to the Conservation Area
- Poor frontage to Station Road
- Partial inclusion within flood zone 2
- Proximity to rail lines
- Proximity to neighbouring properties and windows overlooking the site

Opportunities

- Refurbish and modernise existing buildings bringing them up to modern standards of living
- Significant enhancements of the local environment within the Conservation Area and the building fabric of the Locally Listed Buildings
- Opportunity to significantly improve the overall site in connection with the ethos of the existing religious community
- Replace unsuitable property and incongruous building within the street scene with much needed independent senior living accommodation
- High quality design, enhancing street frontage to Station Road and adjacent Conservation Area
- Enhance links, connectivity and landscape within the site to ensure continuity of whole site function
- Within 500m of the main line rail link from London Waterloo with Hampton Wick rail station and seven London bus routes
- No Tree Preservation Orders on the site.



Fig. 17: Diagram illustrating the site influences

EVALUATION

WHY RE-DEVELOP & REFURBISH?

The Vision

The applicant recognises that the needs, wants and aspirations of older people are changing and acknowledges that its services must change and expand to accommodate this.

The current care home building is very outdated and closed in 2017. To bring the site up to modern standards by refurbishing would not be cost effective and applicant would not be fulfilling its charitable mission if they did not aim to maximise the accommodation offered to local people and their families.

By redeveloping the site, the applicant is seeking to create a safe, welcoming and homely facility for people seeking to downsize from their existing property to one that provides a community environment and care as required, whilst retaining a level of independence, with a much more beautiful landscape and tranquil setting - very beneficial for older people in the community - together with a new front entrance onto Lower Teddington Road.

The existing Buildings of Townscape along Lower Teddington Road are in a poor state of repair and have a number of incongruous features, including the existing flat roofed canopy entrance and mixed style of front boundary treatment. The frontage lacks any sense of cohesion. The buildings are under-used due to the poor quality and outdated facilities internally. This detracts from the character and appearance of the Hampton Wick Conservation Area.

The applicant seeks to refurbish the internal arrangements of the buildings to maximise their use for the continuing provision of social care and religious community functions. This will also include substantial improvements to the frontage landscape and accessibility to provide the sense of continuity across the estate as a whole

What is Independent Senior Living Extra Care?

Independent Senior Living Extra Care Housing is designed to accommodate people seeking to downsize from their existing properties into a community orientated development that has a range of lifestyle, health and care needs to the extent that deteriorating general health should no longer be the sole reason for having to move home.

Advantages to Independent Senior Living Extra Care Housing Extra Care housing include:

- Better sized apartments with private kitchen, living & dining areas and a wet-room en-suite.
- Better communal facilities which is important to combat social isolation in older people.
- Better management and staff areas on-site to improve operational requirements.
- CQC Registered Care Provider staff on site 24/7.
- Assisted technology ensures residents can easily communicate with the management / care staff.
- A flexibility of care that can provided and tailored to suit each resident's needs.



Fig. 18: Indicative Vision lifestyle images Indicative

DESIGN DEVELOPMENT

CONSULTATION

Initial Concept Discussions

Conceptual material was submitted to the Local Authority in January 2018 and initial concept meetings held in February and March 2018.

Key Design points:

- Reconfiguration of existing properties for extra care
- Demolition of Orione House, an existing 4 storey care home
- Development of a new 2 and 3 storey apartment building providing 28 no. one and two bedrooled extra care units.

The Design Officers made the following general comments:

- Any new building will need to be of a similar size and scale to the existing 1970s one and should not occupy a larger footprint than the existing.
- The building should be no higher than the existing two/three storey arrangement.
- The massing and scale of any new building should be broken up into smaller and modestly scaled components.
- The design and materials need to be sympathetic to the setting of the building, the Conservation Area and the Buildings of Townscape Merit.
- Underground parking should either be avoided in this context as not being appropriate to the location, or otherwise incorporated within and under the new building so as not to waste garden space and form an unsightly separate entrance and ramp alongside the new building.
- The central communal garden should be retained.
- The historic boundary walls which remain should be retained.
- The new link and entrance to Lower Teddington Road needs to be as unobtrusive as possible and domestic in design, with materials to match the existing houses.

More detailed comments included:

- Discussion on site how the existing link and entrance to Lower Teddington Rd could be retained and improved without the need for demolition.
- The old boundary walls in the garden should be retained to add historical interest and create separate 'rooms' and character areas.
- The central communal garden should be retained as its current size and the new building should not be allowed to come any further forward toward the BTMs.
- No objection to the demolition of the existing 1970s building although it does provide some idea as to suitable scale for any new build replacement.

- Design, massing, scale and materials (as referred to above) will all be important in the new building and at present it does not meet any of these criteria. The massing of the current design is too monolithic, the scale has not been broken down, the building is too high, the materials unsympathetic and the overall does not relate well enough specifically to this site and its setting. The new design should be an improvement on the existing building.
- Regarding the underground parking, agreed that if the new building were set further back into the west side of the site and parking accommodated under the building (if parking of this kind is necessary at all in this context besides specialist and delivery vehicles) then space would not be wasted on a separate and unsightly entrance as this can be incorporated into the face of the new build.

- Any new building will need to address the character of Station Road as well as views from Lower Teddington Road and many others from the surrounding streets.

In conclusion it was agreed:

- Although no objection in principle to the demolition of the existing care home on this site and its replacement with a new building, the existing proposals shown at the pre-application meeting would not provide a suitable alternative of sufficient quality of design which addresses all the constraints and characteristics of the site.
- All the issues referred to in the above notes will need to be satisfactorily addressed before any scheme successfully responds to the site.



Fig. 19: Site Plan & Massing Views presented for pre-application discussions January 2018

DESIGN DEVELOPMENT

CONSULTATION

Initial Pre-application Discussions

Pre-application material was submitted to the Local Authority in September 2018 with a meeting held on 30th October 2018.

Key Design points:

- demolition of existing care home
- erection of 28 independent senior living extra care units over three storeys
- lightweight link connecting new building to Lower Teddington Road properties
- creation of themed gardens and retained garden walls
- renovation and enhancement of the Buildings of Townscape Merit along Lower Teddington Road and enhancement of landscape frontage and conservation area
- Inclusion of a temporary sales building

Design Officers comments received included:

- Design better than previously seen
- More 3d views and images showing how new build responds to Buildings of Townscape Merit (BTMs) would be helpful.
- Reduce height of new building – no higher than BTMs if possible.
- Mixed stock bricks not London stock.
- Temporary marketing suite likely to be ok with best design

Public Consultation

A Public Exhibition was held in July 2018 which presented the scheme as taken to the pre-application later in October 2018. The feedback from those members of the public attending included:

- generally positive
- demolition of the existing care home building positively welcomed
- renovation and upgrade of the buildings and environment along Lower Teddington Road positively welcomed
- concerned raised from residents of Seymour Lodge to the south of the bulk and mass and proximity of the new building and its potential impact on their existing property
- concern raised from existing properties in Station Road of the impact of the scale of the building
- Positive response from Local Ward Member and the Hampton Wick Association.

Ward Members Briefing

A briefing for local Ward Members was held on 21st September 2018 which presented the scheme as taken to the public consultation. The feedback from the two of three Ward Members who could attend was that the scheme was welcomed and the ethos of the applicant as a charity and seeking to help older people with social care and affordable tenancies was also welcomed.



Fig. 20: Indicative Lower Teddington Road Changes

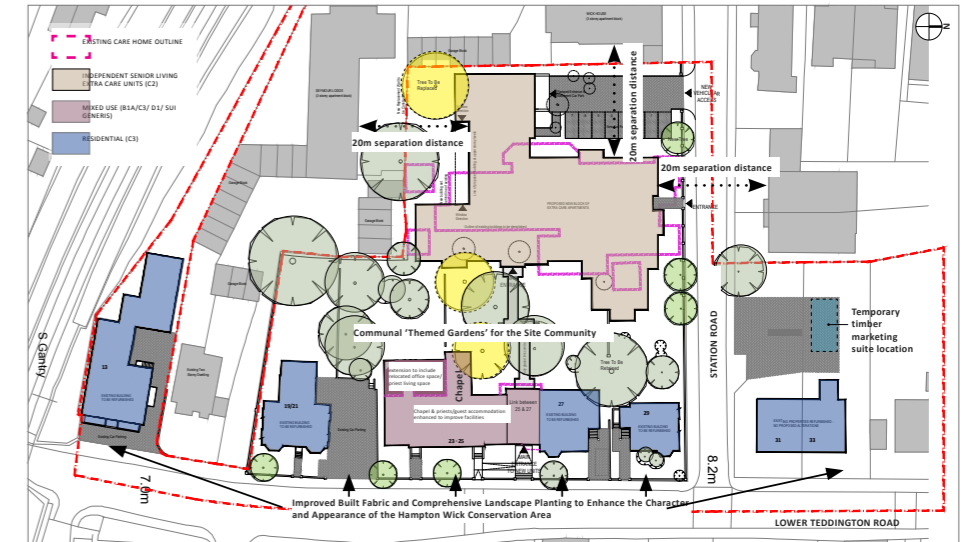


Fig. 21: Pre-application proposed site layout



Fig. 22: Pre-application design image of new Station Road frontage



Fig. 23: Pre-application design image of new building east elevation facing rear of Lower Teddington Road buildings

DESIGN DEVELOPMENT

CONSULTATION

Planning Performance Agreement

A Planning Performance Agreement was entered into between the applicant and the Council and a second pre-application design meeting held on 10th December 2018.

The applicant had taken on board the earlier design comments and had sought to reduce the scale of the proposal as much as possible resulting in the height of the ridge line to be some 1.3m.

The Design Officers response included:

- Design aspects have evolved over a period of time following the initial pre-application submission.
- In relation to the second submission, and following on from the comments on the original scheme concept, it was noted that the proposed building is now in a more traditional style with a contemporary influence and covers more of the little used side garden (also with entrance to underground garage) rather than the treed central section which originally formed the gardens to the BTMs on Lower Teddington Road.

- It was noted that there is some encroachment into the central garden space on the Station Road side where there is a garage at present, but this section of building will step down.
- The overall design does seem to fit better into the overall character of the area, part of which is within the Conservation Area, and in relation to the Buildings of Townscape Merit. There are also nearby listed buildings to take into account. Materials and detailed design will be important to help integrate it further.
- One point of concern was the size of the roof. It was suggested that as the only accommodation in the roof was in the centre, it could be reduced in height without any significant loss of internal space. This has now been undertaken and is considered to be an improvement.
- Further 3D images were requested with the subsequent application of the new building in relation to the surrounding streets from key viewpoints and views through between BTMs to assess the mass and height of the building in relation to the existing buildings.

- The landscape setting is considered to be important, as is boundary treatment. There is already a mature landscape with trees which should be retained, along with the original boundary walls to the BTMs which form individual 'rooms'/separate garden spaces, which are connected by gates and openings between them.
- New upgraded entrance proposed for the existing building on Lower Teddington Rd; appears to follow suggestions which were made and also involves removing the 1950s/60s accretions which are of no special architectural merit.
- The earlier scheme square opening forms and the arched doorways rather than curved arched ones are felt to be preferable.
- The use of render should be limited and it should be ensured that a warm stone colour rather than white is used.
- The opening to the basement parking garage would be best enclosed with a door, so that there is minimal impact on the appearance of the surrounding area when closed.
- It is felt that it would be better for the balconies to have simple metal railings rather than glass as metal may be more discreet and fit into the overall traditional character of area better.



East Elevation



North Elevation

Fig. 24: Second Pre-Application Design Images



PROPOSED DEVELOPMENT

DESIGN PRINCIPLES

Following the pre-application meetings, public exhibition and Councillor Briefing, a series of design principles have been established in moving the design development forward.

- Provide a holistic and cohesive approach to the whole site continuing the ethos of the applicant within the context of the religious community setting;
- The new building that will replace the demolished care home building will be of the highest design standard that has considered carefully the context of the surrounding built form and has taken design cues from the materials and architectural detailing of the surrounding buildings.
- The scale of the new development will be similar to the existing building to be demolished and the surrounding built form that exists.
- New pathways will connect the new building to the buildings on Lower Teddington Road
- Enhance the character and appearance of the Hampton Wick Conservation Area through the renovation of the existing built fabric and landscape frontage along Lower Teddington Road
- Renovate and convert the existing buildings on lower Teddington Road to provide further and modern apartments and accommodate the ancillary offices required for the running of the charity and site.
- The site will be re-designed with a comprehensive landscape scheme that will point to the site acting as a whole entity, with themed gardens with inter-connecting footways helping establish an holistic relationship between the buildings and create attractive amenity spaces for the residents.
- Retain the existing car parking for the Lower Teddington Road buildings but hide the majority of the car parking for the new building within a basement.

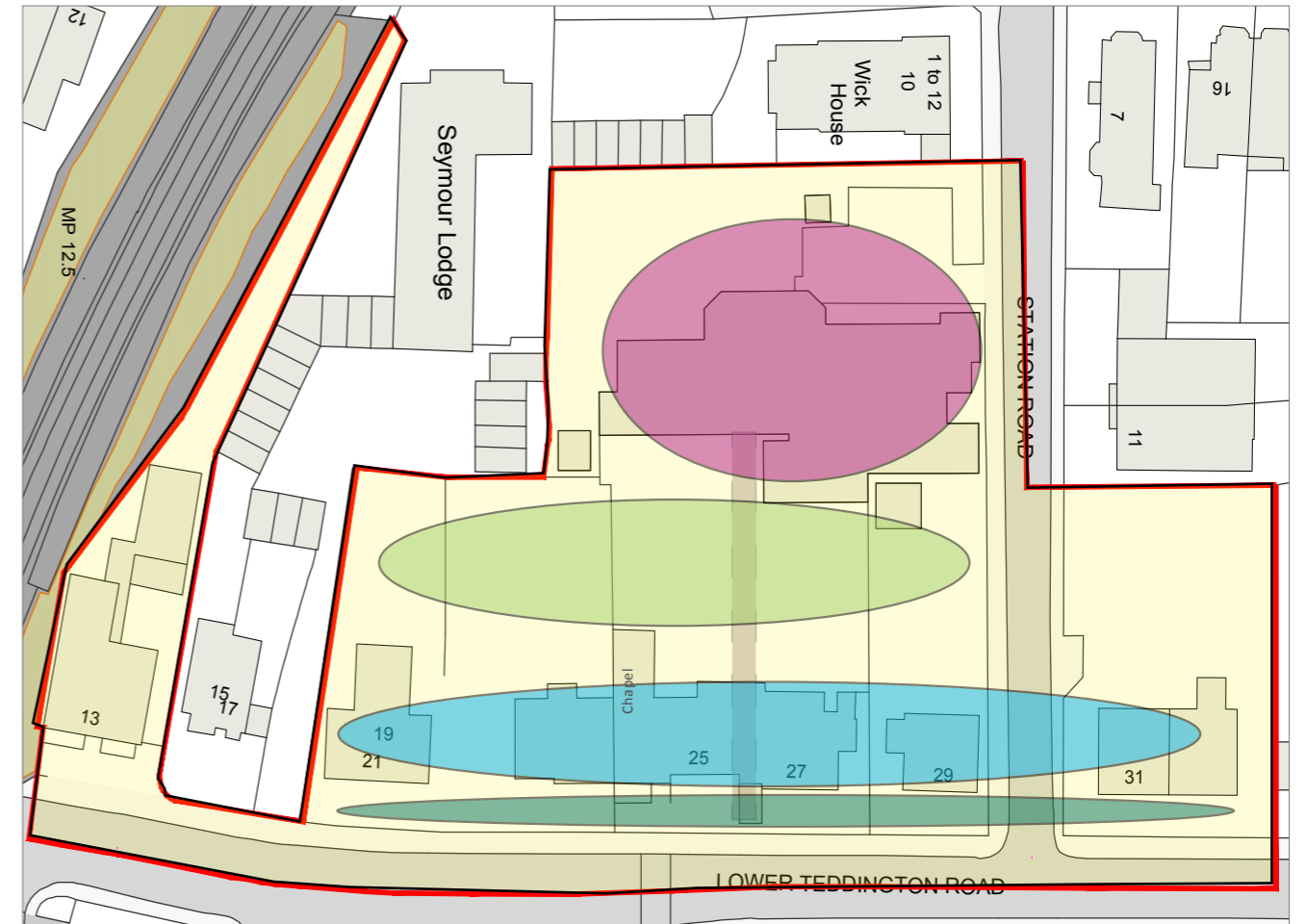
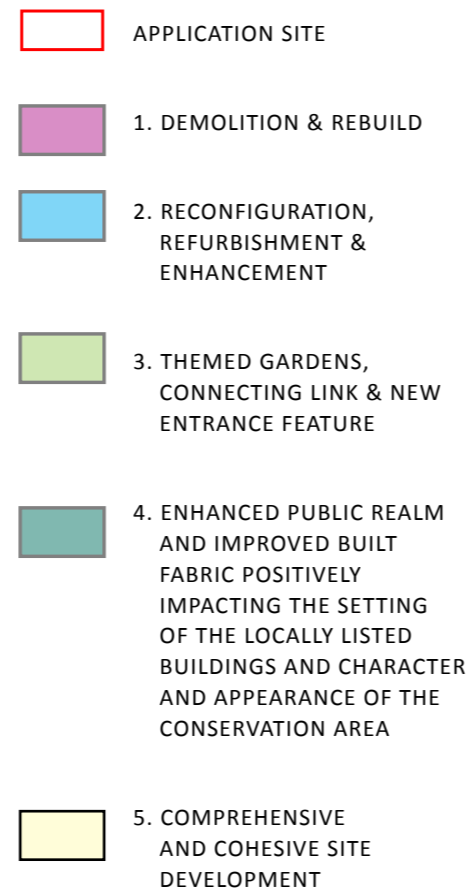


Fig. 25: Diagram illustrating the Design Concept

PROPOSED DEVELOPMENT

USE & AMOUNT

The proposed mixed use development will comprise the:

- demolition the existing care home;
- erection of 28 x 1 and 2 bed independent senior living extra care apartments with 31 car parking spaces (23 in the basement and 8 surface spaces) comprising 4,720sqm GEA
- provide comprehensive refurbishment and enhancement of the existing buildings and street frontage on Lower Teddington Road including;
 - » No.13 - change of use from ancillary office to 6 x 1 and 2 bed apartments and relocation of offices within the site
 - » Nos.19 & 21 - refurbishment to 5 x 1 and 2 bed apartments (being undertaken under current consent - LPA ref. 16/1145)
 - » Nos.23-25 - refurbishment of the existing building to incorporate 5 priests rooms and 6 bedrooms for guests and students, together with the erection of a single storey rear extension to incorporate a new kitchen and lounge to complement the internal changes providing a new dining area and office/ library for the religious community
 - » No.27 - conversion from the existing house in multiple occupation (used for the religious community) to 3 x 2 bed apartments
 - » No.29 - conversion from a house in multiple occupation to 3 x 1 and 2 bed apartments
 - » Nos.31 & 33 - retention and refurbishment of the 8 apartments
- enhance the built fabric and street frontage along Lower Teddington Road to improve the character and appearance of the Hampton Wick Conservation Area and Buildings of Townscape Merit to include a holistic approach to the landscape planting, defensible boundaries and vehicle and pedestrian access ways into the properties;
- create 'themed' gardens between the new and existing buildings retaining the garden walls creating a holistic and cohesive design approach to the site and a connectivity between the different uses on the site;
- retain the use and function of the chapel; and
- retain the existing parking spaces along Lower Teddington Road outside Nos.13, 19 & 21, 29 and 31 & 33.
- provide a temporary timber structure to act as a marketing suite to the rear of Nos. 31 & 33 during the construction process

Location	Use	Planning Category	Accommodation
Orione House, 12-14 House, Station Road	Independent Senior Living Extra Care Units	Extra Care	28 x 1-bed and 2-bed units plus communal rooms/ activities. Based on assessment of need and restrictions of occupancy (extra care).
No.13 Lower Teddington Road	Residential	Dwelling house	6 x 1-bed and 2-bed apartments. Change of use required.
Nos.19/21 Lower Teddington Road	Residential	Dwelling house	5 apartments comprising 2 x 2-bed, 2 x 1-bed and 1 x 3-bed apartments
Nos.23 -25 Lower Teddington Road	Mixed use:		
	place of worship (chapel)	Non residential institution	Single storey extension to rear requires consent.
	residential for priests/ students & visitors	<i>Sui generis</i>	11 bedroom spaces comprising 5 x 1 bedroom for priests and 6 x 1 bedroom for guests/ students in Nos 23-25 only
No.27 Lower Teddington Road	Residential	Dwelling house	3 x 2b apartments. Change of use required
No.29 Lower Teddington Road	Residential	Dwelling house	3 x 2b apartments. Change of use required
No.31 Lower Teddington Road	Residential	Dwelling house	4 x 2b apartments. Internal refurbishment only.
No.33 Lower Teddington Road	Residential	Dwelling house	4 x 2b apartments. Internal refurbishment only.
To the rear of Nos. 31 & 33 Lower Teddington Road	Temporary Marketing Suite	<i>Sui generis</i>	Temporary marketing suite for sales of the new units.

Fig. 26: Table listing the proposed uses of each building on the application site

PROPOSED DEVELOPMENT

USE & AMOUNT

Temporary Marketing Suite Structure

The intention is also to provide a temporary structure during construction, to act as a marketing suite for sales of the new units comprising 750sqm GIA.

This is proposed to be located within the existing large parking area behind Nos.31 and 33 Lower Teddington Road utilising the existing access.

The structure could comprise a natural timber appearance to complement the existing gravel parking area and landscape within the existing garden area, and would give the appearance of a timber garden structure.

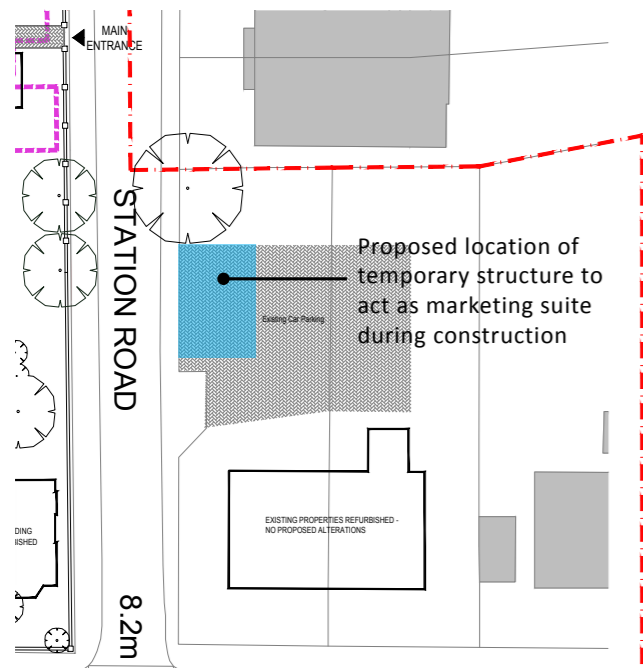


Fig. 27: Location of Temporary Marketing Suite Structure



Fig. 28: Indicative timber structure image only

PROPOSED DEVELOPMENT

USE & AMOUNT

Proposed Gross Internal Floor Area Schedule			
Floor Level	Description	Area	Area in sqft
FP-01 Basement 1	FP-01	903.29 m ²	9723 SF
1		903.29 m ²	9723 SF
00 Ground Floor	FP00	997.88 m ²	10741 SF
1		997.88 m ²	10741 SF
01 First Floor	FP01	953.32 m ²	10261 SF
1		953.32 m ²	10261 SF
02 Second Floor	FP02	944.13 m ²	10163 SF
1		944.13 m ²	10163 SF
03 Third Floor	FP03	283.77 m ²	3054 SF
1		283.77 m ²	3054 SF
Grand total: 5		4082.39 m ²	43942 SF

Proposed Accommodation - Gross Internal Floor Area Schedule			
Floor Level	Description	Area	Area in sqft
00 Ground Floor	1 BED	60.62 m ²	652 SF
00 Ground Floor	1 BED	57.53 m ²	619 SF
00 Ground Floor	2 BED	75.72 m ²	815 SF
00 Ground Floor	2 BED	74.94 m ²	807 SF
00 Ground Floor	2 BED	77.92 m ²	839 SF
00 Ground Floor	2 BED	76.37 m ²	822 SF
6		423.09 m ²	4554 SF
01 First Floor	1 BED	57.53 m ²	619 SF
01 First Floor	2 BED	76.83 m ²	827 SF
01 First Floor	2 BED	75.72 m ²	815 SF
01 First Floor	2 BED	77.91 m ²	839 SF
01 First Floor	2 BED	76.38 m ²	822 SF
01 First Floor	2 BED	82.79 m ²	891 SF
01 First Floor	2 BED	84.39 m ²	908 SF
01 First Floor	2 BED	92.80 m ²	999 SF
01 First Floor	2 BED (3P)	64.87 m ²	698 SF
01 First Floor	3 BED	80.26 m ²	864 SF
10		769.47 m ²	8282 SF
02 Second Floor	1 BED	57.53 m ²	619 SF
02 Second Floor	2 BED	76.83 m ²	827 SF
02 Second Floor	2 BED	75.72 m ²	815 SF
02 Second Floor	2 BED	70.08 m ²	754 SF
02 Second Floor	2 BED	77.96 m ²	839 SF
02 Second Floor	2 BED	76.38 m ²	822 SF
02 Second Floor	2 BED	82.79 m ²	891 SF
02 Second Floor	2 BED	84.39 m ²	908 SF
02 Second Floor	2 BED	92.80 m ²	999 SF
02 Second Floor	2 BED (3P)	64.87 m ²	698 SF
10		759.34 m ²	8174 SF
03 Third Floor	2 BED	88.01 m ²	947 SF
03 Third Floor	2 BED	111.06 m ²	1195 SF
2		199.07 m ²	2143 SF
Grand total: 28		2150.98 m ²	23153 SF

Proposed Circulation - Gross Internal Floor Area Schedule			
Floor Level	Description	Area	Area in sqft
00 Ground Floor	Circulation	173.18 m ²	1864 SF
1		173.18 m ²	1864 SF
01 First Floor	Circulation	117.77 m ²	1268 SF
1		117.77 m ²	1268 SF
02 Second Floor	Circulation	117.77 m ²	1268 SF
1		117.77 m ²	1268 SF
03 Third Floor	Circulation	61.85 m ²	666 SF
1		61.85 m ²	666 SF
Grand total: 4		470.56 m ²	5065 SF

Proposed Communal Areas - Gross Internal Floor Area Schedule			
Floor Level	Description	Area	Area in sqft
00 Ground Floor	COMMUNAL FACILITIES	191.44 m ²	2061 SF
1		191.44 m ²	2061 SF
Grand total: 1		191.44 m ²	2061 SF

Note: Areas exclude lift cores.

Fig. 29: Schedule of accommodation & areas for the new building 12-14 Station Road

Proposed Gross External Area Schedule			
Level	Name	Area	Area in sqft
FP-01 Basement 1	FP-01	1073.85 m ²	11559 SF
1		1073.85 m ²	11559 SF
00 Ground Floor	FP00	1118.82 m ²	12043 SF
1		1118.82 m ²	12043 SF
01 First Floor	FP01	1080.86 m ²	11634 SF
1		1080.86 m ²	11634 SF
02 Second Floor	FP02	1064.37 m ²	11457 SF
1		1064.37 m ²	11457 SF
03 Third Floor	FP03	293.75 m ²	3162 SF
1		293.75 m ²	3162 SF
Grand total: 5		4631.65 m ²	49855 SF

Existing Orione House - Gross External Floor Area = 1622m²
 Gross Internal Floor Area = 1394m²

EXISTING GIA	Basement	Ground Fl.	First Fl.	Second Fl.	TOTAL
Plot 13	98.09 sqm	249.78 sqm	142.38 sqm		490.25 sqm
Plot 19/21	85.25 sqm	135.66 sqm	116.89 sqm	86.84 sqm	424.64 sqm
Plot 23-25	102.85 sqm	291.38 sqm	249.06 sqm		643.29 sqm
Plot 27	88.19 sqm	102.12 sqm	53.74 sqm	27.07 sqm	271.12 sqm
Plot 29	75.70 sqm	72.94 sqm	76.38 sqm	24.35 sqm	249.37 sqm
Plot 31					249.37 sqm
Plot 33					249.37 sqm
TOTAL	450.08 sqm	851.88 sqm	638.45 sqm	138.26 sqm	2577.41 sqm

PROPOSED GIA	Basement	Ground Fl.	First Fl.	Second Fl.	TOTAL
Plot 13	97.69 sqm	242.85 sqm	141.28 sqm		481.82 sqm
Plot 19/21	85.25 sqm	135.66 sqm	117.05 sqm	86.97 sqm	424.93 sqm
Plot 23-25	102.85 sqm	272.24 sqm	210.40 sqm		585.49 sqm
23-25 REAR EXTENSION	26.73 sqm	64.17 sqm			90.90 sqm
Plot 27	89.95 sqm	100.78 sqm	70.41 sqm	28.24 sqm	289.38 sqm
Plot 29	73.55 sqm	72.95 sqm	70.95 sqm	28.31 sqm	245.76 sqm
Plot 31					249.37 sqm
Plot 33					249.37 sqm
TOTAL	476.02 sqm	888.65 sqm	610.09 sqm	143.52 sqm	2617.02 sqm

Fig. 30: Schedule of accommodation & areas for the existing building along Lower Teddington Road

PROPOSED DEVELOPMENT

LAYOUT

Urban Grain

The proposed layout retains and strengthens the existing urban grain with the retention of the properties along Lower Teddington Road and the erection of a new building at 12-14 Station Road that strengthens the built form on this road with a wider building frontage.

Orientation

The orientation of the existing development on the site is retained along the north-south alignment, with an element of the new building being additional utilising the space to the west side of the site.

Distances

The separation distances along Lower Teddington Road frontage remain the same.

The new building main habitable windows have been designed to be located a minimum of the 20 metres from habitable room windows of the existing surrounding properties of Seymour Lodge, Wick House and Nos. 7-11 Station Road as required by Council standards.

The new building comes marginally closer in places to the rear of the properties along Lower Teddington Road, but steps further back in others.



Fig. 31: Proposed Site Layout and Landscape Plan *not to scale*

PROPOSED DEVELOPMENT

LAYOUT

Highways & Access

Parking

There is very little change to the current parking situation in terms of access. New parking will include 8 surface spaces and 23 basement parking spaces for the new building accessed from the relocated entrance from Station Road.

Six parking spaces for No.13 and Nos.23-25 are provided through revamped bays and accessed as exists from Lower Teddington Road. A further 3 bays at No.27 and 2 bays each for Nos.31-33 are retained and accessed from Lower Teddington Road as existing. A further 8 spaces to the rear of Nos.31-33 Lower Teddington Road are retained and accessed from Station Road as existing.

Vehicle

Vehicle access to the existing properties along Lower Teddington Road remains as existing.

Vehicle access to the new building will be from a marginally adjusted entrance from Station Road leading to a ramp down to a basement car park area, with 8 surface parking bays served from this access road.

Pedestrian & Cycle

The main pedestrian entrance to the new building will be from Lower Teddington Road and the link building between Nos 25 and 27. A secondary pedestrian entrance is provided from the new building onto Station Road. These entrances link to the existing footway network in the area. The themed gardens will also provide inter-connecting footway links between each garden and into/ out of the properties creating a strong community orientated communal space.

Cyclists will be able to access the bicycle stands in the basement of the new building via a side entrance onto Station Road linking to a lift at the north east corner of the new building.

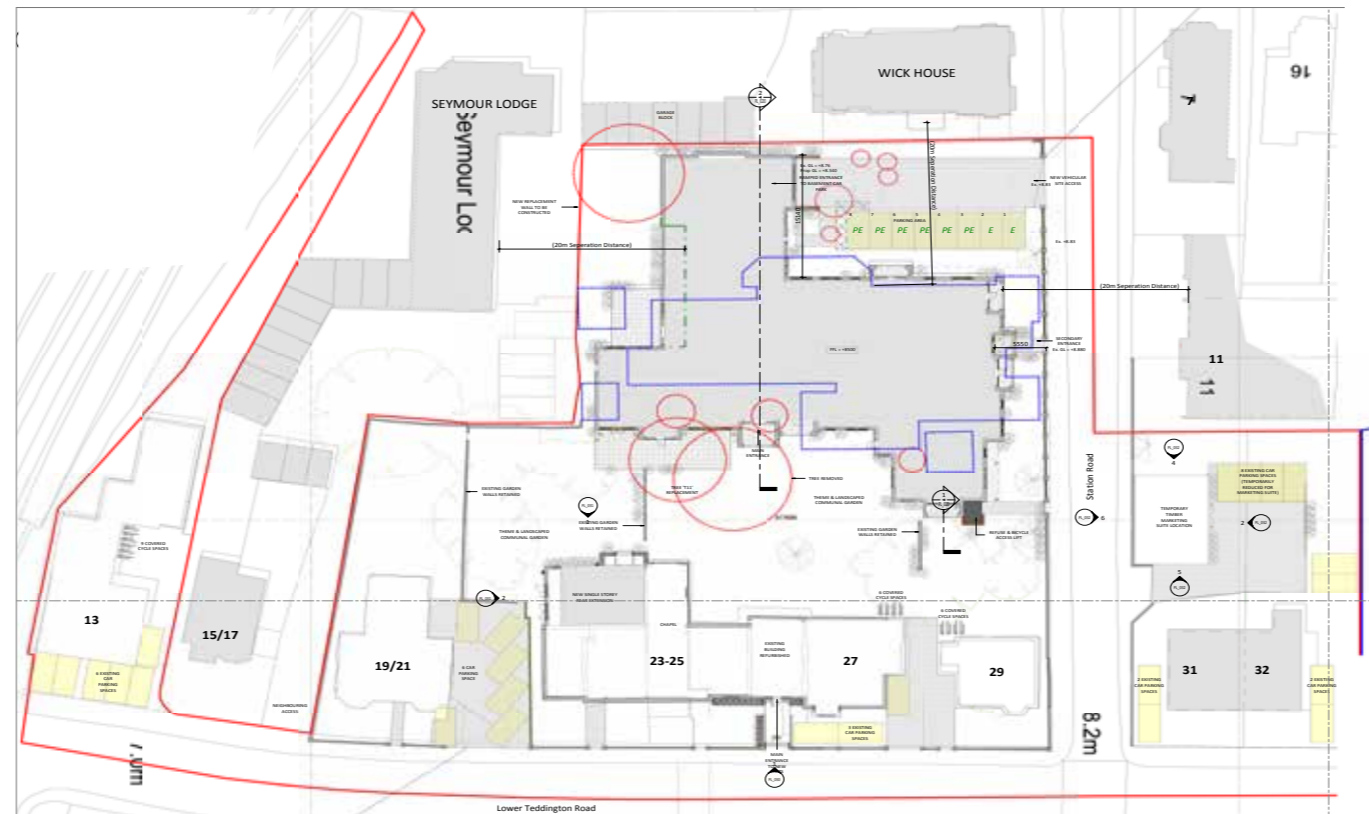


Fig. 32: Proposed Site Layout and Parking *not to scale*

Pedestrian and cycle access to the buildings along Lower Teddington Road remains as exists at present.

Whilst no Travel Plan is required for this proposal due to the quantum of development being below the required threshold, occupiers will be encouraged to utilise sustainable travel methods. The site is in a highly sustainable location within 400m of the rail station, excellent bus services and local centre services (refer to the Transport Statement for further details).

To promote sustainable transport uses 56 new cycle spaces are provided for the new building and 18 spaces for the change of use and conversion elements along Lower Teddington Road.

Residents will be provided with a pack of information on occupation which sets out the bus and rail timetable information and local services, and encourages the use of healthy activity including walking and cycling.

Notices will be placed within the new building encouraging the use of public transport and the use of the bus and rail passes as available. Vehicle drivers will be encouraged to car share as the community develops and becomes acquainted with each other. New occupiers will be need to undergo a Care Needs Assessment where sustainable travel encouragement will be provided by the assessors. The Operator will undertake regular surveys to understand the needs and lifestyles of the occupants in relation to sustainable travel.

Refuse and Servicing

The scheme has been designed to include a basement area which will hold the refuse and recycling bins as required by current standard quantities. These will be taken via a service leift at the north east corner of the building top a path way which leads to the Station Road frontage where the refuse vehicles will stop and collect the refuse on designated refuse collection days as agreed with the refuse service collection operator.

Service vehicles will be able to reverse easily into the site adjacent to the new building from Station Road. Station Road is not a busy road.

Security

The proposed scheme has been designed to Secure by Design standards and discussions have been sought with the Design Officers at the Metropolitan Police. The building has been designed to have windows and doors at street level along the frontage of the site to create significant passive surveillance of the street and entrances.

The service road and entrance to the basement will also be viewed from significant vantage points. The basement will be secured by lockable garage doors operated by a key fob system. All garden areas will be secured from the Station Road and Lower Teddington Road direction via secured lockable gates and to the rear by 1.8m high timber fencing and brick walls. All windows and doors will be designed to Secure by Design standards.

Connectivity

The site is a private site. Connectivity to the wider street frontage will be via private entrances to the buildings. Internally, a key design element is the themed gardens which are all inter-connected via walkways through the existing walls leading from one themed garden to another and providing a large area of communal garden area for the occupants of both the new building and the existing renovated buildings and religious community along Lower Teddington Road.

PROPOSED DEVELOPMENT

INTERNAL LAYOUT

New Building Floor Plans

The basement plan comprises a 1:10 ramp leading to the main parking area, cycle bays and refuse storage area together with storage area for the occupants served by a main occupant lift to the upper floors and a service lift for refuse and cyclists to use.

The ground floor plan incorporates the main entrance area leading to the communal spaces including the dining, lounge/ library, activity room and consultation room and a central corridor leading to the ground floor units and the lift to the upper floors.

The first and second floors comprise the units accessed from the central corridor and lift/ stair core areas (two cores are provided to comply with regulations).

Two units exist in the roof space accessed from the lift, core stairs and corridors. The roof area comprises a mix of pitched, mono-pitched and crown roof areas. The crown roof areas will be utilised for photo voltaics. Areas of thje roof space will also be used for various plant equipment.

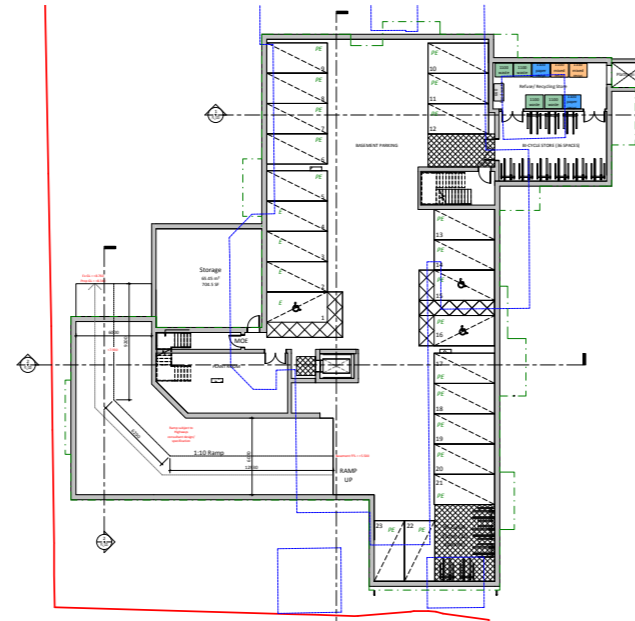


Fig. 33: Basement Plan

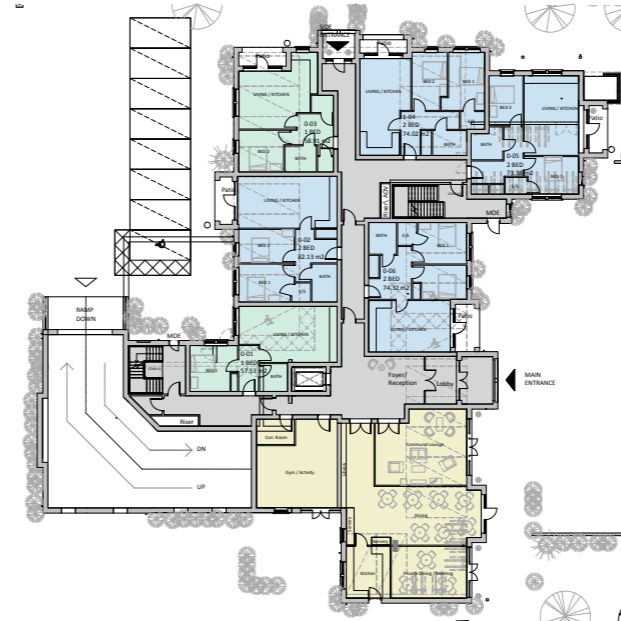


Fig. 34: Ground Floor Plan

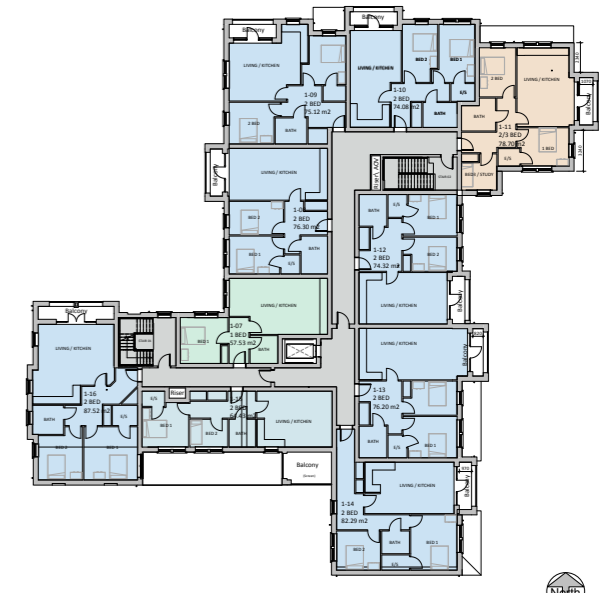


Fig. 35: First Floor Plan

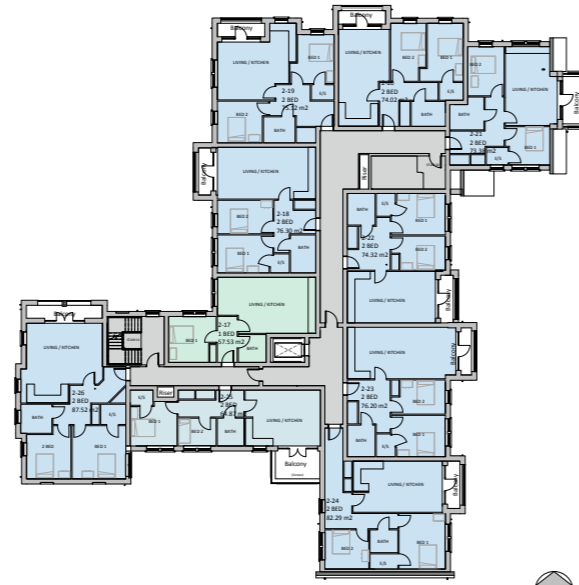


Fig. 36: Second Floor Plan

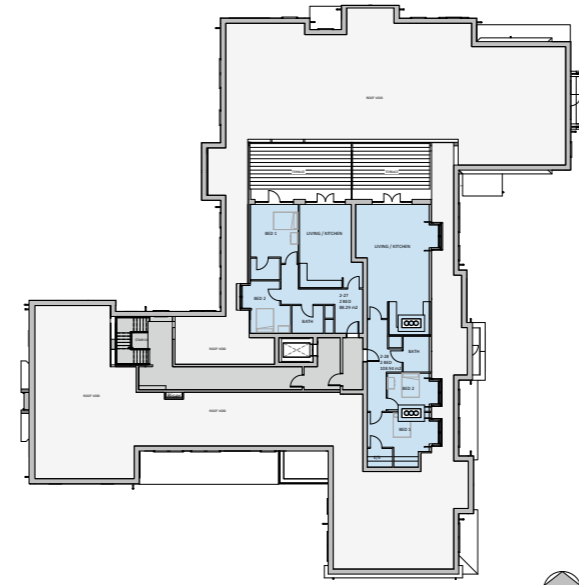


Fig. 37: Accommodation in Roof Floor Plan

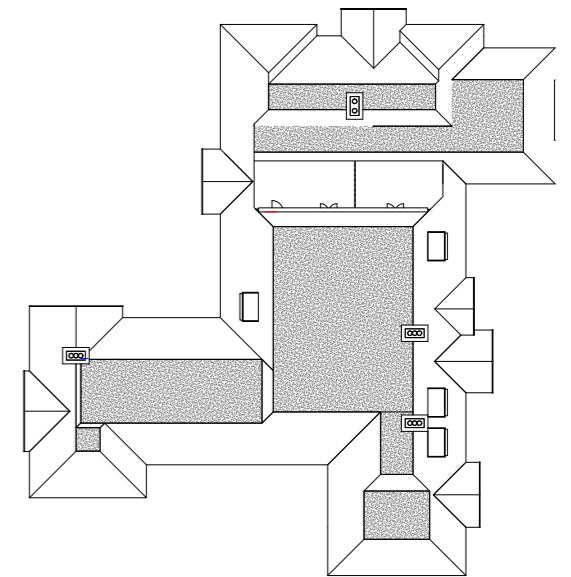


Fig. 38: Roof Plan

PROPOSED DEVELOPMENT

INTERNAL LAYOUT

New Building Internal Communal Space

The new building comprises a large area of high quality communal space for the residents to enjoy that will help engender the community spirit that is an important element of the applicants ethos.

This area comprises:

- lounge/ library
- cafe/dining area
- kitchen area
- activity room for exercise, cinema evenings, art groups, hairdressing, etc
- consultation room for medical, dentist, other private discussions

This communal space is easily accessed internally and from the main entrance to the building, and leads directly to external terraces and the themed gardens outdoor space.



Fig. 39: Proposed Communal Spaces



Fig. 40: Typical High Quality Spaces



PROPOSED DEVELOPMENT

INTERNAL LAYOUT

New Building Typical Room Layouts

The proposed new building comprises primarily one and two bedroomed units and a typical floor plan for each is shown opposite.

90% of the rooms meet Building Regulation Requirement M4(2) and 10% meet BRR M4(3) as required by policy.

Each unit has been designed to have a living room/ kitchen area and an en suite bathroom/ w.c together with at least one room large enough for two people.

Most units will have their own private balcony or patio space (if ground floor).



Typical 1-bedroom Extra Care Apartment



Typical 2-bedroom Extra Care Apartment

Fig. 41: Typical Floor Plan Layouts for Care Home units

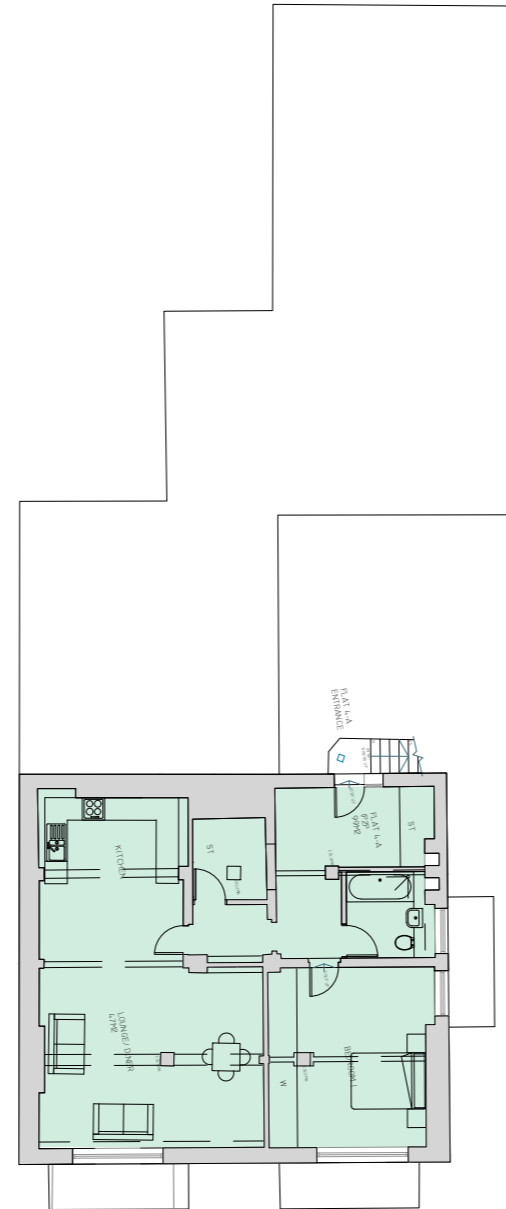
PROPOSED DEVELOPMENT

INTERNAL LAYOUT

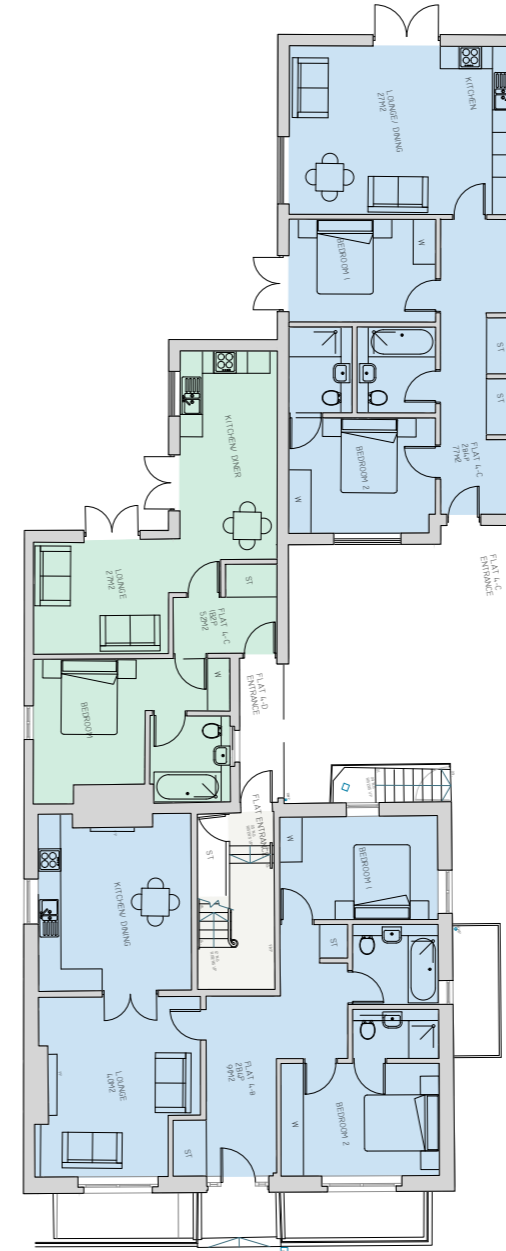
No.13 Lower Teddington Road

No.13 will be converted from ancillary offices (to be relocated elsewhere on the site) to residential units. The design of the units is constricted by the existing footprint of the building which is a Building of Townscape Merit.

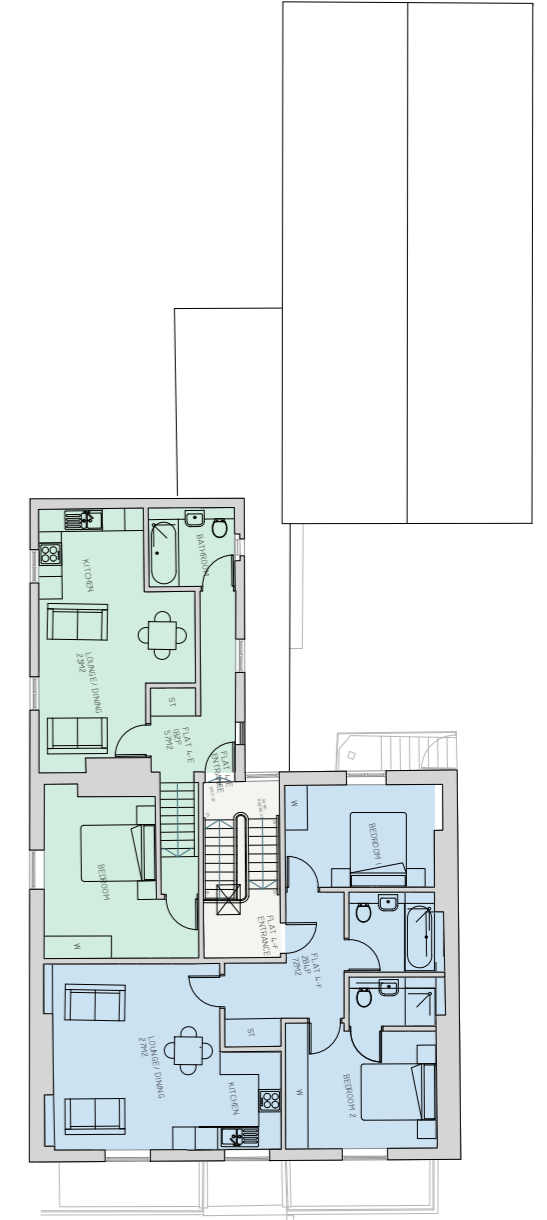
Each new unit will have its own entrance. The two ground floor units to the rear could be utilised for specific needs identified by, and subject to discussions with, the Housing Officers at the Council.



Basement - Proposed



Ground Floor - Proposed



First Floor - Proposed

PROPOSED DEVELOPMENT

INTERNAL LAYOUT

Nos.23-29 Lower Teddington Road

The internal changes to No.23-25 are permitted development (with the exception of the new single storey rear extension) however are shown in the plans below. The plans show new rooms for the priests and visitors for the religious community which are brought up to modern standards.

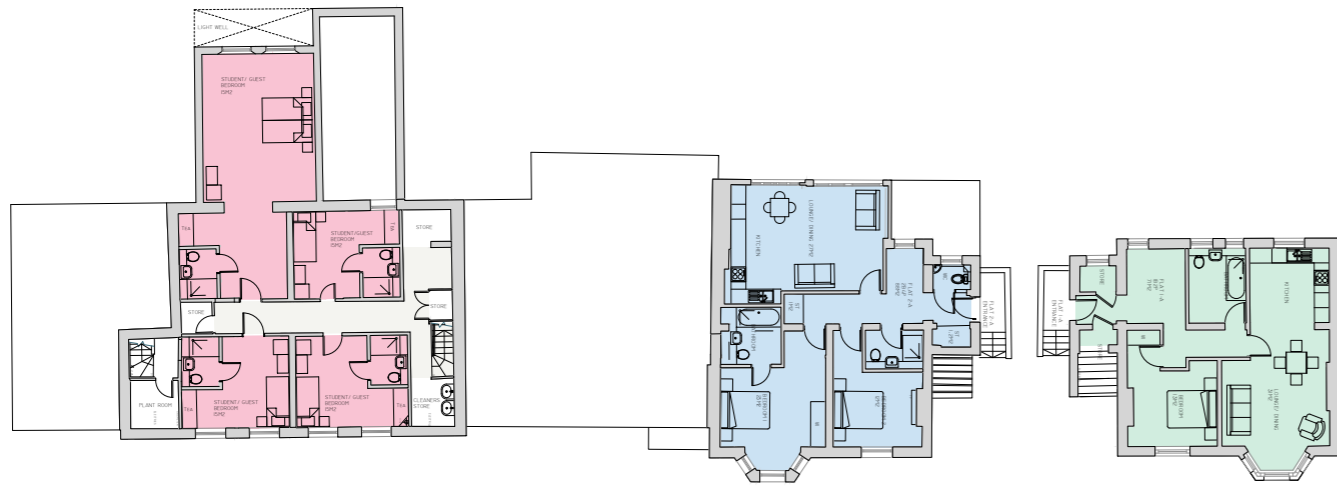
The new rear extension incorporates the relocated office space with new work stations for the applicants office administration area, together with a new lounge, kitchen and dining area for the priests and their guests.

The link between Nos.23 and 27 is to be utilised for the new main entrance to the new building to the rear. This will comprise a double height and spacious reception entrance space giving a grand sense of arrival (from a newly created arched entrance way).

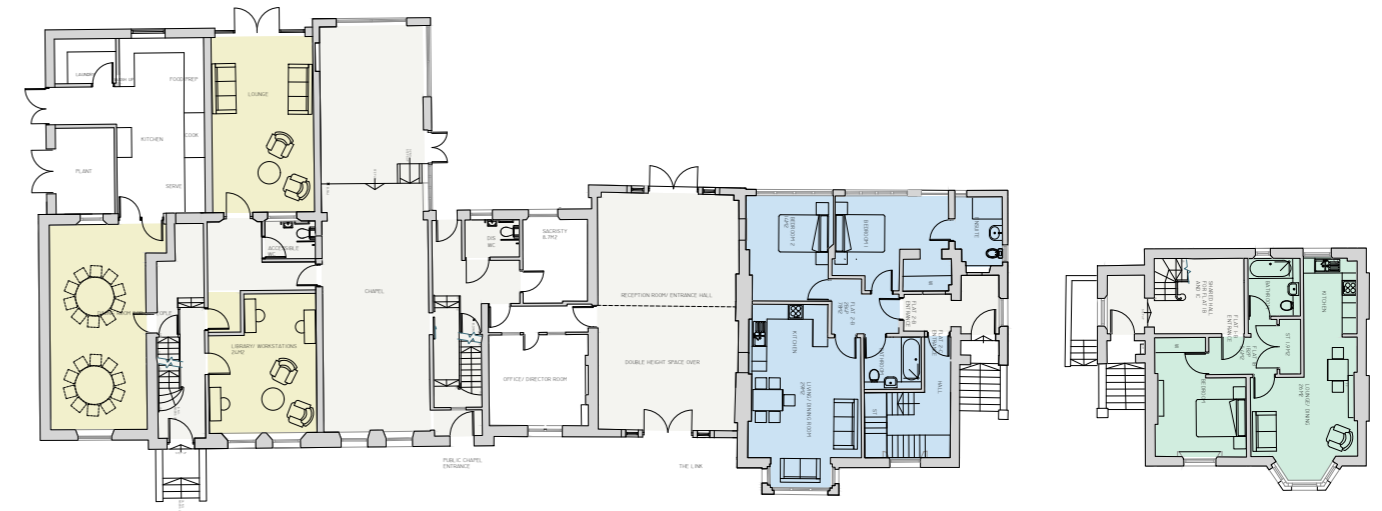
Nos.27 and 29 are to be converted from houses in multiple occupation to three separate apartments in each which again is permitted development but have been included for information purposes.

Nos.31 and 33 are to be redecorated only and will be retained as 4 apartments in each as existing.

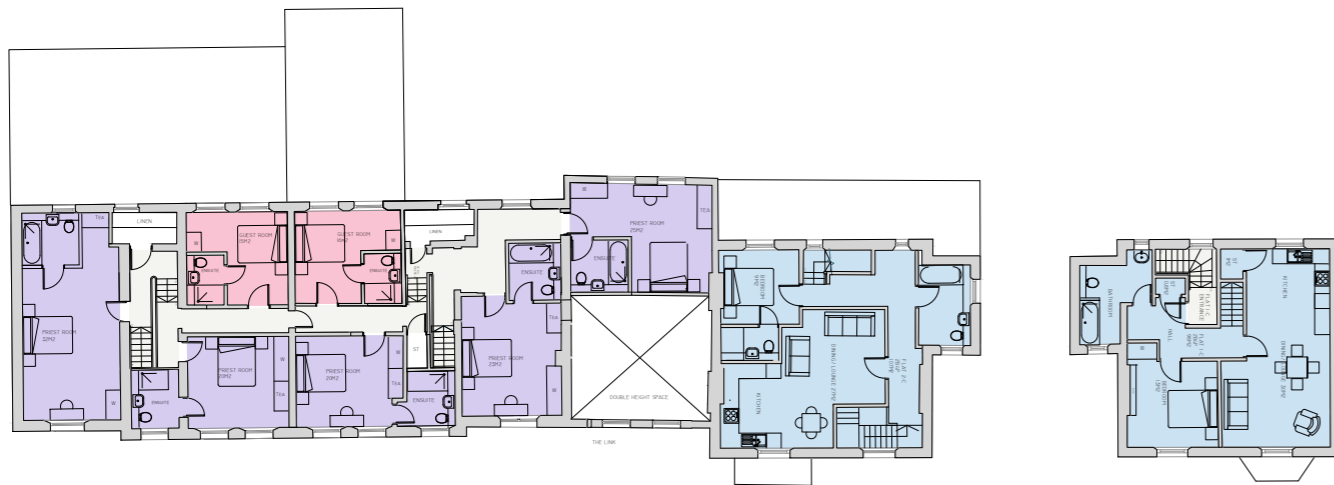
It should be noted that Nos.19-21 are being converted under planning consent reference 16/1145. Whilst the conversion and internal layouts do not form part of this application they have been kept within the red line boundary for the purposes of the affordable housing requirement discussions.



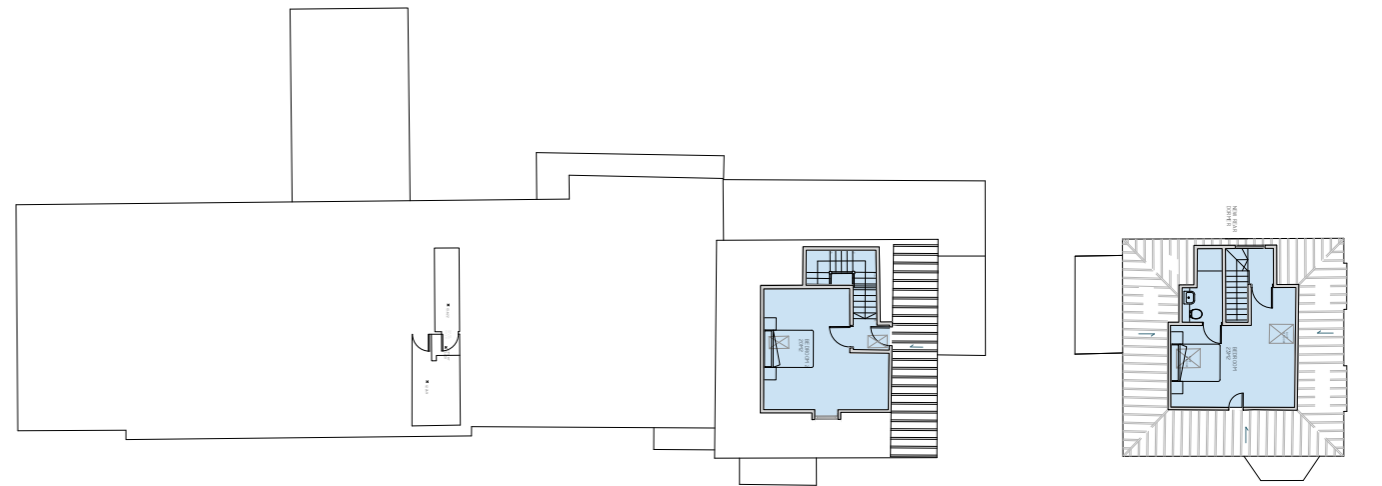
Basement - Proposed



Ground Floor - Proposed



First Floor - Proposed



Second Floor - Proposed

PROPOSED DEVELOPMENT

SCALE & MASSING

Scale

The scale of the proposed new building has been reduced by circa 1.3 metres since its conception following Officer advice and in order to keep the roof height and ridge line as low as possible in line with the existing care home to be demolished, the buildings surrounding the development, and in particular the height of the Buildings of Townscape Merit along Lower Teddington Road.

The articulated built form and varied roof form contribute to the reduced scale of the overall building which now sits well within the site and its surroundings.

Reference is also made to Wick House and the current consent for an additional level on this adjacent building to the west. The separation distances between the new building and the adjacent properties of Seymour Lodge, Wick House and Nos.7-11 Station Road, together with the articulation referred to, will ensure that the building is not overbearing or dominating in the street scene.

The scale of the new rear extension at the rear of No.23 has been designed to be subservient to the main building being set in from the side of the host building and not extending beyond the existing chapel building.



Fig. 42: Existing & Proposed Street Scene - Station Road

PROPOSED DEVELOPMENT

SCALE & MASSING

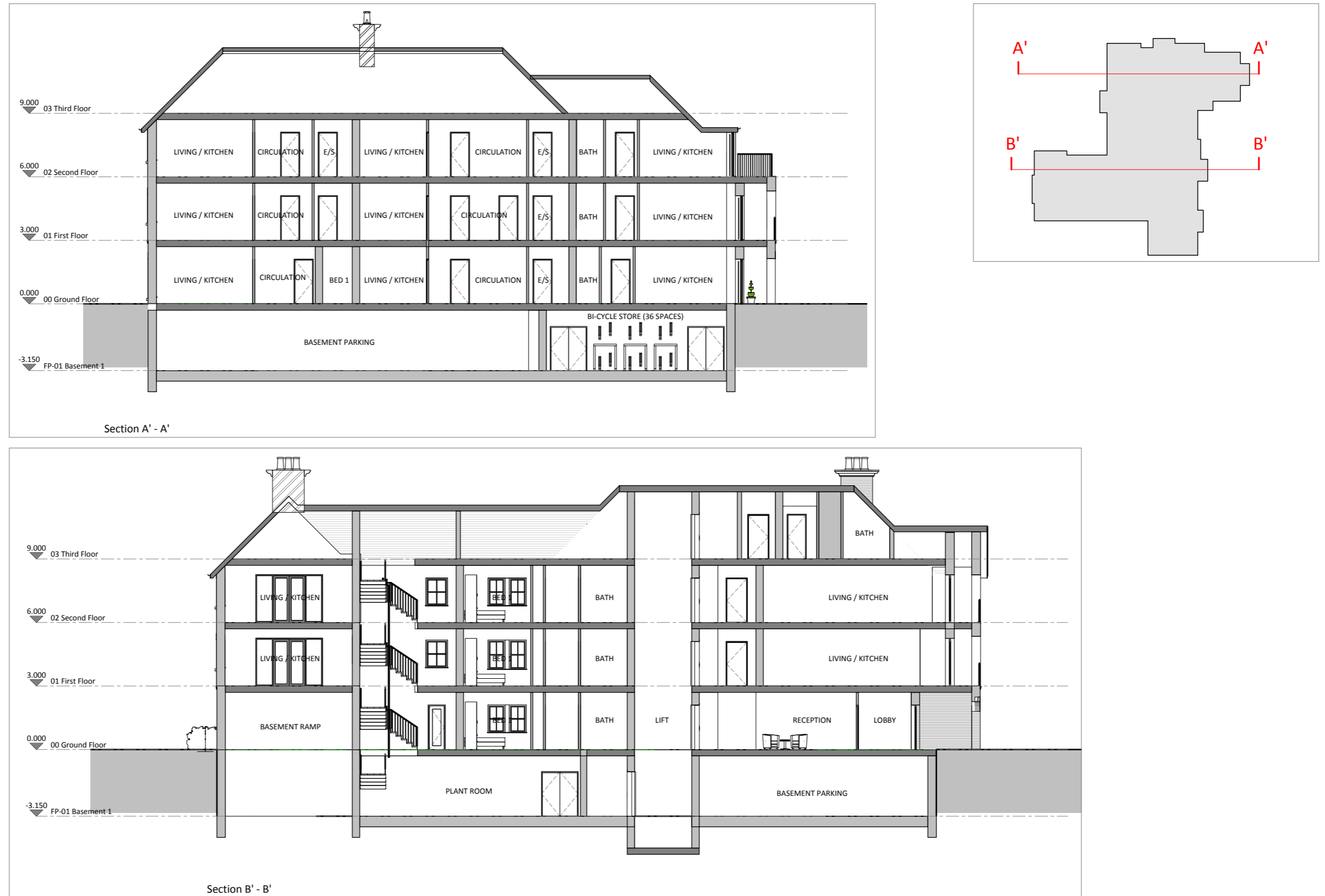


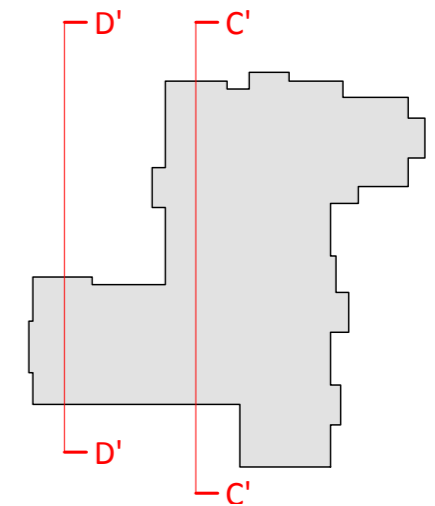
Fig. 43: Proposed Sections

PROPOSED DEVELOPMENT

SCALE & MASSING



Section C'-C'



Section D'-D'

Fig. 44: Proposed Sections

PROPOSED DEVELOPMENT

SCALE & MASSING

Massing

The massing of the new building has been broken down by the articulation of the building and the roof form with step backs and projecting bays, and step ups and downs of the roof.

Together with the use of different materials that reflect the context of the site including mixed stock and red brick, and limited render, the massing of the proposed scheme will ensure it sits well within the site and surroundings and will not be an over-imposing building within the street scene, despite its size being larger than the existing care home to be demolished.

The single storey rear extension to the rear of No.23 Lower Teddington Road will be subservient to the host building in terms of its massing and will not dominate the rear gardens to the proposal.



Fig. 45: 3D Massing View from South East



Fig. 46: 3D Massing View from North East



Fig. 47: 3D Massing View from North West



Fig. 48: 3D Massing View from South West

PROPOSED DEVELOPMENT

APPEARANCE

Lower Teddington Road Frontage

The appearance of the Lower Teddington Road properties will be enhanced with the renovation of the built fabric and redecoration of the external walls and timber elements of the buildings for all the properties within the street scene.

The appearance of the frontage of this road will also be enhanced with the renovation of the existing walls with low rendered walls and railings creating the appearance of a comprehensive and holistic approach to the site development that is in keeping with the surrounding boundary treatments in the locality.

The largest alteration to the appearance along this frontage will be the removal of the incongruous flat roof entrance structure acting as a porch at the entrance to the link building between Nos.25-27. This will be replaced with a traditional arched portico entrance with a solid timber door, similar to the style found on the opposite side of the road at No.22 and also to a lesser degree, to the entrance to the chapel and No.23. This will be sufficiently grand to act as the new main entrance to the new senior living independent extra care scheme to the rear.



No.13



Nos.19 & 21



No.29



Nos.31 & 33 (no change)



Nos 23-27 including proposed new entrance at the link between the two units



NO 13

NO 15/17

NO 19/21

NO 23/25

LINK

NO. 27

NO. 29

STATION RD

New Lower Teddington Road Entrance

Fig. 49: Proposed Elevations to Lower Teddington Road

PROPOSED DEVELOPMENT

APPEARANCE

New Building

The appearance of Station Road will be significantly enhanced with the demolition of the existing incongruous care home building and its replacement with the proposed senior independent living extra care unit.

Whilst larger in overall massing, the appearance of the building is of a more traditional built form for the locality, with a predominantly red brick frontage with a limited use of render, and with a projected gable, pitched roofs, low brick wall and railings, proportioned window forms and architectural detailing such as chimney stacks, arched doorway entrances and brick detailing.

The impact of this will be to create a high quality designed appearance to the built form that will sit well within the street scene and enhance the overall appearance of the area particularly of the adjacent Hampton Wick Conservation Area.



Fig. 50: Proposed North Elevation (facing Station Road)



Fig. 51: Proposed East Elevation (facing rear of Lower Teddington Road properties)

PROPOSED DEVELOPMENT

APPEARANCE



Fig. 52: Proposed South Elevation (facing Seymour Lodge)



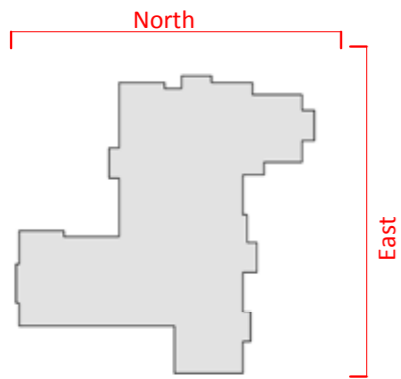
Fig. 53: Proposed West Elevation (facing Wick House)

PROPOSED DEVELOPMENT

APPEARANCE



North Elevation (Station Road)
1 : 100



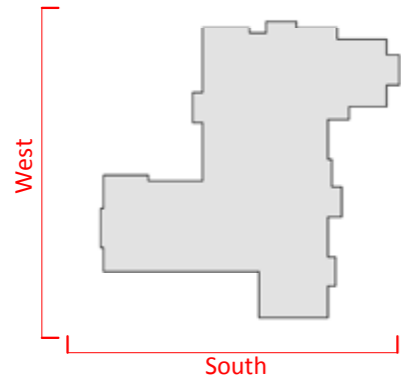
East Elevation (Towards Lower Teddington Road)
1 : 100

PROPOSED DEVELOPMENT

APPEARANCE



South Elevation (Seymour Lodge)
1 : 100



West Elevation (Wick House)
1 : 100

PROPOSED DEVELOPMENT

APPEARANCE



Fig. 54: Proposed 3d image East Elevation facing the rear of Lower Teddington Road properties

PROPOSED DEVELOPMENT

APPEARANCE



Fig. 55: Proposed East Elevation facing the rear of Lower Teddington Road properties

PROPOSED DEVELOPMENT

APPEARANCE



Fig. 56: Proposed North Elevation (facing Station Road)

PROPOSED DEVELOPMENT

APPEARANCE



Planning Perspective 01A
1 : 1



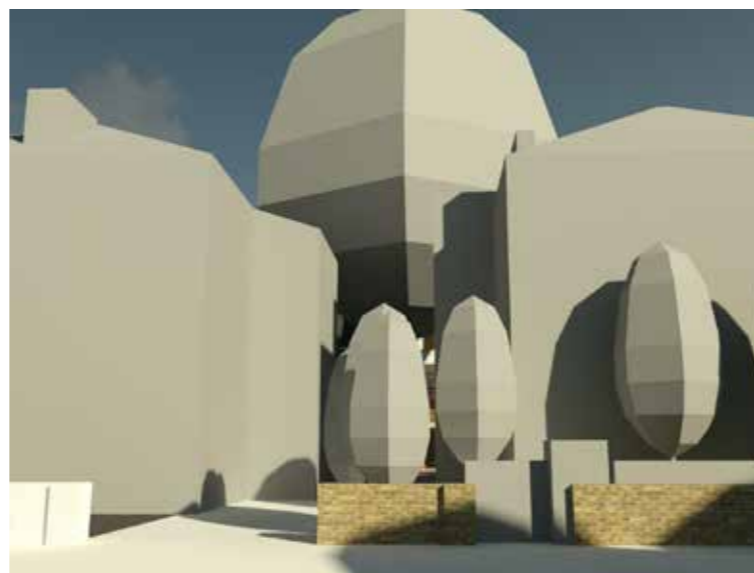
Planning Perspective 02A
1 : 1



Planning Perspective 03A
1 : 1



Planning Perspective 04A
1 : 1



Planning Perspective 05A
1 : 1



SP00(Location Plan)(FE - 1-1250)
1 : 1250

Fig. 57: Vistas through to the proposed development from the surroundings.

PROPOSED DEVELOPMENT

APPEARANCE

New Main Entrance

The main entrance to the new independent senior living units will be created at the front of the link building between Nos. 25 and 27 Lower Teddington Road and will enable the removal of the existing and incongruous flat roofed canopy and its replacement with a curved canopy and refurbished front facade more in keeping with the existing buildings and entrances along the property. The design cue for the curved canopy is both the existing Nos.23-27 properties, and other period properties within the existing road frontage.



Fig. 58: Proposed new entrance elevations on Lower Teddington Road

PROPOSED DEVELOPMENT

APPEARANCE

New Rear Extension

The new extension to the rear of No.23 Lower Teddington Road will appear subservient to the main building being set in from the side and no deeper than the existing chapel protrusion. It will comprise materials that match the existing brick and window forms of the main house. It will compliment the existing building and will not harm or detract from the character or appearance of the Hampton Wick Conservation Area.



Fig. 59: Proposed new rear extension to No 23 Lower Teddington Road

PROPOSED DEVELOPMENT

APPEARANCE

Temporary Marketing Suite

A simple light timber structure will provide a temporary marketing suite for the marketing and sales of the proposed extra care units. This will be single storey with a glazed frontage facing into the site and existing gravelled parking area to the rear of Nos 31 and 33 Lower Teddington Road.



Fig. 60: Proposed temporary marketing suite structure

PROPOSED DEVELOPMENT

APPEARANCE

Materials

A simple and limited palette of materials is proposed having taken design cues from the materials found on the surrounding properties. These materials include a mixed stock buff coloured brick, red brick, grey slate (or similar), stone coloured concrete window headers and cills, white painted timber and door frames, black rainwater goods, and white timber barge boards and soffits.



Lower Teddington Road Elevation



Example materials

PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

Introduction

The landscape strategy for the site will be to retain as many of the existing trees as possible and the dividing walls, and to take a holistic design approach, with a series of 'themed' gardens, which allows connectivity between the spaces and opportunity for all the properties to use the landscaped garden areas.

'Themed' Gardens

The existing gardens are currently well used by the residents and are divided with a series of garden walls. We are proposing to retain most of these walls and create a series of 'themed' garden areas for the occupants to enjoy, with a series of gates and holes in the wall linking each garden to the other.

It is proposed that the 'themed' gardens comprise:

- A meditation garden incorporating the existing grotto and Our Lady statue.
- A sensory garden with plants which are visual, fragrant and have strong structure to touch.
- A traditional 'parterre' garden
- a 'greenfingers' garden where there will be space for potting, growing, and harvesting

In addition to the themed gardens there will be rear garden area to Nos. 13, 19 and 21 and incidental garden space to the southern edge of the new building. Further, a new landscape scheme is proposed along the Lower Teddington Road frontage providing a comprehensive landscape linking the various elements of the site together in a holistic approach.

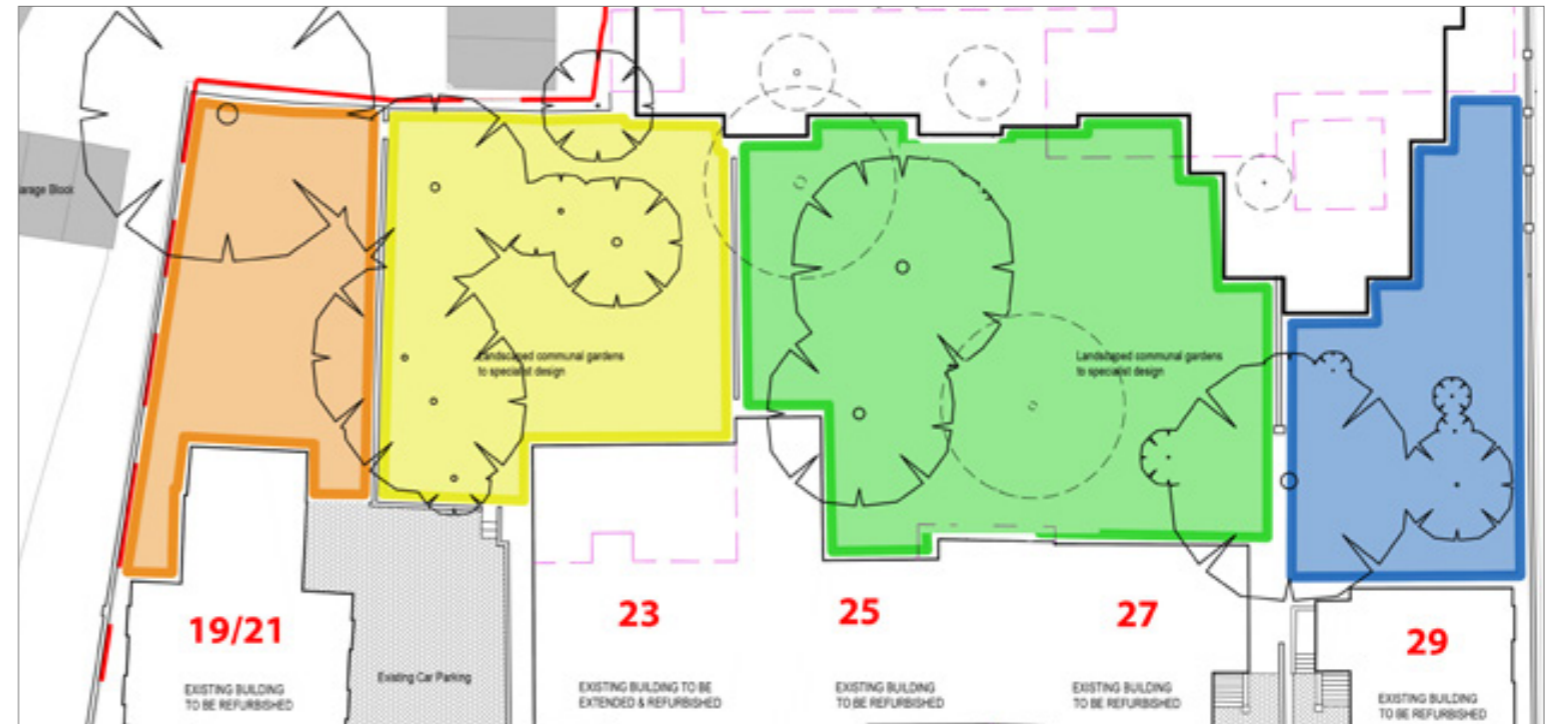






Fig. 61: Diagram illustrating the Landscape Zones

LEGEND	
	'Green fingers garden' & Garden to 19/21
	Meditation & Grotto Garden
	Central 'Sensory' Garden
	Parterre garden



PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

Indicative Landscape Plan



Fig. 62: Indicative Landscape Plan

PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

Overview Themed Garden Type 1 & 2

Meditation/ grotto area – created to allow for contemplation/ meditation and to ‘spiritually encounter’ around the grotto – new Mulberry tree a feature to link new building with garden areas

‘Greenfingers’ space – with potting sheds, glass houses and raised beds for ‘grow your own’ opportunities

Key components

1. Potting shed
2. Raised beds raised beds for ‘grow your own’ opportunities
3. Green houses
4. Garden to 19/21 Amenity space
5. Grotto
6. Stepping stones
7. Lawn area
8. Seating
9. New Mulberry tree
10. Small trees, herbaceous, ornamental and wild-flowers providing seasonal interest
11. Informal meandering path



Precedent Images: High quality amenity space, tranquil environment, textured planting and sensory environment.

Illustrative Landscape Masterplan



Fig. 63: Plan & Precedent Images for Grotto Garden

PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

Overview Themed Garden Type 3

Sensory garden – the main central garden space with lightweight link removed and creating a meandering route through past a central water feature from the new reception area to the new build main entrance. Shrubs/flowers and grassed areas to reflect a pleasant sensory experience with sight, sound, smell, texture and taste elements with seating areas. Bound gravel hoggin type surface for durability and smoothness.

Key components

1. Willow tree removed
2. Central water feature
3. Brick wall
4. Lawn area with seasonal bulb planting
5. Seating
6. New feature tree
7. Small trees, herbaceous, ornamental and wild-flowers providing seasonal interest
8. Informal meandering path
9. Informal gathering space



Precedent Images: High quality amenity space, tranquil environment, textured planting and sensory environment.

Illustrative Landscape Masterplan



Fig. 64: Plan & Precedent Images for the Sensory Garden

PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

Overview Themed Garden Type 4

'Parterre' Garden

A 'parterre' garden is a garden enclosed by high walls for horticultural rather than security purposes.

Key components

1. New/ retained brick wall
2. Seating
3. Retained trees
4. Herbaceous, ornamental and wild-flowers providing seasonal interest
5. Formal path



Precedent Images: High quality amenity space, tranquil environment, textured planting and sensory environment.

Illustrative Landscape Masterplan



Fig. 65: Plan & Precedent Images for Parterre Garden

PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

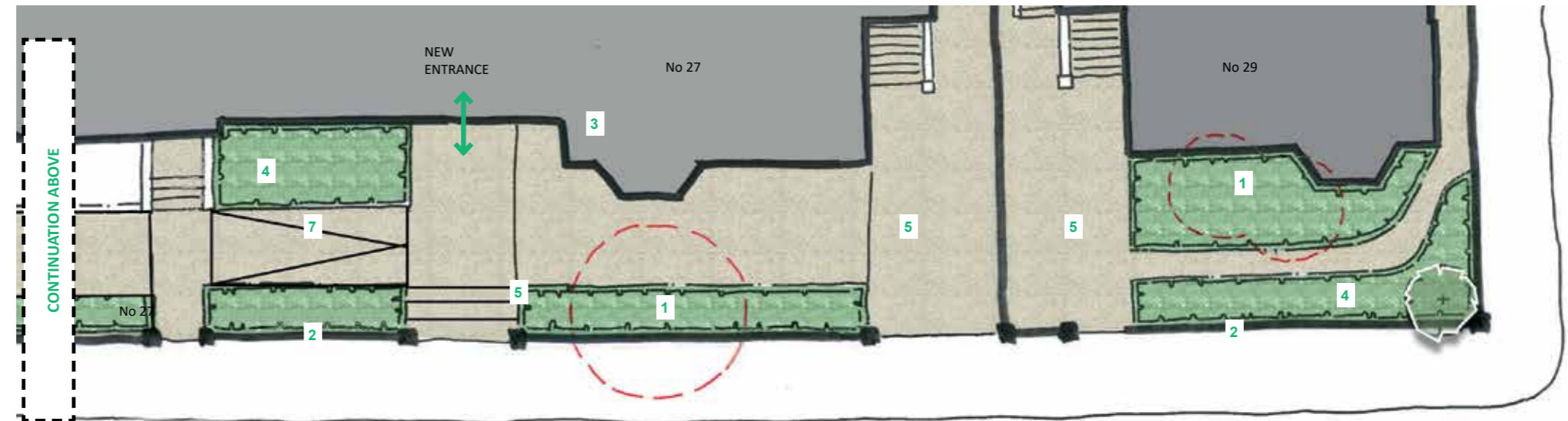
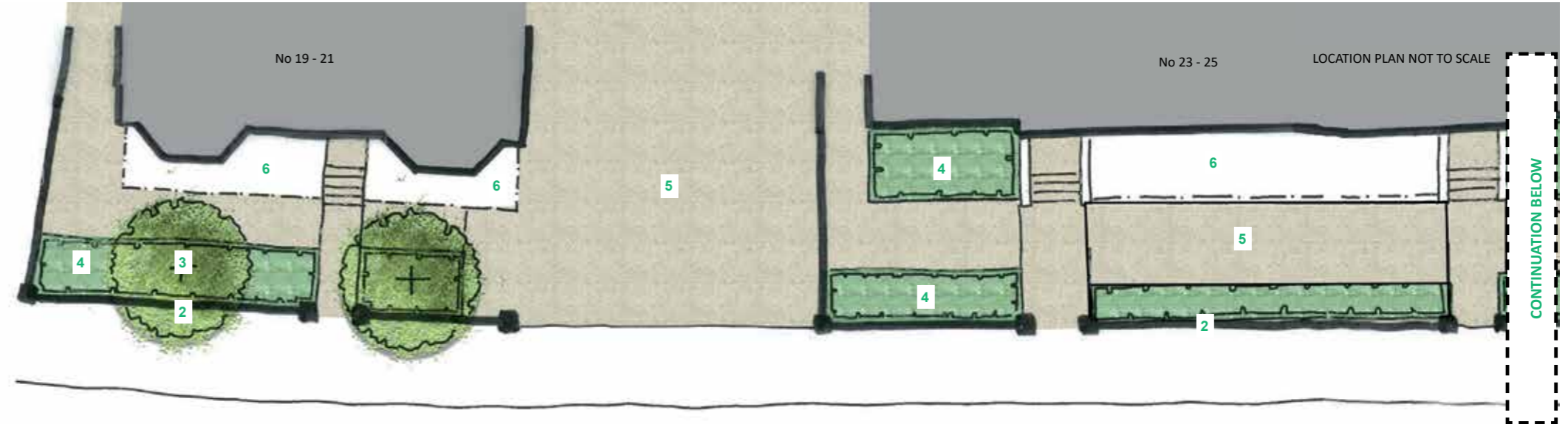
Overview Lower Teddington Road Frontage

The Lower Teddington Road frontage will be significantly enhanced with a consistent approach to the low walls and railings boundary edge, with access points relevant to the entrances on the buildings, and a planting regime that provides an attractive and comprehensive enhancement to the Conservation Area frontage. The proposed boundary types are designed to promote a quality streetscape and to distinguish clearly between public and private realm.

Key components

1. Tree removed
2. New/ retained brick wall
3. New feature trees
4. Small trees, herbaceous, ornamental and wild-flowers providing seasonal interest
5. Resin bound paving
6. Lightwell
7. Ramp

Illustrative Landscape Masterplan



Precedent Images: High quality street frontage

Fig. 66: Illustrations & Example images for the new frontage to Lower Teddington Road

PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

Illustrative Soft Landscape Materials Palette

The soft landscape materials palette within the four themed gardens will each have a distinctively character and identity. Opportunities exist for a varied and diverse planting palette with seasonal interest; however the palette for the most part will be controlled to provide coherence and a sense of cohesion and scale throughout the scheme.

Proposed Tree Planting

Proposed tree planting has sought to strengthen and enhance the characteristics of the existing tree stock. All but three of the existing trees are to be retained and additional tree planting provided to augment the existing. Appropriate species will be chosen to complement the garden themes.

Key Components

- Specimen trees: to create visual focal points and interest within the site.
- Fruiting orchard trees: to provide a focal point, a gathering space, and a place providing fresh fruit.
- Pleached trees: to define boundaries and provide screening.
- Hedging: to define spaces and boundaries
- Understorey planting: smaller trees, shrubs and herbaceous planting to provide structure, visual interest.

Proposed Planting Palette

A varied and diverse planting palette is proposed which seeks to create diversity, visual and sensory interest, seasonal variation and legibility within the site in accordance with each garden theme.

Key components

- Small feature trees – multi-stem amelanchier and hamamelis
- Spring bulbs – snowdrops, daffodils and alliums
- Sensory/ Medicinal plants and herbs – sage, thyme, lavender and rosemary
- Ornamental grasses
- Evergreen structure planting
- Carpinus hedges and sweet box
- Climbing hydrangea
- Traditional deep ‘walled garden’ mixed borders



Precedent Landscape Images

1. Focal feature areas
2. Water feature
3. Ornamental Planting
4. Feature plants
5. Spaces for activities

1.	4.
2.	
3.	
5.	

Fig. 67: Soft Landscape Precedent Images

PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

Illustrative Hard Landscape Materials Palette

The hard landscape materials palette have been selected to complement the existing landscape setting and to provide a robust hard wearing finish, suitable for its intended purpose. It has been developed in combination with the soft landscape, complementing it and integrating sympathetically into the themed landscaped gardens. Creating a high quality, accessible and safe environment for future users. A palette of high quality materials will be specified, creating a soft finish to the design.

Key components

- Block pavers and setts
- Porous paving beneath trees
- Resin bonded gravel
- Loose gravel

Proposed Furniture Elements

The inclusion of furniture into the themed gardens provides a holistic feel contributing to the sense of space created.



Precedent Landscape Images

1. Entrances - Stone sett paving
2. Patios - Saxon paving
3. External pedestrian footpath - Tarmac
4. Residential garden footpath - Resin bound paving
5. Feature areas - Brick paving
6. Car parking Spaces - Concrete block paving
7. Roads – black tarmac

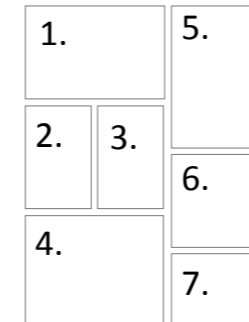


Fig. 68: Hard Landscape Precedent Images

PROPOSED DEVELOPMENT

LANDSCAPE STRATEGY

Typical Tree Planting

The soft landscape will have a distinctively contemporary feel. Opportunities exist for flourishes in variety and seasonal interest; however the palette for the most part will be strictly controlled to provide coherence and a sense of scale.



Acer campestre 'Elsrijk' - Field Maple 'Elsrijk'



Amelanchier lamarckii - Juneberry



Betula utilis jacquemontii - White-barked Himalayan Birch



Liquidambar styraciflua - Sweet Gum



Pyrus calleryana 'Chanticleer' - Flowering Pear 'Chanticleer'



Platanus x hispanica - London Plane

Fig. 69: Typical Tree Planting Precedent Images

PROPOSED DEVELOPMENT

ACCESS STATEMENT

It is intended to provide a development with safe, easy and inclusive access for all people regardless of disability, age or gender. The concept of access for all is based on an inclusive approach to design whereby all users and not just disabled users are taken into account. The access statement explains the design intention; it is acknowledged that the access provisions will require adjustment during the lifetime of the development.

This statement has been prepared based on guidance in BS8300:2009 Design of buildings and their approaches to meet the needs of disabled people - Code of practice and in Approved Document M 2015 (Access to and use of buildings) of the Building Regulations.

The new buildings will comply with the various requirements of the Equality Act 2010, Part K 2013 edition (Protection from falling, collision and impact) and Part M 2015 (Access to and use of buildings) of the Building Regulations.

The access philosophy and information particular to the building will be fully integrated into the long term building management, for example by handing on the access statement to the building operators to form the basis for ongoing monitoring and provision of accessible services.

Controlling Legislation and Design Guidance

The following legislation and design guidance has been taken into account, together with best practice determined through experience with a variety of Clients and disabled people over a number of years.

- Approved Document M (access to and use of buildings) of the Building Regulations
- Equality Act 2010, Part K 2013 edition (Protection from falling, collision and impact)
- British Standard 8300:2009 design of buildings and their approaches to meet the needs of disabled people - Code of practice.
- Guidance from other authoritative sources including the Centre for Accessible Environments, the RNIB, RNID etc.

Disabled access to the buildings within the site will be either via road to the disabled car parking bays or via footpath from the site entrance.

The footpaths from the site entrance will be generally a minimum of 1.5m wide. These footpaths should not have gradients steeper than 1:20 due to the topography of the site.

The units have disabled car parking spaces in dedicated parking areas close to the entrance to the units. These bays are hatched with either a contrasting painted demarcation colour, which extends to the side and front of each bay. Each bay also has a contrasting painted disabled logo in its centre.

Access

The entrance door to the main reception from Lower Teddington Road will be automatically operated, activated by PIR as the user approaches the building, as will the secondary access from Station Road.

Any sloped ground leading from the building outwards is necessary for surface water run-off and to suit topography. Subject to these requirements, sloped ground between the entrances into buildings and the parking areas will be kept as shallow as possible, no steeper than 1 in 18. Cross falls to disabled parking spaces will be a maximum of 1 in 24.

Site access

Separate site vehicle access from Station Road is provided for the independent senior living extra care unit, with a disabled parking bay located close to the building entrance and further disabled bays close to the lift in the basement.

Parking

The level of car parking reflects the levels associated with this type of use and is discussed more comprehensively in the Transport Statement submitted in support of this application.

Cycle parking

A level of cycle parking is provided in the basement close to the lift entrance to the building in line with the current standards. Additional cycle parking is provided for the Lower Teddington Road properties. Cycle parking is discussed more comprehensively in the Transport Statement submitted in support of this application.

Service / deliveries

Servicing will be from Station Road and the surface parking entrance through the side door. The new extra unit will be serviced by refuse and delivery vehicles adequately from the street with refuse bins brought to the side gate for collection via the service lift to the refuse collection area within the basement.

Main Entrance

The main entrance doors and adjacent screens are highlighted via contrasting coloured aluminium framing / full heights stainless steel handles and if necessary additional applied contrasting manifestation.

Main entrance threshold weathering strips at the main entrance will not exceed 15mm in height and will be in contrasting materials to the external paving and internal finishes.

The main entrance doors are to be automatic inward opening with the opening leaves giving a clear min total width of 1800mm.

Doors to be fully glazed in aluminium metal frames, which will visually contrast with the surrounding cladding. Door handles will be full heights and visually contrast with the door.

Internal Circulation

All corridors to be a minimum of 1200mm, but in most cases are 1800mm wide, or have frequent passing places of 1800mm width.

Main access between floors to be via passenger lifts, compliant to AD M and DDA, subject to operator and user requirements. Stairs are primarily for means of escape use or staff use only. Residents within the care home will be protected from accessing the stair areas on grounds of safety. Stairs will be ambulant disabled compliant, with minimum 1100mm between handrails.

Sanitary accommodation

Fully compliant AD M disabled wcs are provided throughout the accommodation

Escape

All fire escape paths will be paved with p.c.c.paving slabs, block pavers or bound gravel and will be suitable for wheelchair use. All fire exits to be set flush with the adjacent external levels.

Colour Contrast

Colour contrast and lighting will enable people with limited vision to readily identify features such as doors, lifts, signs etc.

Large areas of glazing will be highlighted with a manifestation at appropriate height levels which contrast with the viewing background from both sides.

Cycle parking will be provided at the basement floor level. Suitable barriers will be provided to prevent badly parked cycles becoming a hazard, particularly to visually impaired pedestrians.

PROPOSED DEVELOPMENT

ACCESS STATEMENT

Signage and Way-finding

Signage throughout the development will follow good practice such as that promoted in 'The Sign Design Guide' produced by the Sign Design Society.

Clear directions will be provided to all facilities, particularly accessible routes.

Emergency Egress and Fire Alarms

Comprehensive fire evacuation policies will be established for the property occupants and managers. This will include the use of refuges as appropriate.

Fire alarms in accessible WCs and general WCs will emit both a visual and audible signal to warn occupants with hearing or visual impairments.

A means of communication (dedicated telephone or intercom) will be available between refuges and building management staff in the event of an emergency; this will be hearing aid compatible.

Accessible ground floor fire exits will be provided for each major escape route.

Access within the Buildings

Lift and stairs will be provided to provide easy access for all users to each level of the buildings.

All stairs have been designed to suit the needs of ambulant disabled people and people with impaired sight. Door openings and corridor widths have been designed to accommodate wheelchair access. Disabled toilet facilities will be provided. Doors and WC provision will satisfy Approved Document M.

CONCLUSIONS

This Design and Access Statement has demonstrated that this detailed application has been thoughtfully considered and has taken into account the varied requirements from both a design and planning policy perspective. The resulting proposals have been assessed against the following criteria;

Use

The use will continue to be an important mixed use community function with ancillary offices for a registered charitable religious community which also will provide a significant element of affordable housing (particularly for older tenants) together with the new senior living extra care unit

Amount

The amount of development on the site conforms with the existing amount of use at a similar density to the existing.

Layout

The layout of the new building presents a strong street frontage to Station Road and together with the inter-connecting shared themed garden space will enhance the overall character and appearance of the area particularly the Hampton Wick Conservation Area.

Scale

The scale of the new building is in keeping with the surrounding context and complements the character and appearance of the adjacent Hampton Wick Conservation Area.

Appearance

The appearance of the Hampton Wick Conservation Area will be significantly enhanced with the removal of an incongruous care home building and flat roofed entrance porch and the erection of a high quality architect designed building with pitched slate (or similar) roofs, mixed stock and red brick, limited render, low walls and railings and architectural features synonymous with the local surroundings.

Access

The access to the site as a whole will have little changes to the existing with the marginal relocation of the vehicle entrance to the new building. All the new units will be easily accessible internally, and there is excellent connectivity between the themed garden spaces creating a greater sense of community for the whole site.

APPENDIX 1 - CONTEXTUAL ANALYSIS

CONTEXTUAL ANALYSIS

Station Road & Seymour Road

Station Road and Seymour Road comprises:

- 1930s apartments
- Victorian houses
- Single storey garages

Facade

The palette of materials includes:

- Red / Brown Brick
- White Render
- Brown facing tiles

Roofscape

- Parapet roof
- Pitched roofs
- Pitched roof dormers
- Chimneys

Windows

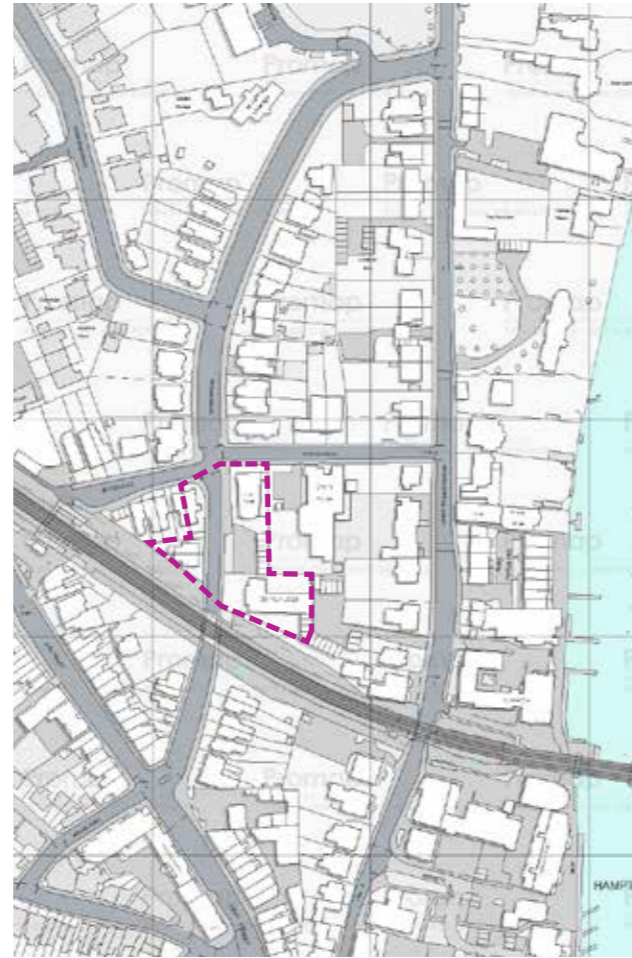
- Casement windows white framed
- Projecting bays
- Sash windows

Doors

- set back from street frontage

Frontages

- Minimal front gardens
- Low brick walls with (and without) black railings



Location Map



1 - Station Road



2 - Station Road



3 - Station Road & Seymour Road



4 - Seymour Road



5 - Seymour Road



6 - Seymour Road



7 - Seymour Road & Station Road

CONTEXTUAL ANALYSIS

Station Road

Station Road and Seymour Road comprises:

- Mix of styles

Facade

The palette of materials includes:

- Red Brick
- White Render

Roofscape

- Pitched with Gables with white fascia boards
- Pitched roof dormers

Windows

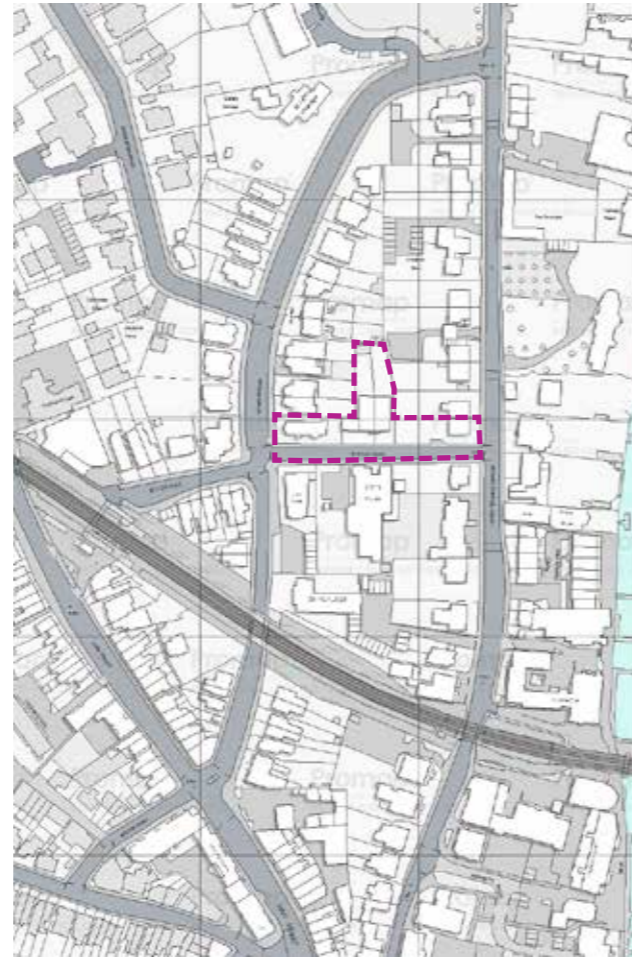
- Casement windows white framed
- Projecting bay & box windows

Doors

- Inset with rounded arch
- Pitched roof porch
- Contemporary secondary door
- Victorian tiled pathway to door

Frontages

- Short Depth front gardens
- Off Street parking & garage
- Buff brick walls with (and without) black railings



Location Map



1 - Station Road (east)



2 - Station Road (east)



3 - Station Road (east)



4 - Station Road (east)



5 - Station Road (east)



6 - Station Road (east)



7 - Station Road (east)

CONTEXTUAL ANALYSIS

Lower Teddington Road (upper west side)

Lower Teddington Road (upper west side) comprises:

- Pairs of semi-detached, symmetrical dwellings
- Large detached Victorian villas
- Large detached Edwardian detached houses
- Incongruous modern infill apartments

Facade

The palette of materials includes:

- Red Brick
- White /Cream Plaster Plain and Stucco Render
- Painted white/cream brickwork
- Buff Brick
- White banding & window surrounds and quoins

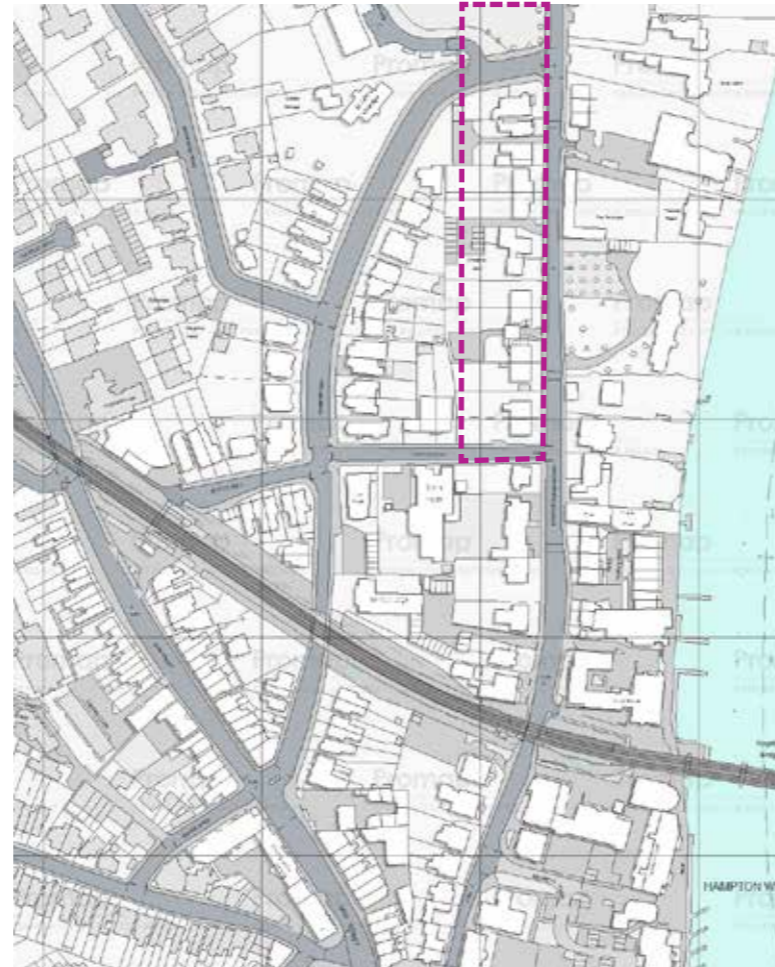
Roofscape

- Chimneys
- Brown Plain Tiles
- Grey Slate Tiles
- Low and Steeply Pitched roofs
- Gables with white fascia boards
- Hipped roofs
- Flat roof dormers

Windows

- Evenly spaced fenestration
- Sash windows
- Deep inset windows with frame surrounds

Lower Teddington Road (upper west side)



Location Map



1 - Lower Teddington Road (upper west side) junction with Station Road



2 - Lower Teddington Road (upper west side)



3 - Lower Teddington Road (upper west side)



4 - Lower Teddington Road (upper west side)



5 - Lower Teddington Road (upper west side)



6 - Lower Teddington Road (upper west side)



7 - Lower Teddington Road (upper west side)
Winterton Court

CONTEXTUAL ANALYSIS

Doors

- Steps up to inset doors with rounded arch porches
- Pitched roof porches

Frontages

- Short depth front gardens
- Brick walls
- Parking to shared rear areas
- Wide frontages and gables end



8 - Lower Teddington Road (upper west side)



9 - Lower Teddington Road (upper west side)



10 - Lower Teddington Road (upper west side)



11 - Lower Teddington Road (upper west side)



12 - Lower Teddington Road (upper west side)



13 - Lower Teddington Road (upper west side)



14 - Lower Teddington Road (upper west side)



15 - Lower Teddington Road (upper west side)

CONTEXTUAL ANALYSIS

Lower Teddington Road (upper east side Part 1)

Lower Teddington Road (upper east side) comprises:

- A mix of Georgian / Victorian and modern dwellings
- Houses / apartments set back towards the river edge
- Gated / private residences

Facade

The palette of materials includes:

- Red Brick
- White Render
- Red face tiles

Roofscape

- Chimneys
- Brown Tiles
- Hip roof
- Flat roof dormers

Windows

- Sash windows
- Standard casement windows
- Velux windows

Frontages

- Long length front gardens
- Grand driveways for off-street parking
- High Brick walls with finials and gated entrances



Location Map



1 - Lower Teddington Road (upper east side)



2 - Lower Teddington Road (upper east side)



3 - Lower Teddington Road (upper east side)



4 - Lower Teddington Road (upper east side)



5 - Lower Teddington Road (upper east side) j



6 - Lower Teddington Road (upper east side)



7 - Lower Teddington Road (upper east side)

CONTEXTUAL ANALYSIS



9 - Lower Teddington Road (upper east side)



10 - Lower Teddington Road (upper east side)



11 - Lower Teddington Road (upper east side)



12 - Lower Teddington Road (upper east side)



13 - Lower Teddington Road (upper east side)



14 - Lower Teddington Road (upper east side)



15 - Lower Teddington Road (upper east side)



16 - Lower Teddington Road (upper east side)



17 - Lower Teddington Road (upper east side)

CONTEXTUAL ANALYSIS

Lower Teddington Road (upper east side Part 2)

Lower Teddington Road (upper east side) comprises:

- Large houses / apartment buildings set tight to the street frontage
- Giving way to commercial buildings towards the railway bridge

Facade

The palette of materials includes:

- Red Brick
- White /Cream Render

Roofscape

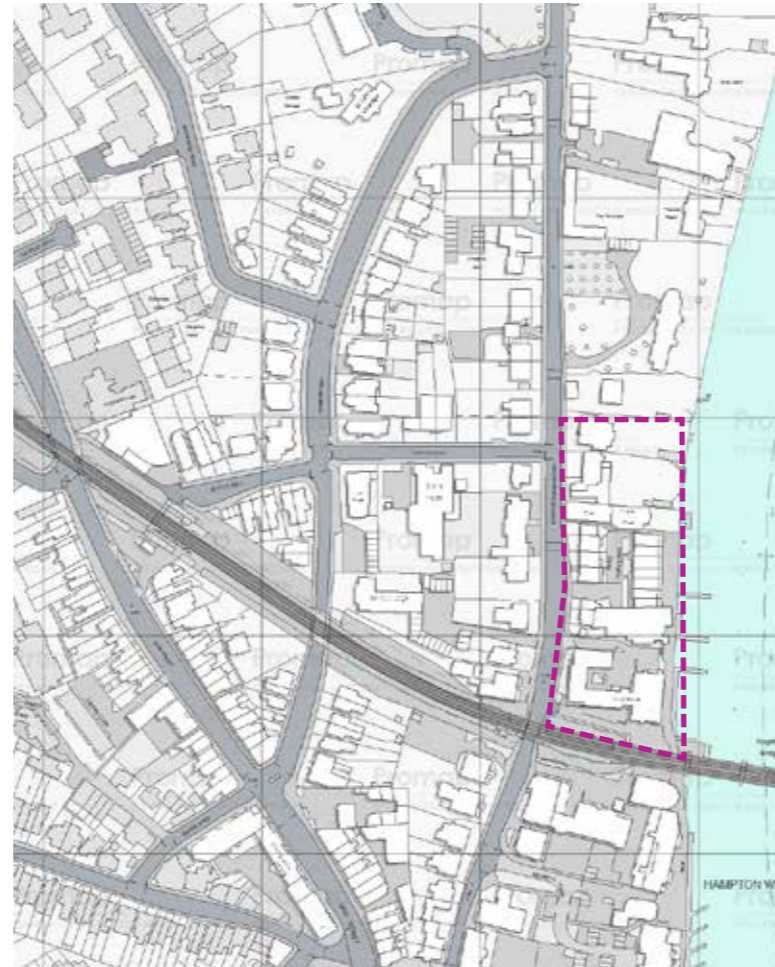
- Chimneys
- Brown Tiles
- Pitched
- Hip roof
- Gambrel roof
- Pitched roof dormers
- Flat roof dormers

Windows

- Sash windows
- Casement windows

Frontages

- Short depth front gardens
- Brick walls with black railings
- Tight to street frontage
- Large parking areas to rear



Location Map



1 - Lower Teddington Road (upper east side)



2 - Lower Teddington Road (upper east side)



3 - Lower Teddington Road (upper east side)



4 - Lower Teddington Road (upper east side)



5 - Lower Teddington Road (upper east side)



6 - Lower Teddington Road (upper east side)



7 - Lower Teddington Road (upper east side)



8 - Lower Teddington Road (upper east side)

CONTEXTUAL ANALYSIS



9 - Lower Teddington Road (upper east side)



10 - Lower Teddington Road (upper east side)



11 - Lower Teddington Road (upper east side)



12 - Lower Teddington Road (upper east side)



13 - Lower Teddington Road (upper east side)



14 - Lower Teddington Road (upper east side)

CONTEXTUAL ANALYSIS

Lower Teddington Road (lower) & High Street

Lower Teddington Road (lower) and High Street comprises:

- Larger Commercial buildings
- Grand houses fronting back edge of the pavement where it joins the High Street
- Larger, grand detached dwellings set back from road front with double height bays

Facade

The palette of materials includes:

- Red and buff brick
- White /Cream Plaster Render
- Painted white/cream brickwork

Roofscape

- Chimneys
- Brown Tiles
- Grey slate tiles
- Curved, parapeted, and hipped roof forms
- Pitched roof dormers

Windows

- Evenly spaced fenestration with predominately sash windows
- double bay heights

Doors

- Side entrances and direct to street frontage

Frontages

- Short depth front gardens or tight to street frontage
- Brick walls with black railings
- Parking to shared rear areas



Location Map



1 - Lower Teddington Road



2 - Lower Teddington Road



3 - Lower Teddington Road



4 - Lower Teddington Road



5 - Lower Teddington Road



6 - Lower Teddington Road



7 - Lower Teddington Road

CONTEXTUAL ANALYSIS



8 - Lower Teddington Road



9 - Lower Teddington Road



10 - Lower Teddington Road



11 - Lower Teddington Road



12 - High Street



13 - High Street - The Swan Pub circa 16th C.



14 - Lower Teddington Road



15 - Lower Teddington Road



16 - Lower Teddington Road



17 - Lower Teddington Road



18 - Lower Teddington Road



19 - Lower Teddington Road

CONTEXTUAL ANALYSIS

High Street

Lower Teddington Road (lower) and High Street comprises:

- Mix of styles and eras ranging from 16th century to present day.
- Ground floor retail
- Historic Pubs
- Apartments

Facade

The palette of materials includes:

- Red brick
- Buff /yellow (London stock) brick
- Stained timber
- White render
- Painted render (cream / blue / white)

Roofscape

- Chimneys
- Slate Tiles
- Mix of roof forms including hip, pitched parapet roofs and Flemish gables

Windows

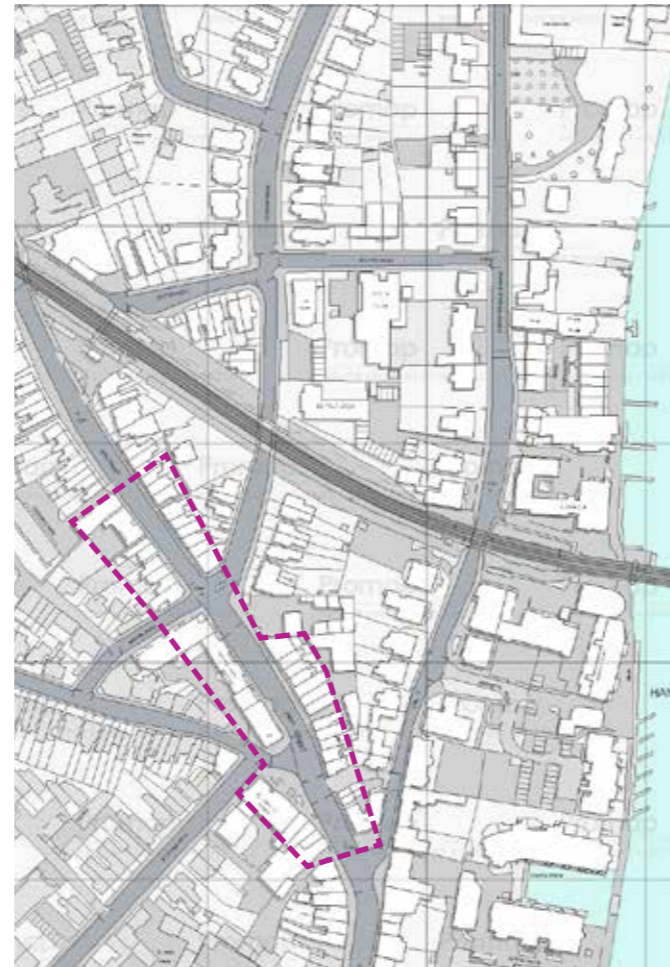
- A mix of casement, sash and bay windows
- Curtain walling

Doors

- Tight to street frontage

Frontages

- Tight to street frontage
- No parking



Location Map



1 - High Street



2 - High Street



3 - High Street (The Swan pub)



4 - High Street



5 - High Street



6 - High Street (The Forresters Pub)



7 - High Street (The Forresters Pub)



8 - High Street



9 - High Street



10 - High Street



11 - High Street



12 - High Street



13 - High Street



14 - High Street



15 - High Street



16 - High Street

CONTEXTUAL ANALYSIS

Station Road (West)

Station Road (west) comprises:

- Mix of styles - Victorian, Edwardian and contemporary

Facade

The palette of materials includes:

- Red Brick
- Timber with white render
- Contemporary white render
- Painted white brickwork
- White banding & window surrounds
-

Roofscape

- Flat / Parapet Roof
- Pitched with Gable ends
- Mansard
- Pitched roof dormers
- Velux windows
-

Windows

- Full facade with grey frames
- Sash
- Projecting bay windows

Doors

- Inset with square or rounded arch
- Pitched roof porches

Frontages

- Short depth front gardens
- Brick walls with (and without) black railings



Location Map



1 - Station Road (west)



2 - Station Road (west)



3 - Station Road (west)



4 - Station Road (west)



5 - Station Road (west)



6 - Station Road (west)

CONTEXTUAL ANALYSIS

Seymour Road (Upper)

Seymour Road (upper) comprises:

- Pairs / Symmetry
- Victorian and Edwardian
- Semi & Detached Houses / converted apartments

Facade

- Red and buff brick
- White / Cream Render
- Painted white brickwork / Pebbledash
- White banding, window surrounds and joinery
- Ornate plasterwork detailing

Roofscape

- Brown clay and grey slate tiles
- Pitched and hipped roofs
- Gables with white fascia boards
- Flat roof dormers
- Velux windows

Windows

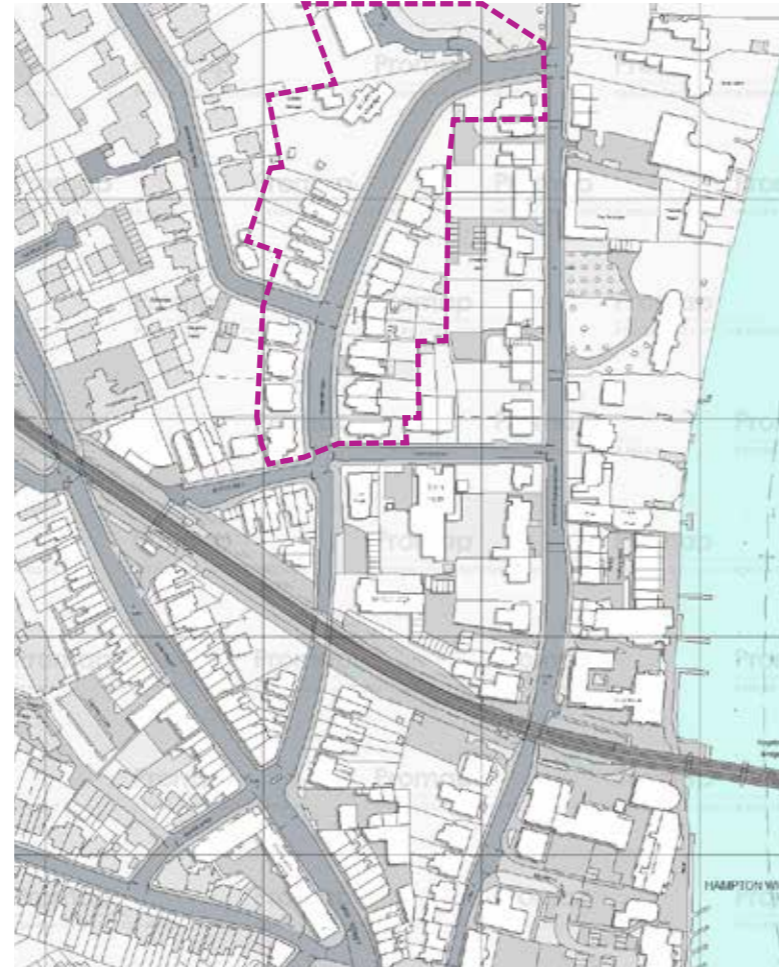
- Sash and projecting bay windows
- White timber balconies

Doors

- Inset with square or rounded arch
- Pitched roof porches

Frontages

- Front gardens with off-street parking
- Brick walls with (and without) black railings
- Some high level walls & wooden fencing



Location Map



1 - Seymour Road



2 - Seymour Road



3 - Seymour Road



4 - Seymour Road



5 - Seymour Road



6 - Seymour Road



7 - Seymour Road



8 - Seymour Road

CONTEXTUAL ANALYSIS



9 - Seymour Road



10 - Seymour Road



11 - Seymour Road



12 - Seymour Road



13 - Seymour Road



14 - Seymour Road



15 - Seymour Road



16 - Seymour Road



17 - Seymour Road



18 - Seymour Road



19 - Seymour Road



20 - Seymour Road



21 - Seymour Road

CONTEXTUAL ANALYSIS

Seymour Road (lower)

Seymour Road (lower) comprises:

- Victorian Semi & Detached Houses / converted apartments
- New build apartments in Victorian style
- Grade II Georgian - Navigator House
- Leading to High Street

Facade

The palette of materials includes:

- Buff Brick (London stock?)
- White /Cream Render
- White timber cladding
-

Roofscape

- Chimneys
- Slate Tiles
- Hip and pitched roofs

Windows

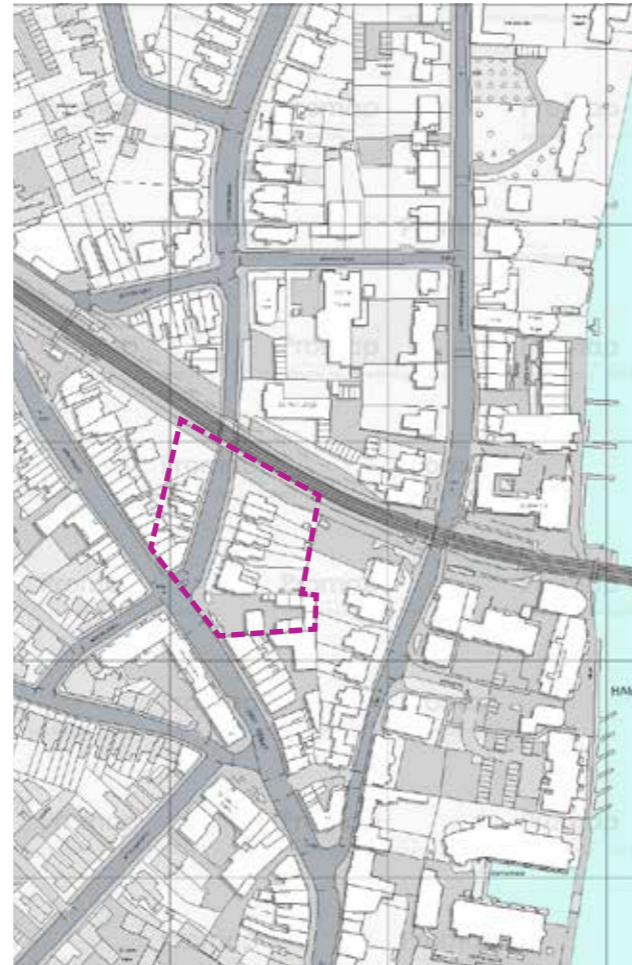
- Evenly spaced fenestration
- Predominately sash windows
- Bay windows

Doors

- Set back from road

Frontages

- Front gardens with off street parking potential
- Brick walls and black railings



Location Map



1 - Seymour Road



2 - Seymour Road



3 - No.4 Seymour Road



4 - Sheriff House, No.2 Seymour Road



5 - Navigator House, Seymour Road (Grade II listed Georgian building - converted to offices)



6 - Seymour Road



7 - Seymour Road



8 - Seymour Road

CONTEXTUAL ANALYSIS

Conclusions

The contextual analysis has identified that:

- there is an eclectic mix of building styles and sizes within the surrounding area;
- that there is a mixed palette of materials with the predominant use of red brick or London stock and light coloured render (both stucco and plain);
- a variety of roof materials are used, predominantly grey slate or red/brown clay roof tiles;
- brick walls and black railings along the frontage;
- the use of small and large gables;
- the use of flat and pitched dormers;
- the use of architectural and brick detailing and quoins.



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