

17/2332/RES
LAND AT JUNCTION OF A316
AND LANGHORN DRIVE AND
RICHMOND COLLEGE SITE
(INCLUDING CRANEFORD WAY EAST
PLAYING FIELDS AND MARSH FARM LANE)
EGERTON ROAD, TWICKENHAM

St Margarets and North Twickenham Ward

Contact Officer:
W Wong Chang

Proposal:

Detailed Reserved Matters application including Appearance, Landscaping (In part), Layout (In part) and Scale for Phase 2a (in part) of the College Development Zone (in Part) including Building Zone 3 pursuant to Conditions U08027 and U08031 of Outline Planning Permission 15/3038/OUT dated 16.08.16 (Outline application for the demolition of existing college buildings, removal of hardsurfacing, site clearance and groundworks together with the redevelopment of the site to provide:

- 1) A new campus for education and enterprise purposes, comprising; Replacement College (Use Class D1) of up to 16,000sqm to accommodate up to 3,000 FTE day time students, as well as evening and weekend use; A Science, Technology, Engineering and Maths (STEM) Centre (D1 Use Class) of up to 6,100sqm;
- 2) A new Secondary School (D1 Use Class) of up to 7,000 sqm for up to 750 students;
- 3) A new Special Educational Needs (SEN) School (D1 Use Class) of up to 4,000sqm for up to 115 students;
- 4) A new ancillary 'Technical Hub' for Haymarket Media (B1 Use Class) of up to 1,700sqm;
- 5) Replacement on-site sports centre (D2 Use Class) of up to 3,900sqm to serve both the college, schools and wider community;
- 6) The upgrading of existing Craneford Way playing fields for use by the college, schools and local community;
- 7) Alterations to existing means of access for vehicles, pedestrians and cyclists from the A316 involving the creation of a signalised junction, alterations to the A316 footbridge and minor realignment of Langhorn Drive, alterations of existing vehicular access points on Egerton Road as well as the upgrading of Marsh Farm Lane footpath;
- 8) Provision of on-site parking (non-residential) for up to 230 vehicles, open space and landscaping, and
- 9) A new residential development of up to 180 units together with associated parking for up to 190 vehicles, open space and landscaping).

Applicant: Mark Buxton of CgMs on behalf of London Borough of Richmond upon Thames

Application Received: 13.06.2017

Development Plan Policies

National Planning Framework (NPPF)

The London Plan 2016: The Spatial Development Strategy: 3.18, 5.2, 5.7, 5.10, 5.11, 5.13, 6.9, 7.2, 7.3, 7.6, 7.19, 7.21

Local Plan (Publication Version for Consultation) (2017): LP1, LP2, LP5, LP8, LP10, LP15, LP16, LP17, LP20, LP22, LP28, LP29, LP31, LP45

London Plan - Supplementary Planning Guidance: Accessible London – Achieving and Inclusive Environment (2014), London Planning Statement May 2014, Sustainable Design and Construction (2014)

Crane Valley Planning Guidelines (2005)

SPGs/SPDs: Design Quality (2006), Design for Maximum Access, Design Guidelines for Nature Conservation and Development, Security by Design (2002), Design Guidelines

Trees: Landscape Design, Planting and Care , Sustainable Construction Checklist/Zero Carbon

Background: Outline Planning Permission (OPP)

1. Outline Planning Permission (OPP) reference 15/3038/OUT was granted by the Council on 16 August 2016 for:

“Outline application for the demolition of existing college buildings, removal of hardsurfacing, site clearance and groundworks together with the redevelopment of the site to provide: 1) A new campus for education and enterprise purposes, comprising; Replacement College (Use Class D1) of up to 16,000sqm to accommodate up to 3,000 FTE day time students, as well as evening and weekend use; A Science, Technology, Engineering and Maths (STEM) Centre (D1 Use Class) of up to 6,100sqm; 2) A new Secondary School (D1 Use Class) of up to 7,000 sqm for up to 750 students; 3) A new Special Educational Needs (SEN) School (D1 Use Class) of up to 4,000sqm for up to 115 students; 4) A new ancillary 'Technical Hub' for Haymarket Media (B1 Use Class) of up to 1,700sqm; 5) Replacement on-site sports centre (D2 Use Class) of up to 3,900sqm to serve both the college, schools and wider community; 6) The upgrading of existing Craneford Way playing fields for use by the college, schools and local community; 7) Alterations to existing means of access for vehicles, pedestrians and cyclists from the A316 involving the creation of a signalised junction, alterations to the A316 footbridge and minor realignment of Langhorn Drive, alterations of existing vehicular access points on Egerton Road as well as the upgrading of Marsh Farm Lane footpath; 8) Provision of on-site parking (non-residential) for up to 230 vehicles, open space and landscaping, and 9) a new residential development of up to 180 units together with associated parking for up to 190 vehicles, open space and landscaping.”

2. The approved drawings and documents for the OPP are as follows:
 - Parameter Plans which set out the maximum and minimum building parameters in terms of height and footprint for each Development Zone and Building Zone;
 - Development Specification, including phasing plans;
 - Design Code Rev B; and
 - Detailed access drawings.

Reserved Matters applications pursuant to the OPP must have regard to these drawings and documents approved as part of the OPP.

3. The OPP comprises a number of Development Zones and Building Zones. The College Development Zone includes three building zones. See figures 1 and 2 below.

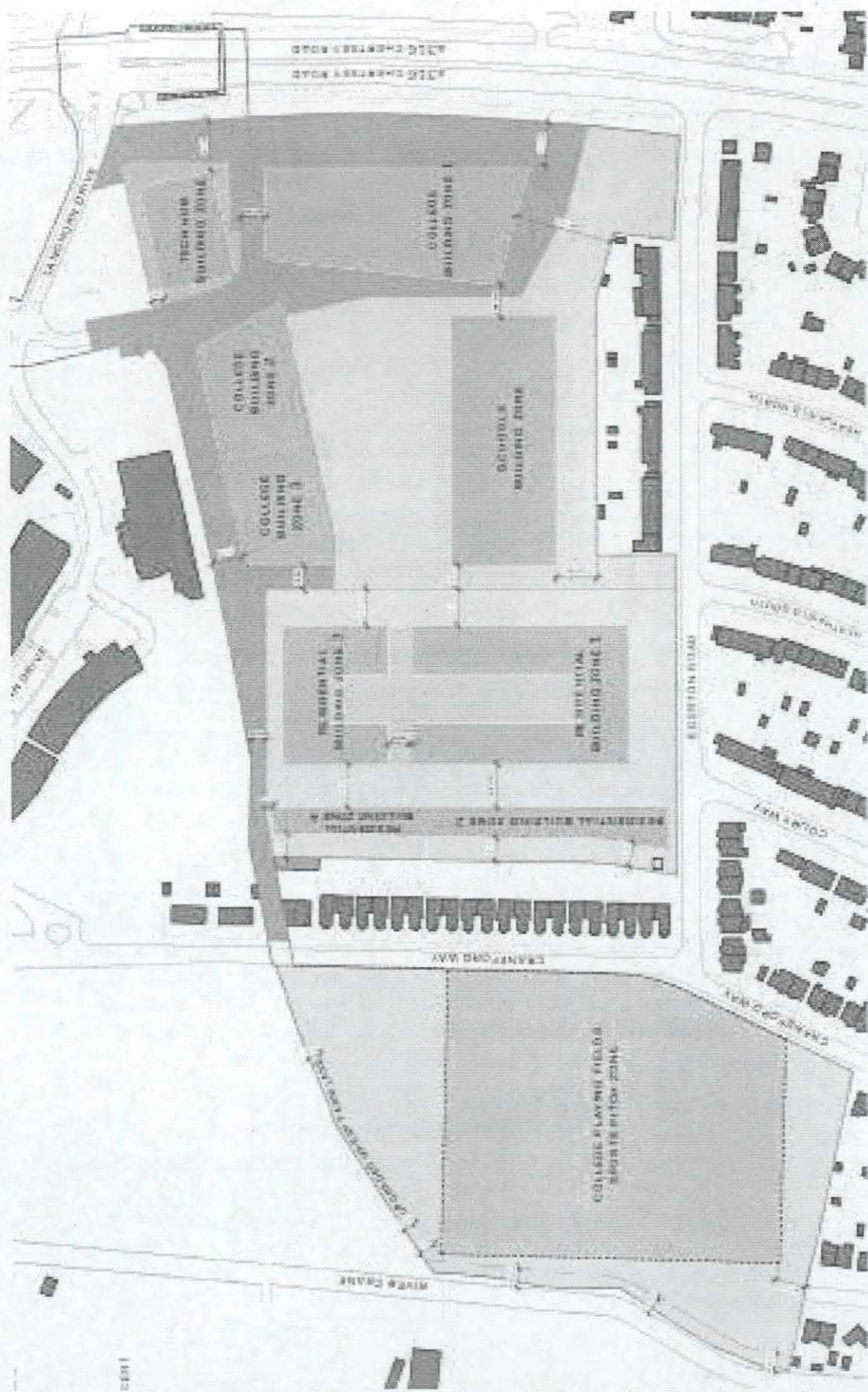


Figure 1: Extract from Parameter Plan PL-04A showing location of the Development Zones within the OPP Site

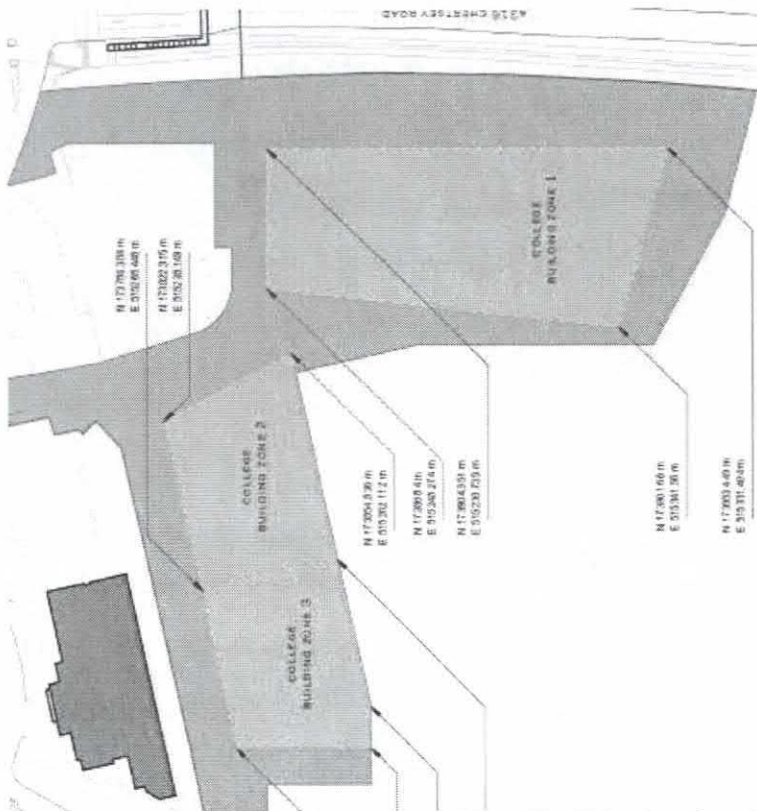


Figure 2: Extract from Parameter Plan PL-07A showing location of Building Zones within the College Development Zone.

4. The overall development of the OPP is also controlled by a number of planning conditions. These conditions set out the specific use for each Development Zone; the minimum and maximum gross floorspace to be provided for each use; building heights; and number of vehicle and cycle parking spaces, amongst other things. The OPP was a PSI requiring GLA approval and an EIA application.
5. The RM for School DZ have been approved under 16/3293/RES and a part of the College Development Zone including details of Building Zone 1 have been approved under 16/4747/RES. Demolition works commenced under a separate application and a temporary right of way has been constructed and approved under a separate application 16/2086/FUL. The applicant has informed the Council that construction works for the School DZ commenced on 13th February 2017 and construction works to the main college building at the College DZ pursuant to 16/4747/RES commenced on 21 May 2018.

The Application: College Development Zone Reserved Matters

6. The submitted application relates to only part of the College Development Zone (CDZ) as outlined in red in Figure 3 below. The OPP development is phased and this application affects land within approved Phase 2a (in part) as well as all of Building Zone 3 of the College Development Zone (CDZ). The application seeks approval of the following reserved matters for this part of the College Development Zone:
 - Appearance
 - Scale
 - Landscaping (IN PART)
 - Layout (IN PART)

7. This application is submitted in accordance with conditions U07995, U08027 and U08031 of the OPP.

U07995 Outline – Submission of RMs

All applications for the approval of Reserved Matters in the Development Zones, or the phases thereof, hereby approved shall be made to the Local Planning Authority no later than within 3 years of the date of this permission.

U08027 College – Reserved Matters

No development within the College Development Zone, or phase thereof, shall commence until written approval of the following Reserved Matters for that Development Zone, or phase thereof, where relevant has been obtained from the Local Planning Authority:

- *the layout of buildings above and below ground level and associated roads, routes and open space*
- *the scale of buildings*
- *the appearance of the buildings*
- *landscaping*

Development shall be undertaken in accordance with the approved details.

U08031 Compliance Report

No reserved Matters Application shall be submitted in relation to any Development Zone(s), or phase thereof, unless it is accompanied, as appropriate, by the following documents and/or information

- i) a statement to demonstrate how the proposed development of a Development Zone, or phase thereof, is in accordance with the Phasing Programme;*
- ii) an explanatory statement detailing how the proposed quantum of land uses and scale of development proposed within the Development Zone, or phase thereof, are consistent with the limitations set in conditions nos: U07999, U08000, U08001, U08002, U08006 and U07931.*
- iii) an explanatory statement detailing how the proposed development of a Development Zone, or phase thereof, addresses the mitigation measures outlined in the Environmental Statement and Environmental Statement Addendum and in relation to the matter of **layout**, a Reserved Matters Application shall include:*
 - a) a report and plans detailing the layout of the proposed building or buildings and any relevant roads, pedestrian and cycle routes, parking and servicing areas and the detailed layout of open spaces within a Development Zone, or phase thereof, to which the Reserved Matters Application relates*
 - b) a reconciliation plan showing how the proposed detailed layout of the roads, pedestrian and cycle routes, parking and servicing areas and the detailed layout of open spaces within a Development Zone, or phase thereof, to which the Reserved Matters Application relates are consistent with the parameters and principles for the layout of the wider development set out in condition nos U07999 and the Design Code,*
 - c) a report and plans detailing the internal layout of any buildings within a particular Development Zone, or phase thereof, and, in the case of the Schools and College Development Zones, an explanatory statement demonstrating that the individual educational buildings have been designed to meet government baseline design guidance including minimum floor areas of teaching, ancillary and external spaces*
 - d) a report and plans detailing any layout below ground level*
 - e) a report and plans demonstrating how the building and its associated external spaces, both public, shared and private, have been designed to accord with the principles of maximum access, including step-free entrances, and inclusive design as set out in the Design Code and Mayors' Accessible London' Supplementary Planning Guidance*
 - f) no Reserved Matters Applications for the Residential Development Zone, or phase thereof, shall be submitted unless it is accompanied by an explanatory statement and plans*

demonstrating a) that the proposed development of the relevant residential building and units therein complies with the design and construction standards contained in the DCLG Technical Housing Standards - Nationally Described Space Standard, the Mayor's Housing Supplementary Planning Guidance 2016 b) that 90% of all units within a building within are complaint with Approved Document Part M4(2) c) that 10% of all units within a building are complaint with Approved Document Part M4(3), d) that discussions with a registered affordable housing provider have influenced the submitted design of the relevant residential building in accordance with the Design Code requirement, e) that private external amenity space provision accords with table 1.

Table 1: External Amenity Space Standards

Size of unit	Amount of private amenity space
1-2 person flat	Minimum of 5sqm of private outdoor space
3 person flat and above	Minimum of 5sqm of private outdoor space plus an extra 1sqm per additional occupant Ground level family units (of 3 or more bedrooms) within a block of flats should have larger private amenity spaces
2 bed house	40sqm
3 bed house +	70sqm

g) a daylight/sunlight report in accordance with the Building Research Establishment methodology demonstrating that external spaces, balconies and internal rooms to dwellings within the Residential Development Zone comply with standards set out in Site Layout, Planning for Sunlight and Daylight (BRE: 1991)

and in relation to the matter of **scale**, a Reserved Matters Application shall include:

a) a statement (including accompanying design material) to demonstrate that the scale of the development is consistent with the Parameter Plans and Design Code

and in relation to the matter of **appearance**, a Reserved Matters Application shall include:

a) plans, drawings, sections, elevations and photomontages to explain in full detail the massing, design and materials to be used on all external surfaces, fenestration (including framing and glazing details), balconies/roof terraces/winter gardens, canopies, entrances, porches, cladding systems, renewables technologies, Rooftop Plant, flues, vents, lift overruns and signage, podium parking, and, where practicable, samples shall be provided and

b) a statement (including accompanying design and materials) to demonstrate the selection of materials accords with the Design Code

c) an external illumination or lighting strategy for a building

d) a statement to demonstrate how the siting and design of a building or townscape element serves a prominent role as a distinguishing feature, focal point, landmark or wayfinder for that Development Zone and/or the College site

e) a statement to demonstrate how the siting and design of a building has incorporated active frontages, including shared amenity spill out areas in the College Development Zone, to engage with the public realm and promote activity and security

f) a statement demonstrating how the design of the buildings within the Residential Development Zone have adopted the principle of Tenure Blind

g) any Taller Building should be accompanied by a full design justification based on a comprehensive townscape appraisal

and in relation to the matter of **landscaping**, a Reserved Matters Application shall include:

a) full details, including plans, drawings, elevations and specifications, of both hard and soft landscaping works, these details shall include all ecological enhancements measures including stag beetle loggeries, planting of native species, creation of ecology corridors (2 metre wide minimum), proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and roads/other circulation areas; school playgrounds and other outside spaces, hard surfacing materials; minor artifacts and structures (e.g. street furniture, street lighting, public art, play equipment, ecological information boards, fences, walls, gates, screens, tree pit grilles, canopies, seating, resting benches, litter bins, refuse or other storage units, signs (including cycle routes and parking), lighting etc.); proposed and existing utility services above and below ground (e.g. drainage, power, communications cables, pipelines etc, indicating lines, manholes, supports etc); retained historic landscape features and proposals for restoration, where relevant; and a program or timetable of the proposed works.

b) Where within the Root Protection Area of retained trees hard landscape design, small structure installation and service installation should be formulated in accordance with section 7.4, 7.5 and 7.7 of British Standard 5837:2012 Trees in relation to design, demolition and construction - Recommendations.

c) Soft landscape works shall include planting plans, written specifications (including cultivation and other operations associated with plant and grass establishment); the specification is to include details of the quantity, size, species, position, planting methodology, proposed time of planting and anticipated routine maintenance of all trees to be planted. Any proposed tree planting should be undertaken in accordance with section 5.6 of British Standard 5837:2012 Trees in relation to design, demolition and construction - Recommendations.

d) All tree/plant/shrub planting included within the approved specification shall be carried out in accordance with that specification and in accordance with BS 3936:1986 (parts 1, 1992, Nursery Stock, Specification for trees and shrubs, and 4, 1984, Specification for forest trees); BS 4043: 1989, Transplanting root-balled trees; and BS 4428:1989, Code of practice for general landscape operations (excluding hard surfaces).

e) Specification for anticipated surface changes between Development Zones and the size, type and appearance of all paving or other hard surfaces within the particular Development Zone, or phase thereof.

f) Details of proposed green or brown roofs including detailed specifications and a supporting explanatory statement to demonstrate the anticipated distribution of green or brown roofs within a particular Development Zone, or phase thereof

g) All hard and soft landscape works shall be carried out in accordance with the approved details and in any event prior to the commencement of occupation/use of the land and buildings

8. This application relates only to the reserved matters for layout, scale, appearance and landscaping. Principles of use; access points to the site; maximum height, length and width of building zones; extent of external spaces and these matters likely impacts on living conditions of existing properties have already been assessed and approved under the OPP.

Site and Surroundings

8. The application site, shown in Figure 3 below, for this Reserved Matters application comprises land in the south western part of the College Site. To the east of the site is the School Development Zone and to the north is the remainder of the College Development Zone. To the south is the residential development zone. To the west of the site is Marsh Farm Lane.

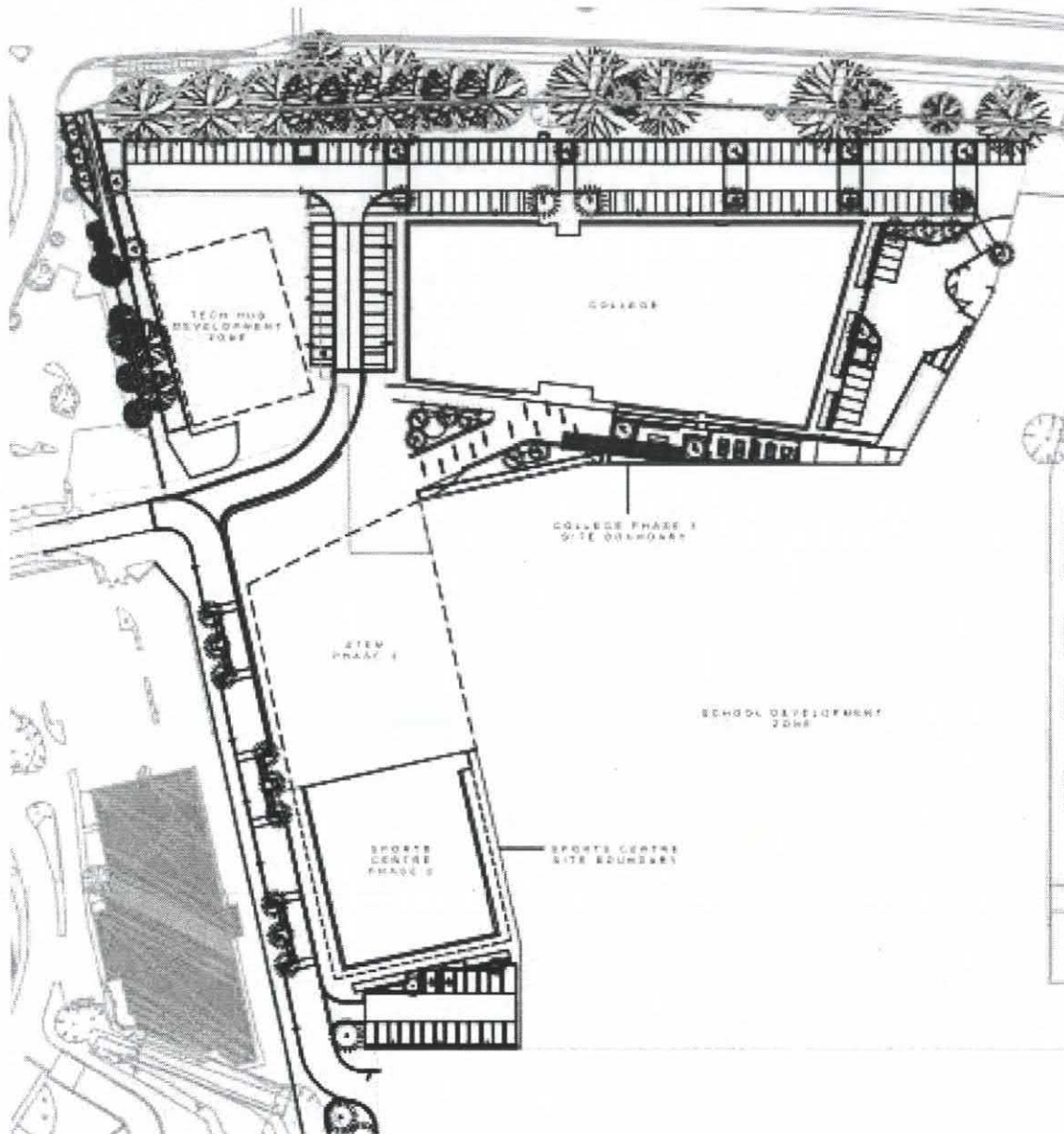


Figure 3: Extent of this RM application outlined in red

9. The application site proposed for Building Zone 3 occupies the current KLM building of the existing College. These buildings will be demolished when the main College building (approved under 16/4747/RES) is completed so the existing facilities within the KLM building can be decanted into the new College building. Once this is completed, then the existing college buildings will be demolished to enable the construction of Building Zone 3, which comprises the Sports building. The sports building/facilities will be shared by Richmond upon Thames College and the School.

Planning designations

10. The site has the following planning designations:
 - Wood Group Tree Protection Area
 - River Crane Area of Opportunity

Proposed Development

11. The proposed development of the College Development Zone (CDZ) comprises Phase 2A (in part) of the College Development Zone (in Part) including Building Zone 3 and some of its

associated amenity areas, hard and soft landscaping, internal access serving car and cycle parking. No details have been submitted for the remainder of the College Development Zone as such this application can only partly discharge RMs for landscaping (IN PART), layout (IN PART), appearance and scale.

12. Building zone 3 comprises the Sports Building and is four storeys in height and has a total floorspace of approximately 3,091 sqm GEA. A total of 20 car park spaces are to be provided to the south including 2 disabled parking spaces and 1 no. mini-bus parking. 3 no. Electric Vehicle Charging Points have been provided. There is a total of 40 short-stay cycle spaces.
13. Vehicular, cyclist and pedestrian access for the College Development Zone (to which Building zone 3 forms a part of) will be from the north west via the improved junction off the A316 via Langhorn Drive and Marsh Farm Lane. As this RM application only forms a part of the College Development Zone, details of the internal access road to Langhorn Drive have not been submitted and are intended to be provided in a later submission. Figure 3 below shows access into the site from Langhorn Drive.

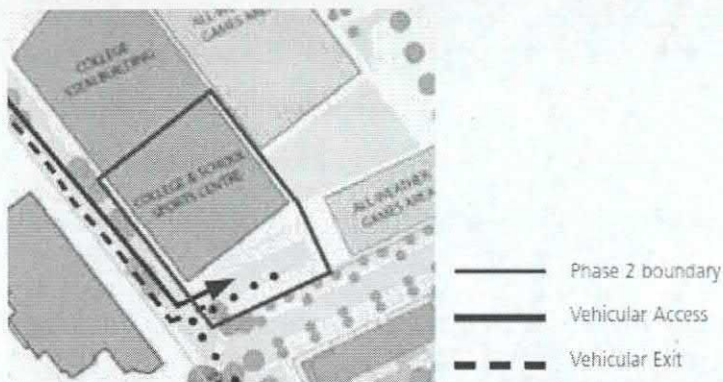


Figure 4: Vehicular access and parking arrangement

14. The building is proposed to be clad on the upper floors primarily in solid and perforated metal panels in painted champagne metallic finish. The central part of the southern elevation will be clad in grey painted perforated metal panel with illumination from the rear. The ground floor will be clad in fibre cement panel in Dark Grey with grey aluminium windows and doors. As the Sports building will be serving both the College and the School, there are two separate entrances. The College entrance is on the western elevation and the School entrance is on the eastern elevation. The roof contains a number of functional features such as photovoltaic panels, plant, vents and service risers. Areas of the surrounding roof made available by the 4m setback are utilised to provide a green roof of 957sqm (70% of the area to the roof of the Sports building).
15. There is separate pedestrian footpath around the Sports building which will be constructed in granite paving slabs in Cornish, the same material as that proposed around the perimeter of the main College building. Vehicular access will be of the same material with 'Royal forest' (yellow) being used to delineate accessible parking bays. Applicant has confirmed that the accessible parking bays will be delineated in yellow reflecting same details as approved under 16/4747/RES.
16. The proposed sports buildings has an overall width of 37.2m and maximum length of 40.2m which is within the dimensions shown on the approved parameter plan, extract below.

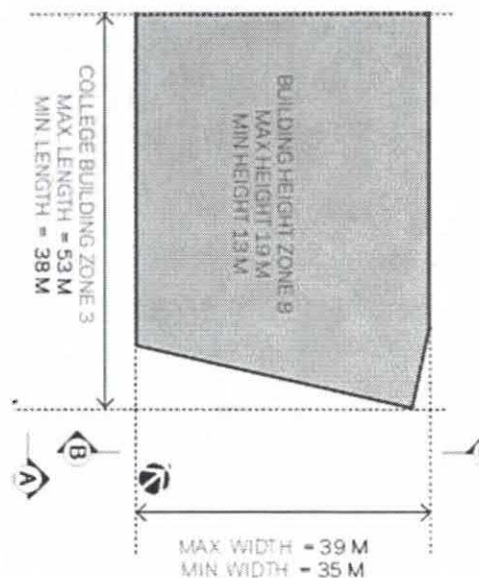


Figure 5: Extract from OPP Parameter Plan PL08A

17. It is not considered that any of the above changes represent a material amendment to the OPP. These changes also reflect the principles established by the OPP and in particular the approved Parameter Plans and Design Code.

Relevant Planning History

18. The land has been subject to a number of planning applications, of relevance are as follows:

School Development Zone

16/3293/RES - Detailed Reserved Matters application including Appearance, Landscaping, Layout and Scale for the Schools Development Zone pursuant to Conditions U08026 and U08031 of Outline Planning Permission 15/3038/OUT dated 16.08.16 (Outline application for the demolition of existing college buildings, removal of hardsurfacing, site clearance and groundworks together with the redevelopment of the site to provide: 1) A new campus for education and enterprise purposes, comprising; Replacement College (Use Class D1) of up to 16,000sqm to accommodate up to 3,000 FTE day time students, as well as evening and weekend use; A Science, Technology, Engineering and Maths (STEM) Centre (D1 Use Class) of up to 6,100sqm; 2) A new Secondary School (D1 Use Class) of up to 7,000 sqm for up to 750 students; 3) A new Special Educational Needs (SEN) School (D1 Use Class) of up to 4,000sqm for up to 115 students; 4) A new ancillary 'Technical Hub' for Haymarket Media (B1 Use Class) of up to 1,700sqm; 5) Replacement on-site sports centre (D2 Use Class) of up to 3,900sqm to serve both the college, schools and wider community; 6) The upgrading of existing Craneford Way playing fields for use by the college, schools and local community; 7) Alterations to existing means of access for vehicles, pedestrians and cyclists from the A316 involving the creation of a signalised junction, alterations to the A316 footbridge and minor realignment of Langhorn Drive, alterations of existing vehicular access points on Egerton Road as well as the upgrading of Marsh Farm Lane footpath; 8) Provision of on-site parking (non-residential) for up to 230 vehicles, open space and landscaping, and 9) A new residential development of up to 180 units together with associated parking for up to 190 vehicles, open space and landscaping). – Granted 03.11.2016

15/3038/DD01 – Details pursuant to conditions U07996 (Phasing Condition); U08004 (Coach/mini-bus parking - Schools); U08011 (Construction Method Statement/Site Waste); U08012 (Construction Logistic Plan - TFL); U08015 (Construction and Environmental

Managemen); U08018 (Acoustic Screens); U08020 (Tree - Protective Fencing); U08022 (Arborist Method Statement (inc. TPP)); U08023 (Site Monitoring Procedures and recording); U08025 (Details of foundations - piling etc); U08033 (Potentially Contaminated Sites); U08034 (Japanese Knotweed); U08035 (Foundation design - ground gases); U08036 (Piling - Controlled Waters); U08037 (SUDS - Controlled Waters); U08038 (Secure by Design/CCTV); U08039 (Lighting Strategy); U08040 (Misc Details - Sample Panels); U08043 (Site Wide Drainage & Surface Water Managt); U08045 (Arboriculture Method Statement(AMS)); U08046 (Site Monitoring Procedures and Recording); U08049 (Tree Planting Scheme); U08052 (Showers/Lockers for cyclists - Schools); U07950 (Drainage); U07953 (BREEAM - Very Good - Schools); U07957 (Sustainability Statements); U07958 (Energy Statements); U07960 (Inclusive Access Strategy); U07963 (People with disabilities - Non-residenti); U07965 (Access for disabled people); U07980 (Junction details); U07984 (Ventilation); U07941 (External Illumination of buildings); U08050 (Landscape Management (Large Scheme)); U07966 (Dustbin enclosure required); U07943 (Ecological Enhancement Measures) as relating to the Schools Development Zone of outline permission 15/3038/OUT. - Granted on 15.12.2016.

15/3038/DD10 - Details pursuant to conditions U07967 - Car Park Management Plan, U07968 - Servicing/Delivery Plan, U07969 - Coach Management Plan & U07970 - Service Area - Turning/Loading/Unloading of planning permission 15/3038/OUT - Pending

15/3038/DD11 - Details pursuant to conditions U07987 - Internal Noise Protection Scheme School, U07988 - Mechanical Services - Noise Control & U07992 - Kitchen Extract System - Schools - Odour of planning permission 15/3038/OUT - Granted on 01.10.2018

15/3038/DD12 - Details pursuant to condition U07956 Climate Change Adaptation - 35% CO2: As built EPC, BRUKL and 'Recommendation Report' of Planning Permission 15/3038/OUT - Refused on 24.10.2018

16/3293/DD01 - Details pursuant to condition U13894 (Details of Roof Top Plant) (IN PART) of Reserved Matters permission 16/3293/RES - Granted on 02.11.2017

16/3293/DD02 - Details pursuant to conditions U13878 (Details of Rooflights) and U13894 (Details of Roof Top Plant) of planning permission 16/3293/RES - Granted on 06.03.2018

16/3293/DD03 - Details pursuant to conditions U13875 - Cycle and Scooter Parking Management, U13876 - Parking for People with Disabilities, U13883 - Waste/Recycling Management Strategy & U13888 - Real-Time Bus Information Systems of planning permission 16/3293/RES - Pending

16/3293/DD04 - Details pursuant to conditions U13884 - Details of Cycle Parking, U13872 - Specification of Photovoltaic Panels, U13885 - Temporary Drop Off for Mini-Buses, U13887 - Lighting Management Strategy & U13889 - Temporary Car Park Arrangements - SEN of planning permission 16/3293/RES - Refused on 25.07.2018

16/3293/DD05 - Details pursuant to conditions U13873 - Lighting Survey & U13882 - North Car Park Lighting of planning permission 16/3293/RES - Granted 18.09.2018

16/3293/DD06 - Details pursuant to conditions U13884 - Details of Cycle Parking, U13872 - Specification of Photovoltaic Panels, U13885 - Temporary Drop Off for Mini-Buses & U13889 - Temporary Car Park Arrangements - SEN of planning permission 16/3293/RES - Granted 24.10.2018

16/3293/NMA - Application for a Non Material Amendment to Planning Permission 16/3293/RES to allow for

- a) Addition of 1No. external School entrance canopy to southern elevation to match building entrance canopy appearance on south-eastern elevation.
 - b) Change in specification from 6No. Design Plan Ali Quad LED walkway lights to 3No. 6m high column with iGuzzini "Wow", BH33 LED luminaire to external pathway between the new School and proposed Sports Hall to the west.
 - c) Addition of 4No. external building mounted Whitecroft "Spectre WX" LED downlights to southern elevation.
 - d) Addition of 4No. external drinking fountains to southern and western elevations.
 - e) Replacement of coloured panels from principal entrances with grey panels
- Granted on 27.10.2017

College Development Zone

16/4747/RES – Detailed Reserved Matters application including Appearance, Landscaping (In part), Layout (In part) and Scale for Phase 1C (in part) and Phase 3A (in part) of the College Development Zone (in Part) including Building Zone 1 and Landscaping (In part) of the School Development Zone pursuant to Conditions U08027 and U08031 of Outline Planning Permission 15/3038/OUT dated 16.08.16 (Outline application for the demolition of existing college buildings, removal of hardsurfacing, site clearance and groundworks together with the redevelopment of the site to provide:

- 1) A new campus for education and enterprise purposes, comprising; Replacement College (Use Class D1) of up to 16,000sqm to accommodate up to 3,000 FTE day time students, as well as evening and weekend use; A Science, Technology, Engineering and Maths (STEM) Centre (D1 Use Class) of up to 6,100sqm;
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- 8) Provision of on-site parking (non-residential) for up to 230 vehicles, open space and landscaping, and
- 9) A new residential development of up to 180 units together with associated parking for up to 190 vehicles, open space and landscaping).

- Granted on 28.06.2017

16/2086/FUL - Installation of temporary replacement 5m-wide right-of-way for Harlequin FC and emergency vehicles only (no use by construction traffic) for a limited period of 92 weeks.
– Granted on 30.11.2016

Planning Condition U15237 of the above planning permission requires *'the use of the temporary road shall cease after 94 weeks from the date of this decision notice or on the implementation of construction works for development within the College Development Zone pursuant to outline planning permission reference 15/3038/OUT whichever occurs first'*.

It has been submitted that the Temporary Right of Way granted under the above application would cease until the new permanent route is completed on site.

15/3038/DD09 – Details pursuant to conditions U08025 - Details of Foundations - Piling etc. (IN PART) & U08036 - Piling - Controlled Waters (IN PART) of Outline Permission 15/3038/OUT – Granted on 27.04.2018

15/3038/DD08 - Details pursuant to condition U08032 (Archaeology)(IN PART) of Outline Permission 15/3038/OUT – Granted on 18.10.2017

15/3038/DD07 - Details pursuant to condition - U08042 - site wide parking and servicing – Granted on 02.11.2017

15/3038/DD06 - Details pursuant to conditions U07957 - Sustainability Statements, U08011 - Construction Method Statement/Site Waste, U08012 - Construction Logistics Plan - TFL, U08015 - Construction and Environmental Management Plan & U08044 - Site Wide Energy Statement of outline permission 15/3038/OUT – Granted on 27.10.2017

15/3038/DD05 - Details pursuant to conditions U07943 - Ecological Enhancement Measures, U07950 - Drainage, U07982 - Air Quality Assessment, U07984 - Ventilation, U07993 - Kitchen Extract System - College - Odour, U08025 - Details of foundations - piling etc, U08033 - Potentially Contaminated Sites, U08035 - Foundation design - ground gases, U08041 - Site Wide Open Space/Landmark Framework, U08043 - Site Wide Drainage & Surface Water Mangt, U08049 - Tree Planting Scheme & U08050 - Landscape management (Large Scheme) of outline permission 15/3038/OUT – Granted on 08.02.2018

15/3038/DD04 - Details pursuant to conditions U07941 - External Illumination of buildings, U07945 - Solar Glare - A316, U07954 - BREEAM - Excellent - College, U07958 - Energy Statements, U07960 - Inclusive Access Strategy, U08038 - Secure by Design/CCTV, U08039 - Lighting Strategy, U08040 - Misc Details - Sample Panels, U07956 - Climate Change Adaptation - 35% CO2 & U08051 - Showers/lockers for cyclists - College of outline permission 15/3038/OUT – Granted on 27.10.2018

15/3038/DD03 - Details pursuant to conditions U07963 - People with disabilities - Non-residential, U07964 - People with disabilities - Parking, U07965 - Access for disabled people, U07974 - Marsh Farm Lane, U07980 - Junction details, U07996 - Phasing Condition, U08003 - Coach/mini-bus parking - College, U08009 - Decanting Strategy, U08010 - Advanced Infrastructure & Enabling Work, U08018 - Acoustic Screens, U08020 - Trees - Protective Fencing, U08022 - Arborist Method Statement (inc. TPP), U08023 - Site Monitoring Procedures and recording, U08034 - Japanese Knotweed, U08045 - Arboricultural Method Statement (AMS) & U08046 - Site Monitoring Procedures and Recording of outline permission 15/3038/OUT. – Granted on 21.03.2018

15/3038/DD02 - Details pursuant to condition U08032 (Archaeology) (IN PART) as relating to the Building Zone 1 of the College Development Zone of outline permission ref: 15/3038/OUT dated 16.08.2016. – Granted 10.05.2017

Whole Site

15/3038/OUT – Demolition of existing college buildings, site clearance and groundworks together with the redevelopment of the site to provide: 1) A new campus for education and enterprise purposes, comprising; Replacement College (Use Class D1) of up to 16,000sqm to accommodate up to 3,000 FTE day time students, as well as evening and weekend use; A Science, Technology, Engineering and Maths (STEM) Centre (D1 Use Class) of up to 6,100sqm. 2). A new Secondary School (D1 Use Class) of up to 7,000 sqm for up to 750

students; 3). A new Special Educational Needs (SEN) School (D1 Use Class) of up to 4,000sqm for up to 115 students; 4) A new ancillary 'Technical Hub' for Haymarket Media (B1 Use Class) of up to 1,700sqm; 5).Replacement on-site sports centre (D2 Use Class) of up to 3,900spm to serve both the college, schools and wider community; 6) The upgrading of existing Craneford Way East playing fields for use by the college, schools and local community; 7) Alterations to existing means of access for vehicles, pedestrians and cyclists from the A316 involving the creation of a signalised junction, alterations to the A316 footbridge and minor realignment of Langhorn Drive, alterations of existing vehicular access points on Egerton Road as well as the upgrading of Marsh Farm Lane footpath; 8) Provision of on-site parking (non-residential) for up to 230 vehicles, open space and landscaping and 9) A new residential development of up to 180 units together with associated parking for up to 190 vehicles, open space and landscaping. – Granted 16.08.2016

15/4456/FUL - Demolition of Richmond College buildings (Music, Science, Z, LRC and A blocks) – Granted 23.12.2015

Public and Other Representations

Environment Agency

19. No comments received at time of report writing

Transport for London

20. No comments as there are no records of traffic control equipment within the site

Network Rail

21. No comments as no records of any Network Rail owned apparatus or underground services within the site.

Trees

22. No objection

Ecology

23. Objections initially raised on lack of green roof and use of Persian ivy. No objections following replacement of Persian Ivy with Hedera Helix and an increase in green roof.

Policy

24. The amount of green roof needs to be increased on the roof.

Urban Design

25. Materials and design now acceptable following increase in green roof, amendments to increase glazing/active frontage at ground floor level and amendments to elevational design to create a landmark feature in accordance with the Design code.

Environmental Health – Air Quality

26. No comments at time of report writing

Transport

27. No objections

Lighting

28. No comments received at time of report writing

Drainage and SUDS:

29. No comments received at time of report writing

Neighbour and Other Responses

30. 4 Objections received from local residents. Comments summarised as follows:

- Object to the new access from Langhorn Drive
- Lack of parking for the residential units resulting in overspill
- New junction shall be for Dene Estate

31. 4 Observations received from local residents. Comments summarised as follows:

- Improvements to College site are welcome
- A new junction should also be provided at Rosebine Avenue to serve the Dene Estate
- Should introduce regular bus service to serve the area
- New residential units would increase overall number of people being exposed to aircraft noise from flight paths
- Too many residential units

Amendments

32. Amendments are as follows:

- Revised drawings received to reflect revised landscaping proposals to address comments raised by Tree and Ecology Officers
- Increase amount of green roof to 70% to comply with Design Code
- Elevational changes to accord with the requirement for a Landmark buildings (Design code) and amount of active frontage on ground floor level
- Amendments to hard landscaping so overall scheme/materials reflect the scheme submitted and approved under 16/4747/RES.

Neighbour reconsultation not undertaken as no material change to original scheme.

Professional Comments

33. This section is set out in headings to accord with the matters set out in Condition U08027 (College – Reserved Matters). The comments under each matter then follow the requirements of Condition U08031 – Compliance Report of the OPP. This is preceded by a section setting out how the Reserved Matters application responds to parts (i), (ii) and (iii) of Condition U08031.

Parts (i), (ii) and (iii) of Condition U08031 of the OPP are set out below:

No reserved Matters Application shall be submitted in relation to any Development Zone(s), or phase thereof, unless it is accompanied, as appropriate, by the following documents and/or information

i) a statement to demonstrate how the proposed development of a Development Zone, or phase thereof, is in accordance with the Phasing Programme;

ii) an explanatory statement detailing how the proposed quantum of land uses and scale of development proposed within the Development Zone, or phase thereof, are consistent with the limitations set in conditions nos: U07999, U08000, U08001, U08002, U08006 and U07931.

(Part (iii) is discussed in the next section)

34. These conditions are reproduced below only as they relate to the College Development Zone.

U07999 Approved Drawings

The development hereby permitted shall not be carried out unless in accordance with the approved Parameter Plans and documents, listed below, unless otherwise agreed in writing by the Local Planning Authority.

Parameter Plans:- PL01, PL02, PL03, PL09, PL16 received on 28 August 2015, PL04Rev A, PL05 Rev B, PL06 Rev A, PL07 Rev A, PL08 Rev A, PL10 Rev A, PL11 Rev A, PL12 Rev A, PL13 Rev A, PL14 Rev A and PL15 Rev A received on 13 January 2016, Development Specification prepared by CGMS received on 5 February 2016

Design Code Rev B prepared by HOK received on 3 March 2016

Detailed access drawings nos.; 30713/AC/40, 30713/AC/41 and 30713/AC/42 received on 28 August 2015, 30713/AC/038 Rev C received on 16 January 2016, Stage 1 Road Safety Audit received on 14 December 2015

35. Consistency of the Reserved Matters application to the approved drawings and documents of the OPP is set out below:

Approved Parameters Plans

36. *PL01 - Red Line Boundary Plan*

The site plan (Drawing LD PLN 010 C) demonstrates that all proposed works fall within the approved red line boundary established by parameter plan PL01.

37. *PL02 - Site Access Parameter Plan*

Whilst no details of access into this part of the College Development zone have been submitted under this application, the 'Proposed Masterplan Vehicular Access' (page 20) and 'Proposed Masterplan Pedestrian Access' (page 21) submitted in the Design and Access Statement demonstrates that vehicular access/egress to this part of the College Development Zone will be from Langhorn Drive and pedestrian access will be from Langhorn Drive and/or Marsh Farm Lane as well as the School given the shared use of the Sports Building. The proposed access points therefore remain consistent with those approved by the OPP as illustrated on parameter plan PL02.

38. As submitted under 16/4747/RES, no pedestrian and vehicle access to the College Development Zone will be gained from Egerton Road via the School Development Zone. This will continue to be the case and is controlled by planning condition.

39. This part of the College Development Zone is adjacent to the MUGA/play area for the School. The shared boundary comprises 2m-3.4m high black PPC galvanised steel weldmesh fencing with 2 access points to allow the School to use the shared Sports Building. These access points are consistent to the plans approved under 16/3293/RES.

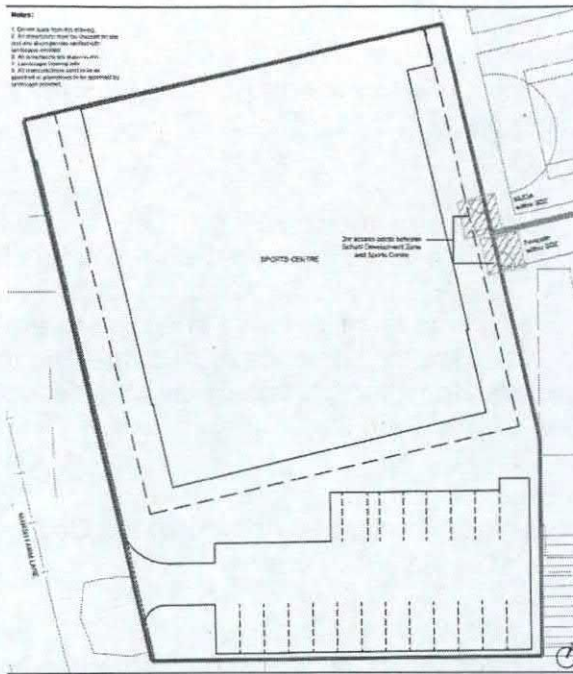


Figure 6: Extract from Drawing LD PLN 033A showing access points between the College and School Development Zones

- 40. *PL03 – Development Zones Parameter Plan*
As illustrated by Reserved Matters drawing reference LD PLN 032C, the proposed College building zone 3 and all facilities are located within the College Development Zone consistent with parameter plan PL03.
- 41. *PL04 Rev A –Building Zones Parameter Plan*
Parameter Plan PL04 Rev A, approved by the OPP, divides the OPP Developments Zones into Building Zones (or other such Zones), with three building zones identified in the College Development Zone. The Reserved Matters plans propose a single building within the identified Building Zone 3 in the College Development Zone which is consistent with parameter plan PL04 Rev A.
- 42. It is noted that the overall footprint of the building is smaller than the Building Zone 3 shown on the approved parameter plan. The table below shows a comparison dimension between that shown in the approved parameter plan and the current RM scheme in this part of the College DZ.

	Outline Planning (m)	Current Scheme (m)
Building Zone 3	Max/Min. Length = 53/38	Length = 40.7m
	Max/Min. Width = 39/35	Width = 37.5
	Max/Min. Height = 19/13	Height = 13.5

- 43. Building Zone 3 therefore complies with the dimensions shown on the approved parameter plan.

- 44. *PL05 Rev B – Building Zones Height Parameter Plan*
The proposed Sports building (Building zone 3) has a parapet height equivalent of 28.2m from 9.20m AOD (actual height 19m) and is therefore within the maximum 19m height permitted in Height Zone 8 consistent with parameter plan PL05 Rev B.
- 45. *PL06 Rev A – External Space Parameter Plan*
The proposed Sports building has a smaller footprint than Building Zone 3 shown in the parameter plans. This has resulted in the proposed external spaces being marginally different to those shown on Parameter Plan PL06 Rev A. However, it is important to note that the area to the south of Building Zone 3 refers to a predominately hard landscaped area with some soft landscaping allowing a degree of flexibility for future detailed submissions. As such the area to the south of the building is parking (lard surfaced) with some soft landscaping which complies with the submitted details complies.
- 46. *PL07 Rev A – College Building Zones Parameter Plan 1*
The Sports building proposed by this Reserved Matters application is sited within the College Building Zone 3 illustrated on the plan with the parameter plan PL07 Rev A.
- 47. *PL08 Rev A – College Building Zones Parameter Plan 2*
Parameter Plan PL08 Rev A sets out the maximum and minimum length, width and height for the College Building Zone 3. The Table above shows the overall height of the Sports building complies with the set dimensions.
- 48. Approved drawings PL09, PL10 Rev A, PL11 Rev A, PL12 Rev A, PL13 Rev A, PL14 Rev A, PL15 Rev A and PL16 are not relevant to the College Development Zone.

Approved Development Specification

- 49. This RM application relates to a part of College Development Zone comprising Building Zone 3 only. The main College Building (Building Zone 1) formed part of application 16/4747/RES and the STEM Building forms Building Zone 2 which will form part of a later submission.
- 50. The Development Specification describes and defines the principle components of the proposed development and the parameters that will inform the assessment of effects of the proposed development and provide a framework within which applications for the approval of reserved Matters for each element of the scheme will need to be sought. The document sets out the following specification for the College Development Zone:

Use	Maximum Floorspace (GEA)
<p>Within the College Development Zone</p> <ul style="list-style-type: none"> • Replacement College (Use Class D1) • STEM Building (Use Class D1) • Sports Centre (Use Class D2) 	<p>16,000 sq metres 6,100 sq metres 3,900 sq metres</p>
Sub Total	26,000 sq metres

- The replacement College to accommodate up to 3,400 FTE day time students as well as evening and weekend use. The facilities will operate autonomously during the academic day but, in accordance with the Heads of Terms for Community Use, will also be made available for community use on evenings, weekends and outside of term time. (Details of community

use do not form part of this RM application and is secured separately under the legal agreement to be read in conjunction with the OPP 15/3038/OUT)

- Provision of on-site non-residential parking for up to 231 vehicles, open space and landscaping (It is noted that a total of 70 on-site non-residential parking has been provided in the School Development Zone. As such up to 161 (231-70) on-site non-residential parking spaces can be provided within the College Development Zone and the Tech-Hub Development Zone). Notwithstanding this, it is noted that planning condition U08002 (Vehicle and Cycle Parking) of the OPP requires 150 parking spaces to be provided within the College Development Zone. 131 parking spaces including 6 disabled parking spaces have been provided as part of 16/4747/RES. Under 16/4747/RES it was calculated that the remaining 19 (150-131) parking spaces including 2 disabled parking spaces required for the College Development Zone will need to be provided in the remaining part of the College Development Zone. This application comprises 19 parking spaces (which includes 2 disabled parking spaces) and 1 mini bus parking space. As such the parking spaces have all been provided within the College Development Zone.

51. The proposed Sports building has a total floorspace of 3,091sqm GEA. This floorspace is within the maximum allowed for by the Development Specification for the Sport building. The College will provide for no more than 3,000 FTE day time students, no more than 500 evening time students and no more than 300 FTE staff (as per planning condition U07934 (Student & Staff Numbers/Hours – College) of the OPP which is within the range stated in the Development Specification.

52. As has been detailed above in this section, the Reserved Matters application is generally consistent with the approved Development Specification; the floorspace and number of pupils and staff do not exceed that as set out in the description of development of the OPP.

Design Code Rev B

53. The Design Code Rev B is intended to establish a design standard for the Masterplan and provide a robust framework for its development to ensure a high quality and contextually appropriate development. The document sets out a series of Design Guidelines that any future Reserved Matters Applications should follow unless there is a good and justified reason to depart from them. A Reserved Matters Application for the design of buildings and open spaces within a Development Zone in the Masterplan (within the Specified Parameters) would need to demonstrate how their design approach meets the Design Guidelines set out for that specific Development or Building Zone as well as for the places surrounding it. The Guidelines specific to the CDZ establish:

- *The College site should be provided with access via the A316 in order to minimise impacts on the existing neighbourhood. Pedestrian and cycle access to the College Development Zone should be possible from a number of directions via the A316 and Marsh Farm Lane. Vehicular access to the College Development Zone should incorporate access connections onto the site from the A316 via Langhorn Drive;*

54. Whilst no details of access/egress into this part of the College Development zone have been submitted under this application, the 'Proposed Masterplan Vehicular Access' (page 20) and 'Proposed Masterplan Pedestrian Access' (page 21) submitted in the Design and Access Statement demonstrates that vehicular access/egress to this part of the College Development Zone will be from Langhorn Drive and pedestrian access will be from Langhorn Drive and/or Marsh Farm Lane. The proposed access points therefore remain consistent with those approved by the OPP as illustrated on parameter plan PL02, the Development Specification and the Design Code.

- *The College Development Zone may incorporate several areas of car parking. These should be accessed from the A316, and should be provided to the north and north-west of the College Buildings. In total, the College [development zone] should have no more than 150 car parking places, including 8 accessible spaces and 1 minibus parking place.*

- 55. Parking spaces for this part of the College Development Zone are sited to the south of the Sports building. Whilst details of access have not been submitted under this application, proposed Masterplans as illustrated in the Design and Access Statement indicate that these are accessed from the A316 via Langhorn Drive. A total of 19 parking spaces including 2 disabled parking spaces and 1 mini bus parking space have been provided as part of this submission. There will be 3 no. of Electric Vehicle Charging Points sited to the north of the proposed parking area. All 150 parking spaces have now been provided across the CDZ.

- 56. 8 disabled parking spaces are required to be provided within the College DZ as secured under planning condition U07964 (People with Disabilities – Parking) of the OPP. 6 disabled parking bays were proposed under 16/4747/RES and this application comprises 2 disabled parking spaces. Between 16/4747/RES and the current application, this requirement has therefore been complied with.

- *The main entrances to the College Buildings should also be distinct and visible in order to assist in wayfinding and placemaking.*

- 57. The main entrances on the western and eastern elevations will be set back and be constructed of glazed entranced doors which is in contrast with the solid dark grey fibre cement panel. These are considered to create distinctive entrance features into the main College building.

- *The main entrances to the College building should be visible from the arrival point at the entrance area. The ground floors of buildings that front directly onto the Public Realm should be designed as Active Frontages wherever possible.*

- 58. The main entrances will be set back and be constructed in glazed doors in contrast with dark grey fibre cement panels. In addition, it has been submitted that there will be a signage panel adjacent to the entrances to add further distinction. This is considered to be distinctive entrance features that are clear and visible to users of the Sports building.

- 59. An active frontage has been provided on the main south and west elevations of the Sports building through the increase in glazed panels.

- *The College buildings should achieve the requirements for BREEAM Excellent for Further Education.*

- 60. The College building will achieve BREEAM Excellent for Further Education. No details have been submitted under this RM application. This has been secured by planning condition U07954 (BREEAM – Excellent – College) under the OPP.

- *College buildings should provide space standards appropriate to their context and intended use.*

61. It has been submitted that the Sports facilities have been designed to ensure maximum flexibility and ensure they are appropriate for a wide range of sports

- *The use of living roofs including green and brown roofs, on lower buildings should be encouraged and all buildings with a flat roof footprint larger than 110sqm should incorporate Living Roofs where practical; on such roofs the Living Roof should occupy 70% or more of the flat roof area unless reasonable justification can be provided.*

62. The roof contains a number of functional features such as photovoltaic panels, plant, vents and service risers. Areas of the surrounding roof are utilised to provide a green roof of 957sqm (70% of the area to the roof of the Sports building). The area of green roof has been maximised on the building.

- *In buildings where the rooftop is overlooked, rooftop plant may be concealed behind a raised parapet provided it is not higher than the top of the parapet. Any roof top plant that is higher than the parapet shall be located in solid or perforated enclosures; the height of the rooftop plant and enclosures for rooftop plant may project above the limit of the building zone they are located in (up to 2.5m);*

63. All roof top plant is located behind visual screening.

U08000 Gross Floorspace

Unless otherwise agreed in writing by the Local Planning Authority, the total quantum of built floorspace for each Development Zone shown on approved drawing no: PL03 shall be within the minimum and maximum levels as set out below:

<i>Development Zone</i>	<i>Use Class</i>	<i>Minimum Floorspace / sqm (GEA)</i>	<i>Maximum Floorspace / sqm (GEA)</i>
<i>College (Sports centre)</i>	<i>D2</i>	<i>2,900</i>	<i>3,900</i>

64. The Sports building has a total GEA of 3,091sqm so the total GEA complies.

U08001 Building heights

Unless otherwise agreed in writing by the Local Planning Authority, no part of a proposed building, with the exception of Rooftop Plant and Projections, within each Development Zone shall not be within the minimum and maximum storeys/metres above the relevant existing ground level as set out below:

<i>Development Zone</i>	<i>Building Height Zone</i>	<i>Minimum Height</i>	<i>Maximum Height</i>	<i>Maximum No. of Storeys</i>
<i>College</i>	<i>8</i>	<i>13.00</i>	<i>19.00</i>	<i>5</i>

** Heights indicated are measured in metres from a site AOD of 9.20m*

65. The maximum building height for the Sports building is 13.5m therefore complies.

U08002 Vehicle and Cycle Parking

Unless otherwise agreed in writing by the Local Planning Authority, the number of vehicle parking spaces (excluding coach/mini bus parking) and cycle parking spaces for each Development Zone shall be as set out below:

<i>Development Zone</i>	<i>Use</i>	<i>Vehicle Parking</i>	<i>No. of Cycle Parking Spaces</i>
<i>College</i>	<i>D1</i>	<i>150 (shared)</i>	<i>75 staff (long stay) 150 students (long stay) 428 students (short stay)</i>
<i>College</i>	<i>D2</i>	<i>150 (shared)</i>	<i>40 sports centre visitor (short stay)</i>

66. The Reserved Matters application for this part of the College Development Zone includes:
- a total of 19 vehicle parking spaces (including 2 parking spaces for people with disabilities)
 - 1 mini bus parking space,
 - a total of 40 cycle parking spaces (short stay)

If the 1 no. mini bus parking space is included as the overall parking provision across the College DZ, there will be an overprovision of 1 parking space. However, given the extra parking space is solely for mini bus parking, to cater for the needs arising from sports teams etc and the site is able to accommodate the additional parking space without compromising on quality soft landscaping scheme. As such, it is considered an exception could be considered acceptable to cater for the needs that will arise from the sports use.

67. The Reserved Matters application therefore broadly complies with Condition U08002 of the OPP.

U08006 Residential Mix

127. Not applicable to the College Development Zone

U07931 Specific Use

Unless otherwise agreed in writing by the Local Planning Authority, no Development Zone or building within each Development Zone shall be used other than for the specified purposes or ancillary uses as listed below, whether or not within a Use Class as specified in the schedule to the Town and Country Planning (Use Classes) Order 1987, or in any provision revoking or re-enacting that order.

<i>Development Zone</i>	<i>Use Class</i>	<i>Specified Purpose</i>	<i>Ancillary Uses</i>
<i>College</i>	<i>D1</i>	<i>Education – College and Stem Building</i>	<i>Restaurant, Fitness Centre, Hair and Beauty salons, Halls for Hire</i>
<i>*Not applicable to this application which relates to the main College building only</i>			
<i>College*</i>	<i>D2*</i>	<i>Sports Halls – College and Schools</i>	<i>Community Sports Hall</i>

68. This application relates to the Sports building only (Building Zone 3). It contains a single building in D2 use.

69. The Reserved Matters application therefore complies with **Condition U07931** of the OPP.

iii) an explanatory statement detailing how the proposed development of a Development Zone, or phase thereof, addresses the mitigation measures outlined in the Environmental Statement and Environmental Statement Addendum

70. An explanatory statement has been submitted in the Compliance Report. In summary:

Transport

71. Increased trip/vehicle generation during demolition and construction is controlled by OPP conditions; increase in vehicle trips, bus trips and traffic flows during operation are mitigated by a Framework Travel Plan, CDZ Travel Plan and a new A316/Langhorn Drive junction all secured by the s106 legal agreement of the OPP (including a review of buses).

Noise

72. Increased noise resulting during the demolition, site enabling and construction works will be mitigated by conditions in the OPP.

Air Quality

73. Increased dust and vehicle emissions during the demolition, site enabling and construction works will be mitigated by conditions in the OPP. The OPP Environmental Statement (ES) identified mitigation measures during operation of the College including enhanced pedestrian and cycling provision. Satisfactory cycle parking and shower/changing facilities have been provided for staff and students. The shower and changing facilities for staff and students are located at ground, 3rd and 4th floors as shown on the submitted plans.

Ground Conditions

74. During site enabling, demolition and construction works mitigation measures suggested by the OPP ES include protection of construction workers and foundation designed to incorporate measures to prevent gas ingress., which is secured by planning condition in the OPP.

75. Ground instability impacts could be mitigated in the design and specification process including the specification of resistant materials.

Water Resources and Flood Risk

76. During the site enabling, demolition and construction process, the ES identified potential impacts on existing drainage systems and water supply networks, ground water, surface water – rivers, water quality and hydromorphology. It identified the implementation of a Sustainable Drainage Strategy and measures to be included in Construction Management Plan and a Construction Environmental Management Plan. All of these documents/measures have been secured by conditions in the OPP.

Ecology

77. Site enabling, demolition and construction is likely to have adverse to significant adverse effects at borough wide scale and moderate adverse effect for the impacts associated with sediment and pollutant run-off on the River Crane at St Margarets and the Duke of Northumberland River Borough II SINCs. The ES identified suitable mitigation as incorporating best practise measuring including use of spill kits and sediment barriers which has been secured by conditions in the OPP.

78. Issues relating to non-designated habitats include the loss of scattered trees. The ES proposes the replanting of approx. 300 native trees as part of the site-wide landscaping plans. This application comprises the planting of 3 trees to contribute towards this. (It is

noted that the School DZ includes the planting of 66 new trees and the Main College Building comprises the planting of 25 new trees as such the remaining parts of the whole site will need to include 209 new trees). The 3 new trees within this part of the College DZ are sited to the south the Sports building adjacent to the parking area.

79. The ES identified the proposed development will have minor adverse effect on bats particularly along the northern and western site boundary. It is noted that additional planting has been proposed along the northern boundary of the main college building (16/4747/RES). Additional mitigation measures including minimise light spill and maintaining periods of darkness to be included in the Construction Management Plan, which has been secured by condition in the OPP.
80. Under this RM submission, it has been submitted that during operation, light spill has been minimised and external lighting will be switched off when the College is not in use. The curfew is proposed to be set between 23.00-0700; the same as the Schools RM permission.
81. The external lighting will also be linked to a PIR (Passive InfraRed) perimeter system which will activate the car-park and pathway lighting to aid the CCTV system and enable route through the site if motion is detected by the sensors. The lighting will switch off when no further activity is detected.
82. Controlling construction noise is the proposed measure for noise influencing breeding birds which should be included in the CMP, which has been secured via condition in the OPP.

Cultural Heritage

83. The ES identified potentially minor adverse impact on Archaeology during site enabling, demolition and construction process.
84. This is secured by condition U08032 (Archaeology) by the OPP.

Socio-Economics

85. During site enabling, demolition and construction works, the ES indicates 'considered development programming' to include the use and location of machinery should be used to mitigate the minor adverse effect of on-site activities and these will form part of materials to be submitted to discharge the relevant conditions in the OPP.
86. The ES also identifies a minor to moderate adverse effect in relation to open space. The development as a whole is providing financial contribution towards open space which has been secured via the legal agreement associated with the OPP.

Environmental Statement Addendum

87. An addendum was submitted after changes were made to the parameter plans resulting in a reduction in the maximum heights. The changes resulted in a reduction in the maximum height of the main College building by 3.55m (north section) and 4.5m (west section). The Addendum concluded this would have a positive impact on the conclusions set out in the REEC Environmental Statement (ES) on the following topics:
- Townscape and Visual Amenity
 - Daylight Sunlight and Overshadowing
 - Water Resources and Flood Risk
 - Ecology
88. Following on from the above, the following section review the matters set out in condition U08026 (College - Reserved Matters) of the OPP. The comments under each matter follow the requirements of condition U08031 (Compliance Report) of the OPP.

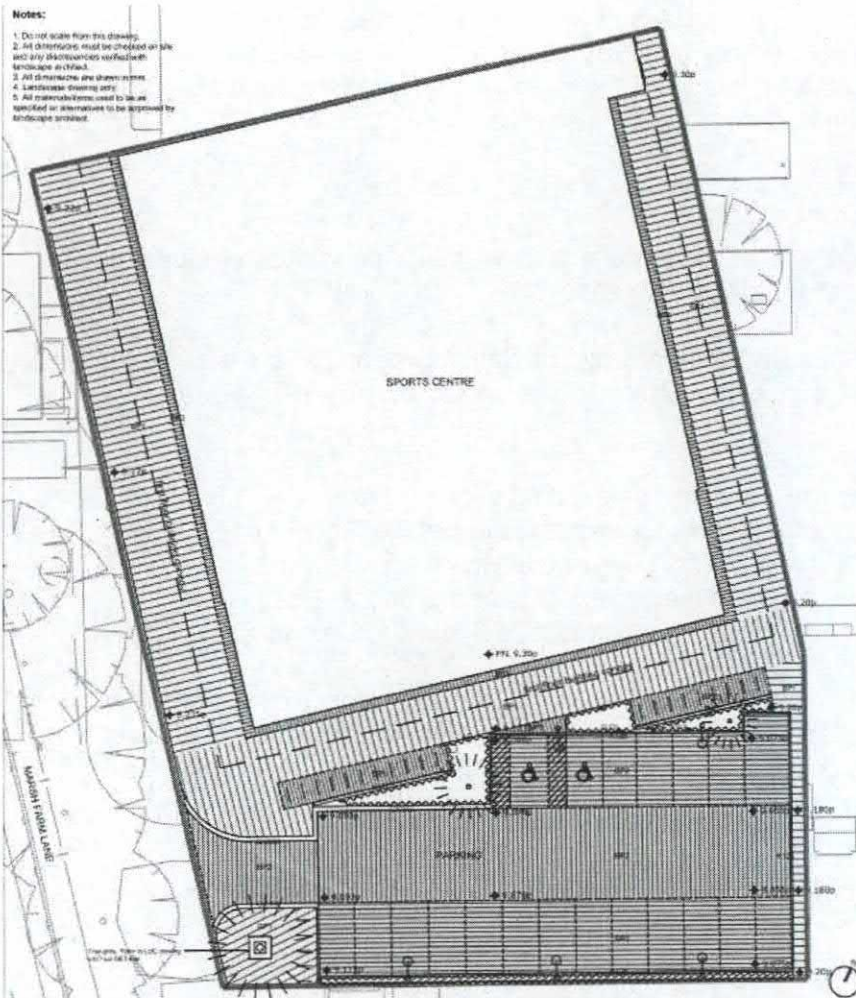


Figure 7: Extract from Submitted Drawing LD PLN 231D

The LAYOUT of buildings above and below ground level and associated roads, routes and open space

a) a report and plans detailing the layout of the proposed building or buildings and any relevant roads, pedestrian and cycle routes, parking and servicing areas and the detailed layout of open spaces within a Development Zone, or phase thereof, to which the Reserved Matters Application relates

89. The OPP included a number of approved parameter plans against which the development was assessed. It is important that the proposals comply with these approved parameter plans such that all assessments made in determining the OPP remain valid for the Reserved Matters application.
90. In regard to the matter of Layout, of particular relevance are the approved parameter plans reference:
- PL-02 Site Access Parameter Plan
 - PL-03 Development Zones Parameter Plan
 - PL-04 Building Zone Parameter Plan
 - PL06 Rev A External Space Parameter Plan
 - PL07 Rev A College Development Zone Building Zone Parameter Plan 1

91. The proposed Sports building has a smaller footprint than the building shown in the parameter plans. This has resulted in an increase in external spaces, which is slightly different to those shown on Parameter Plan PL06 Rev A. However, it is important to note that the parameter plan refers to 'predominately' for the hard landscaping as such a degree of flexibility is therefore built in for future detailed submissions.
92. The main changes from the parameter plan PL06 Rev A are provided below:
- Reduced footprint of Building Zone 3
 - Increase in hardsurfacing along the southern, eastern and western perimeter of Building zone 3 (arising from reduction of footprint of Building zone 3)
93. We consider that the changes to this part of the College development zone result in an overall improvement to the external space compared to the space proposed by Parameter Plan PL06 Rev A.
- b) a reconciliation plan showing how the proposed detailed layout of the roads, pedestrian and cycle routes, parking and servicing areas and the detailed layout of open spaces within a Development Zone, or phase thereof, to which the Reserved Matters Application relates are consistent with the parameters and principles for the layout of the wider development set out in condition nos U07999 and the Design Code,*
94. The masterplans in the Design and Access Statement demonstrate that vehicular access/egress to this part of the College Development Zone will be from Langhorn Drive and pedestrian access will be from Langhorn Drive and/or Marsh Farm Lane. The proposed access points therefore remain consistent with those approved by the OPP as illustrated on parameter plan PL02 and the Design Code.
- c) a report and plans detailing the internal layout of any buildings within a particular Development Zone, or phase thereof, and, in the case of the Schools and College Development Zones, an explanatory statement demonstrating that the individual educational buildings have been designed to meet government baseline design guidance including minimum floor areas of teaching, ancillary and external spaces*
95. The submitted plans show that the Sports building has been arranged and designed such that the necessary sports facilities that can be accessed/used separately by both the College and School as well as community users, meeting each user requirements. It comprises a sports hall, activity studio, fitness gym, sports massage/Lab, changing rooms and associated office space. The sports hall has been designed with appropriate acoustic separation so it can be used for exams during exam periods. The activity studio has been designed as multipurpose space for dance, PE and drama to cater for School requirements. The fitness gym and sports massage/Lab has been designed for College use.
96. The applicant has confirmed that the Sports building is not fully compliant with Sport's England's latest standards. The key areas of non-compliance are:
- Size of sports hall
 - sports hall size 33m x 18m which does not comply with new dimension of 34.5m x 20m. Minimum height of 7.5m is being achieved.
 - College has confirmed the proposed sports hall delivers the needs of both College and School curricula and does not impact use for any sporting activity
 - A increase in foot print is not achievable without non-compliance with the approved parameter plans.
 - Changing accommodation and shower quantities

- Sports England recommend one shower point to every six changing places.
- the high shower/changing room ratio is not required by College/School.

- Wash down facilities

- Due to the range of activities based in the Sports building, not all changing spaces require full wash down facilities as recommended by Sports England.

It has been submitted that whilst the scheme is not fully compliant with Sport England's latest standards, this does not limit the capacity of the Sports Facility to deliver the college and school's curriculum and does not impact on the community uses.

d) a report and plans detailing any layout below ground level

97. The proposed sports building does not have any levels below ground level.

e) a report and plans demonstrating how the building and its associated external spaces, both public, shared and private, have been designed to accord with the principles of maximum access, including step-free entrances, and inclusive design asset out in the Design Code and Mayors' Accessible London' Supplementary Planning Guidance

98. The Design and Access Statement states that the Sports Building has been designed to reflect the principles of maximum access and pedestrian first environment.

99. All new pedestrian routes will be of sufficient width to allow wheelchair users to pass each other travelling in an opposite direction. Where pedestrian routes cross vehicular areas, they will have clearly defined edges with tactile paving where appropriate.

100. All disabled parking bays will be demarcated with yellow blocks and step free access to the footway.

f) Only of relevance to the Residential Development Zone.

g) Only of relevance to the Residential Development Zone.

The SCALE of buildings

"and in relation to the matter of scale, a Reserved Matters Application shall include:

a) a statement (including accompanying design material) to demonstrate that the scale of the development is consistent with the Parameter Plans and Design Code"

101. In regard to the matter of Scale, of particular relevance are the approved parameter plans reference:

- PL-05 Rev B Building Zones Height Parameter Plan
- PL-07 Rev A College Development Zone Building Zones Parameter Plan 1
- PL-08 Rev A College Development Zone Building Zones Parameter Plan 2

102. Approved Plan PL-05 Rev B identifies that the Sports building is subject to Height Zone 8 which has a maximum height of up to 19m. It is important to note that the approved plan specifies that "Height figures indicate maximum height to top of roof parapet or eaves."

103. The proposed Sports building has a parapet height of 13.5m AOD as measured from the ground level of 9m AOD.

104. Approved Parameter Plan PL-08 Rev A sets out the maximum and minimum length, width and height for the College Building Zone 1 as per the table below:

	Maximum	Minimum
Height	19m*	13m*
Length	53m	38m
Width	39m	35m

height figures indicate maximum height to top of roof parapets or eaves. Heights indicated as AOD based on a typical site level of 9.00 AOD.

105. The proposed College Building Zone 3 has a length of 40.7m, width of 37.5m and a proposed parapet height equivalent of 13.5m.
106. The proposed Sports Building is therefore consistent with parameter plan PL08 Rev A.

The APPEARANCE of the buildings

and in relation to the matter of appearance, a Reserved Matters Application shall include:

a) plans, drawings, sections, elevations and photomontages to explain in full detail the massing, design and materials to be used on all external surfaces, fenestration (including framing and glazing details), balconies/roof terraces/winter gardens, canopies, entrances, porches, cladding systems, renewables technologies, Rooftop Plant, flues, vents, lift overruns and signage, podium parking, and, where practicable, samples shall be provided and

107. A full set of drawings have been submitted under this application to comply with the requirement as set out above.
108. The building will be clad predominantly in insulated metal panel and perforated metal panel in painted champagne metallic finish with vertical mullions. The recessed ground floor will be clad in dark grey fibre cement panels with glazed panels for entrances and to address the requirement for active frontages. Lighting has been proposed behind the perforated panels to create a landmark feature. It has been submitted that the Sports Building has been designed to create a floating box with recessed ground floor.
109. The submitted roof plan shows the location of proposed plant, vents and photovoltaic panels. No screens have been proposed as the roof level has been designed to be sunken so the external walls of the proposed building will screen all roof top plant, as illustrated in screen shot below:

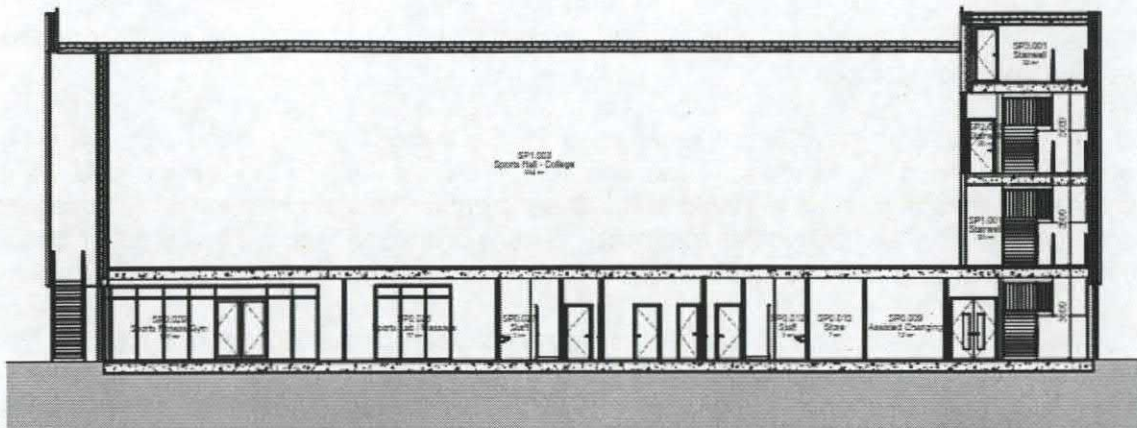


Figure 8: Extract from drawing 5137894-ATK-SP-ZZ-DR-A-301 – General Arrangement Section C

A green roof area measures 957sqm (70% of the area to the roof of the Sports building).

“b) a statement (including accompanying design and materials) to demonstrate the selection of materials accords with the Design Code”

- 110. The Design Code Rev B states that materials should be of high quality, durable and resilient, chosen to complement each other and their use should provide continuity between different places within the redevelopment and within the existing context. Where buildings are not intended to stand out this should be reflected in the choice of colour and material.
- 111. The Design and Access Statement sets out the materials for the proposed Sports Building. The primary façade material will be insulated metal panel and perforated metal panel in painted champagne metallic finish with vertical mullions.
- 112. The use of neutral palette of material combined with the contemporary design approach for the Sports building is considered appropriate in this location.
- 113. The scheme has been reviewed by Urban Design Officer and is considered to be of high quality to satisfy the guidelines set out in the design code.

c) an external illumination or lighting strategy for a building

- 114. An External Lighting Statement and associated plans have been submitted which provides an assessment of the equipment layout and detail illumination calculations. It has been submitted that the luminaires are predominantly LED. Car park lighting will be the same luminaire as proposed within earlier College application comprising Building Zone 1, which are mounted at 6m. The cycle bays will be illuminated from the rear spill of car park luminaires as well as the recessed lighting to be install within the overhang of the Sports Building. Details of external illumination will be discharged via planning conditions U07941 (External Illumination of Buildings) and U08039 (Lighting Strategy) of the OPP.
- 115. It has been submitted that the exterior lighting has been developed in accordance with best practise guidance BS EN 12464-2 Lighting of Outdoor Work Places. The external lighting will be switched off when the College is not in use. The curfew is proposed to be set between 23.00-0700; the same as the Schools RM permission.

116. The external lighting will also be linked to a PIR (Passive InfraRed) perimeter system which will activate the car-park and pathway lighting to aid the CCTV system and enable route through the site if motion is detected by the sensors. The lighting will switch off when no further activity is detected.

117. Whilst no comments have been received from Council's Lighting Engineer, given lighting details have been conditioned under the OPP and is still to be discharged, it is not considered reasonable to withhold the assessment of this application. With regards to design, given the use of similar luminaire as that proposed within part of the College DZ comprising Building zone 1, no objections have been raised by Urban Design Officer.

d) a statement to demonstrate how the siting and design of a building or townscape element serves a prominent role as a distinguishing feature, focal point, landmark or wayfinder for that Development Zone and/or the College site

118. The DAS states that the siting and design of the Sports Building has been designed to articulate a simple building form and respond to the surrounding context.

119. The use of perforated metal panel and back lighting creates a landmark feature in this location.

e) a statement to demonstrate how the siting and design of a building has incorporated active frontages, including shared amenity spill out areas in the College Development Zone, to engage with the public realm and promote activity and security

120. The Design Code Rev B specifies that active frontages should consist of the following:

- Frequent doors and windows with few blank walls;
- Articulated facades with bays and porches;
- Lively internal uses visible from the outside, or spilling onto the street; and
- Activity node – concentration of activity at a particular point.

121. The southern and western elevations of the Sports building elevations contain frequent and regular fenestration. The main entrances are defined by glazed doors and a signage panel which is a direct response to the Design Code creating easily identifiable and prominent entrances to the building. In addition, the Sports Fitness Gym and Activity Studio on the ground floor benefits from extensive glazed panels on southern, western and eastern elevations which enables any internal use to be visible from the outside.

"f) a statement demonstrating how the design of the buildings within the Residential Development Zone have adopted the principle of Tenure Blind"
Not relevant to the College Development Zone

"g) any Taller Building should be accompanied by a full design justification based on a comprehensive townscape appraisal"

122. The Local Plan (2018) has defined a tall building as a building defined as 18 metres in height or higher (approximately six storeys or above). It is noted that the height of the Sports building has already been established under the OPP and is designed to be 13.5m in height as such no further design justification is required in this regard.

LANDSCAPING

and in relation to the matter of landscaping, a Reserved Matters Application shall include:

a) full details, including plans, drawings, elevations and specifications, of both hard and soft landscaping works, these details shall include all ecological enhancements measures including stag beetle loggeries, planting of native species, creation of ecology corridors (2 metre wide minimum), proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and roads/other circulation areas; school playgrounds and other outside spaces, hard surfacing materials; minor artifacts and structures (e.g. street furniture, street lighting, public art, play equipment, ecological information boards, fences, walls, gates, screens, tree pit grilles, canopies, seating, resting benches, litter bins, refuse or other storage units, signs (including cycle routes and parking), lighting etc.); proposed and existing utility services above and below ground (e.g. drainage, power, communications cables, pipelines etc, indicating lines, manholes, supports etc); retained historic landscape features and proposals for restoration, where relevant; and a program or timetable of the proposed works.

123. A full set of hard and soft landscaping drawings and Landscape Management Plan have been submitted under this RM application however details of stag beetles loggeries, minor artifacts and structures including street furniture, public art, litter bins, signs remain outstanding. It is noted that details of bat and bird boxes, stag beetle loggeries, green corridors, brown and green roofs, green fences and other ecological enhancements have separately been secured by condition U07943 (Ecological Enhancement Measures) of the OPP. This application relates to a part of College Development Zone only as such only details within the RM application site has been submitted. As such, the application's submission only allows for landscaping and layout to be in part agreed.
124. The hard and soft landscaping details to the car park area have been submitted, the details indicate the car park will be paved in impermeable light grey block paving (Cornish colour) with parking bays delineated with dark grey block paving, reflecting the same materials used in the College DZ approved under 16/4747/RES (comprising Building Zone 1). 2 no. trees with ground cover will be planted along the northern boundary of the car park with 1 no. tree and ground cover along the southern boundary. This is acceptable as the soft landscaping will soften a predominantly hard surfaced area and no objections raised by the Ecology Officer.
125. The vehicular access to the east will be in light grey (Cornish) impermeable block paving with the parking bays delineated in dark grey blocks, which reflects that used in both the College and School Development Zones. It is noted that the disabled parking bays will be marked and delineated in yellow blocks.
126. Pedestrian footpath around the perimeter of the building will be in light grey impermeable block paving, which also reflects that used in both the College and School Development Zones.
127. The submitted External Material and Furniture Schedule provides full details of the materials and street furniture to be used across this part of the College DZ.
128. No site boundary treatment has been submitted. The site adjoins the western boundary to the School DZ as such additional boundary treatment is not considered necessary for this part of the College DZ.
129. A Landscape Management Plan has been submitted which sets out the guidelines for the first 7 years of maintenance following installation of the hard and soft landscaping. This has been reviewed by the Council's Ecology Officer and is considered acceptable.

130. Details of drainage have been provided. It has been submitted that as all external surfaces within this part of the College DZ will be impermeable, the runoff will be collected from external areas via a series of gullies tailored to the site features and constraints. All surfaces have been designed to transfer surface water laterally into the adjacent gullies. Run-off collected by the gullies will be retained in the shared attenuation tank, then conveyed by the surface water pipe network installed as part of the earlier phase of the college DZ to the Thames Water sewer.
131. Runoff from roofs will be collected from the building rainwater downpipes (RWP) via the central surface water network, and conveyed to the shared attenuation tank before being discharged into the northern Thames Water network. Use of green roof will help reduce both the long-term volumetric run-off and the peak discharge rate. The attenuation tank will hold 450m³ and will be located beneath the parking area immediately to the west of the main College building. Discharge to TW surface water sewer will at a runoff rate 5 l/s via a vortex control system.
132. Foulwater is expected to discharge directly via a gravity fed/pumping solution to local Thames Water foul sewer network at 6.2l/s. It has been submitted that the pumping station will be located underground to the south of the Sports Centre car park, which do not form part of the RM application. It is noted that details of Drainage and site-wide drainage is secured by condition.
133. The submitted drainage details have been reviewed by Council's Drainage Officer and is considered acceptable.
134. An Ecological Enhancement Report has been submitted stating no bird boxes will be installed within this part of the College DZ as the site is adjacent to Marsh Farm Lane, which provides more favourable habitat and provision for bird boxes will be made in within Marsh Farm Lane and in the College Playing Field DZ. No objections have been raised by the Ecology Officer.
135. 1 bat box has been proposed to be installed on the north western corner of the Sports building, facing Marsh Farm Lane corridor. Information obtained from the bat surveys carried out to support the outline application suggests that the majority of bat activity is associated with the River Crane and Duke of Northumberland's River, around the grassland habitats to the north and south of the college, alongside Challenge Court and along peripheral habitats. The upgrade of the Marsh Farm Lane corridor in a future phase of development in the College Development Zone will enhance the habitat and foraging opportunities for bat species. The bat box on the Sports Building is located complement this enhancement. The siting and details have been reviewed by the Ecology Officer and are considered acceptable.
- b) Where within the Root Protection Area of retained trees hard landscape design, small structure installation and service installation should be formulated in accordance with section 7.4, 7.5 and 7.7 of British Standard 5837:2012 Trees in relation to design, demolition and construction - Recommendations.*
136. This is for compliance only and there are no trees in or in close proximity to this part of the College DZ.
- c) Soft landscape works shall include planting plans, written specifications (including cultivation and other operations associated with plant and grass establishment); the specification is to include details of the quantity, size, species, position, planting methodology, proposed time of planting and anticipated routine maintenance of all trees*

to be planted. Any proposed tree planting should be undertaken in accordance with section 5.6 of British Standard 5837:2012 Trees in relation to design, demolition and construction - Recommendations.

137. The planting is located to the perimeter of the car park area to the Sports Building to soften the edges and appearance.
138. The soft landscaping details have been reviewed by the Urban Design, Tree and Ecology Officers and are considered acceptable.
- d) All tree/plant/shrub planting included within the approved specification shall be carried out in accordance with that specification and in accordance with BS3936:1986 (parts 1, 1992, Nursery Stock, Specification for trees and shrubs, and 4, 1984, Specification for forest trees); BS 4043: 1989, Transplanting root-balled trees; and BS 4428:1989, Code of practice for general landscape operations (excluding hard surfaces).*
139. The landscape plans contain the specification of typical tree/plant/shrub planting details in accordance with BS 3936:1986 (parts 1 and 4) and 4428:1989 'Code of Practice for General Landscape Operations'. BS 4043:1989 has been withdrawn in 2014.
- e) Specification for anticipated surface changes between Development Zones and the size, type and appearance of all paving or other hard surfaces within the particular Development Zone, or phase thereof.*
140. In view of siting of the Sports Building the anticipated surface changes would be between this part of the College DZ and Marsh Farm Lane. As such these details are expected to be submitted in later submissions.
- f) Details of proposed green or brown roofs including detailed specifications and a supporting explanatory statement to demonstrate the anticipated distribution of green or brown roofs within a particular Development Zone, or phase thereof*
141. Policy LP17 seeks the provision of 70% coverage of any potential roof plate (excluding non-living roof solutions such as air conditioning units). This requirement is reflected in the Design Code.
142. The area of green roof proposed is 957sqm which represents 70% of total useable roof space. The green roof will be created using Bauder's XF118 Wildflower Blanket, a wildflower blanket system which consists of a mixture of up to 24 species of wildflower and herbs. Details of the green roof is considered acceptable and no objections have been raised by Policy and Ecology Officer.
- g) All hard and soft landscape works shall be carried out in accordance with the approved details and in any event prior to the commencement of occupation/use of the land and buildings*

This is controlled by a recommended condition.

Recommendation

Approve subject to the following conditions and informatives:

Standard Conditions

DV48 - Approved drawings

Compliance Statement, Design and Access Statement, Drainage Strategy, External Lighting Statement, External Materials and Furniture Schedule, Drawings 5137894-ATK-SP-00-DR-A-0001, 5137894-ATK-SP-00-DR-A-002, 5137894-ATK-SP-00-DR-A-1000, 5137894-ATK-SP-01-DR-A-1001, 5137894-ATK-SP-02-DR-A-1002, 5137894-ATK-SP-ZZ-DR-A-2000, 5137894-ATK-SP-ZZ-DR-A-2100, 5137894-ATK-SP-ZZ-DR-A-2101, 5137894-ATK-SP-ZZ-DR-A-2500, 5137894-ATK-SP-ZZ-DR-A-2600, 5137894-ATK-SP-ZZ-DR-A-3000, 5137894-ATK-SP-ZZ-DR-A-3001, 5137894-ATK-SP-ZZ-DR-A-3100, 5137894-ATK-SP-ZZ-DR-A-6000, LD DET 632 A, LD LET 631 A, LD LET 633 A, LD PLN 030 A, LD PLN 031 A received on 13 June 2017

Drawing LD DET 634 Rev B received on 16 November 2017

Drawing LD PLN 032 Rev C, LD PLN 033A received on 6 February 2018

Ecological Enhancement Report, Landscape Management Plan Version 5, Drawings 5137894-ATK-SP-22-DR-A-2001 Rev P-1, 5137894-ATK-SP-04-DR-A-1003 Rev P01, LD PLN431 Rev D received on 10 April 2018

Drawing LD PLN 231 Rev D received on 5 September 2018

DV11 - Use of roof restricted

The roof of the building shall not be used for any purpose other than as a means of escape in emergency or for maintenance of the building. REASON: To safeguard the amenities of the adjoining premises and the area generally.

NS01 - Materials

The materials for the sports building shall be constructed in accordance with details shown on the approved drawings unless otherwise agreed in writing by the Local Planning Authority. REASON: To accord with the terms of the application, for the avoidance of doubt and in the interests of proper planning.

NS02 - Cycle Parking Management

Prior to occupation of the Sports building a Cycle Parking Management Plan shall be submitted to and approved in writing by the Local Planning Authority and shall show location and details of cycle parking spaces for students, staff and visitors.

REASON: To ensure all users of the College Development Zone have access to facilities which encourage travel by sustainable modes of transport.

NS03 - Parking for People with Disabilities

Prior to occupation of the sports building hereby approved details shall be submitted to and be approved in writing by the Local Planning Authority demonstrating how the accessible car parking bays shall be managed such that they are available for use at all times outside of College closing times and by all users of the College Development Zone. REASON: To ensure inclusive access of the site for all users.

NS04 - Bat Box

Use of the 1 no. bat box hereby approved shall be monitored for a period of two years following installation and evidence of use of the bat box shall be submitted to the Local Planning Authority for review. If following such monitoring and review it is determined that the bat box has not been used, it shall be relocated within three (3) months to a new location within the College Development Zone to be submitted and approved in writing by the Local Planning Authority. REASON: To ensure the implementation of ecological enhancement measures in the interests of ecology and proper planning.

- NS05 - Registration of Construction Vehicles
All on-site construction vehicles and equipment must be registered on the Non-Road Mobile Machinery website prior to their first use at the site. REASON: To keep additional NO2 to a minimum in this AQMA.
- NS06 - Waste/Recycling Management Strategy
Prior to the use of the Sports building, a Waste Management Strategy detailing how waste and recycling will be managed, separated and collected from the bin store area for the College Development Zone having regard to the Refuse and Recycling Storage Requirements SPD (2015) is to be submitted to and approved in writing by the Local Planning Authority and thereafter the approved Strategy shall be implemented. REASON: To maximise recycling and ensure proper management of waste for reasons of sustainability.
- NS07 - Cycle Parking
Prior to the first use of the sports building the cycle parking shall be installed in accordance with drawings hereby approved and be retained thereafter. REASON: To ensure a sustainable form of development.
- NS08 - Illumination of the Sports Building
The Sports building shall at no time be illuminated as a night time feature building.
REASON: The building is not a landmark element of the OPP and to protect the amenity of nearby residents.
- NS09 - Landscaping
The hard and soft landscaping details shall be installed in accordance with the details hereby approved prior to the first use of the Sports building. If within a period of 5 years from the date of planting of any tree/plant/shrub or any tree/plant/shrub planted in replacement for it, is removed, uprooted, destroyed or dies (or becomes in the opinion of the local planning authority seriously damaged or defective), another tree/plant/shrub of the same species and size originally planted shall be planted at the same place in the next planting season unless otherwise agreed in writing with the local planning authority. REASON: To safeguard the amenities of neighbouring occupiers and to ensure that the proposed development does not prejudice the appearance of the locality.

Standard Informatives

- COMHO6 - Composite Informatives
IL26A - NPPF Approval

Non-Standard Informatives

- NI01 - Advertisements
A separate Consent for the display of advertisements on the premises will be required.
- NI02 - OPP compliance
The conditions and informatives set out in Planning Application 15/3038/OUT remain in force. Approval of Reserved Matters does not constitute the discharge of any relevant planning conditions set out in the outline planning permission.
- NI03 - Legal Agreement
The legal agreement associated with the outline permission 15/3038/OUT shall be read in conjunction with this permission.

NI04 - Network Rail

If, in connection with your investigations and/or work, you become aware of Network Rail apparatus or underground services within your area of work, please ensure Network Rail is notified as a matter of urgency so that appropriate measures for avoidance of risk and damage can be put in place.