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 Site Boundary

Site Area: 14350 m2



Revision description	Date	Check	Rev
Revision of Fleming Lodge	18/12/18	GH	A

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 248 Ferndale Road, London SW9 8FR
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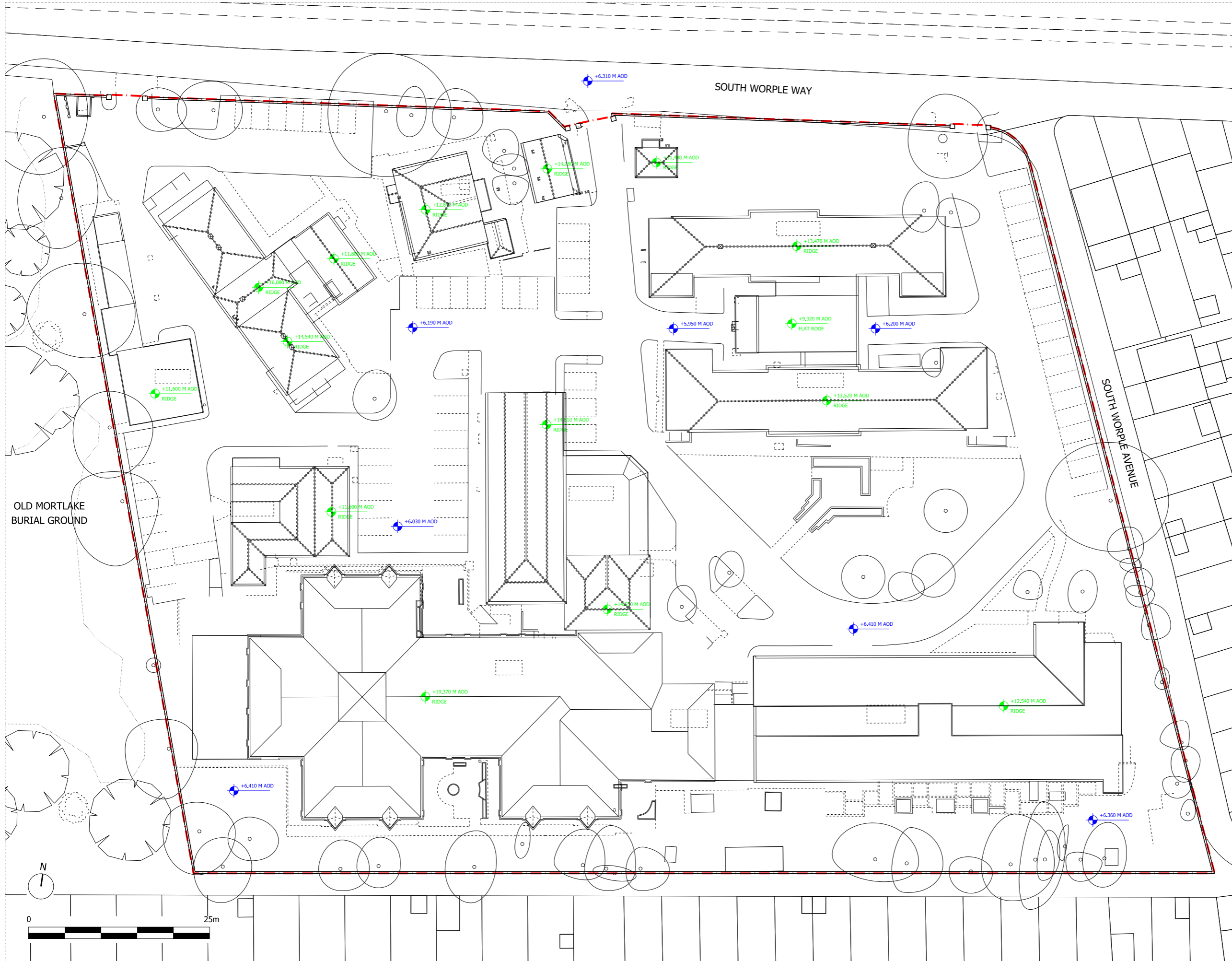
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Project
Barnes Hospital
South Worple Way
Barnes, SW14 8SU

Drawing
Site Location Plan

Drawn	Date	Scale
SSI	18/12/2018	1: 1250@A1 1: 2500@A3
Job number	Drawing number	Revision
18002	C645_P_00_001	A





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- - - Site Boundary
- ◆ Ground Level
- ◆ Building Level

OLD MORTLAKE BURIAL GROUND

SOUTH WORPLE WAY

SOUTH WORPLE AVENUE

Revision description	Date	Check	Rev
Revision of Fleming Lodge	18/12/18	GH	A

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Project
Barnes Hospital
 South Worple Way
 Barnes, SW14 8SU

Drawing
Existing Site Levels

Drawn	Date	Scale
SSI	18/12/2018	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_002	A



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- - - - - Site Boundary
- 1 Storey
- 1.5 Storey
- 2 Storey
- 2+ / 3 Storey
[Overscaled 2 Storey]

Revision description	Date	Check	Rev
Revision of Fleming Lodge	18/12/18	GH	A

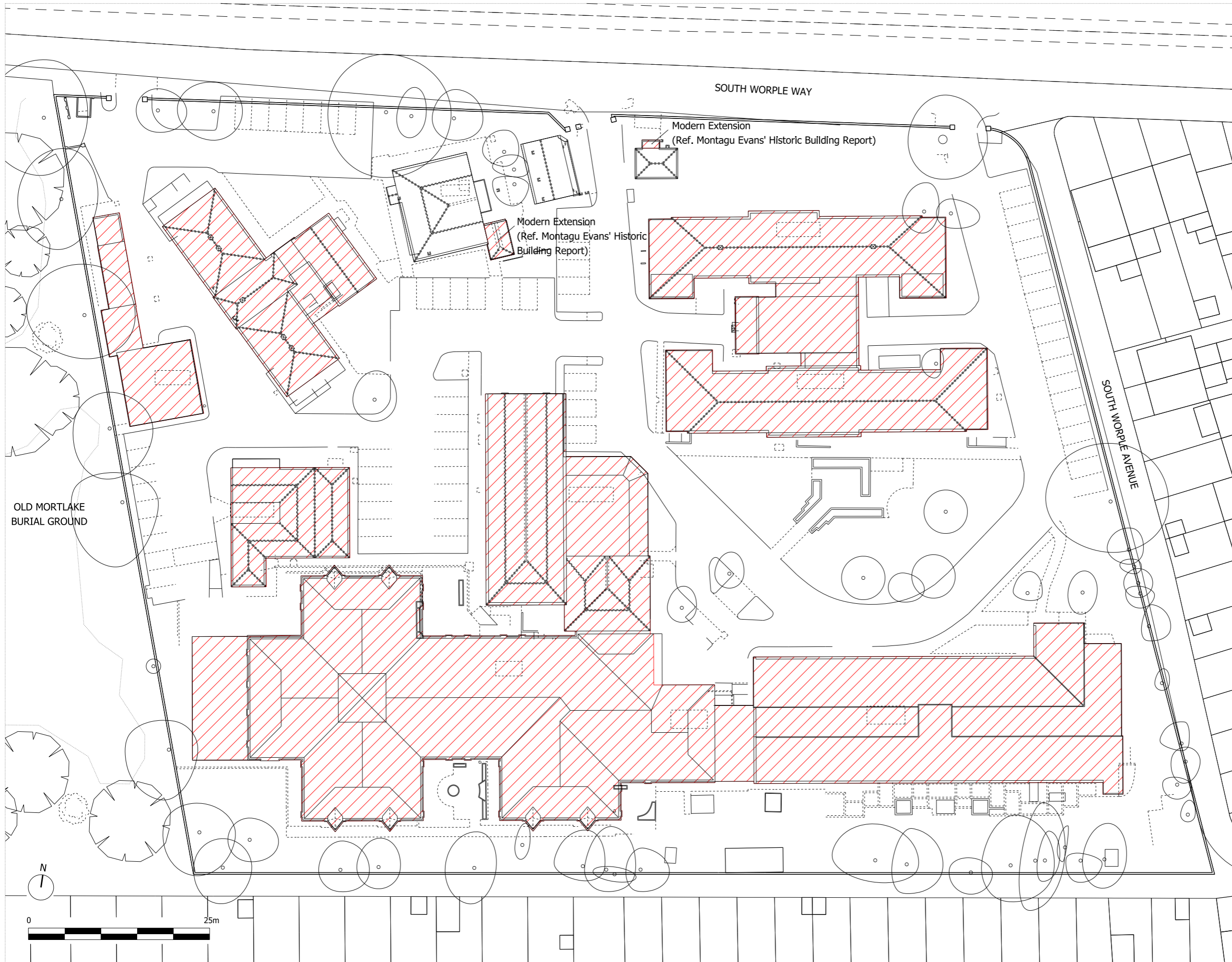
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Project
Barnes Hospital
 South Worple Way
 Barnes, SW14 8SU

Drawing
Existing Building Heights

Drawn	Date	Scale
SSI	18/12/2018	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_003	A



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The existing walls and gates are to be retained and repaired where necessary.

At vehicular entrances, the gates will be widened as necessary for fluid vehicular movement.

- Site Boundary
- Buildings to be Demolished

Notes Added	18/02/19	RB	B
Revision of Fleming Lodge	18/12/18	GH	A
Revision description	Date	Check	Rev

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Project
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 South Worple Way
 Barnes, SW14 8SU

Drawing
Demolition Plan

Drawn	Date	Scale
SSI	18/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_004	B



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- - - - - Site Boundary
- ⊕ Ground Level

OLD MORTLAKE BURIAL GROUND

SOUTH WORPLE WAY

SOUTH WORPLE AVENUE

Notes Added	18/02/19	RB	A
Revision description	Date	Check	Rev

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Drawing
Proposed Site Levels

Drawn	Date	Scale
SSI	18/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_005	A



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- - - - - Site Boundary
- Residential
- Health Care Hub
- Sen School

Residential
 Site area:
 8058 Sq. m
 56% of Plot

Healthcare Centre
 Site Area:
 2893 Sq. m
 21% of Plot

Special Educational Needs School
 Site area:
 3280 Sq. m
 23% of Plot

OLD MORTLAKE
 BURIAL GROUND

Revision of Plot Use Boundaries	29/05/19	RB	D
Revision of Plot Use Boundaries	16/05/19	RB	C
Notes Added	18/02/19	RB	B
Plot Boundary	31/10/18	GH	A
Revision description	Date	Check	Rev

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Drawing
Proposed Plot Use

Drawn	Date	Scale
SSI	29/05/19	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_006	D



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- - - - - Site Boundary
- Residential
- Healthcare Hub
- SEN School

Plot Boundaries	29/05/19	RB	E
Notes Added	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A
Revision description	Date	Check	Rev

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Project
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 Barnes, SW14 8SU

Drawing
Proposed Building Uses

Drawn	Date	Scale
SSI	29/05/19	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_007	E



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- - - - - Site Boundary
- 1 Storey
- 2 Storey
- 2.5 Storey
- 2.5 / 3 Storey
- 3 Storey

OLD MORTLAKE BURIAL GROUND

SOUTH WORPLE AVENUE

SOUTH WORPLE WAY

Notes Added	26/03/19	RB	E
Notes Added	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A
Revision description	Date	Check	Rev

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 Barnes, SW14 8SU

Drawing
Proposed Maximum Storey Heights

Drawn	Date	Scale
SSI	26/04/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_008	E



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- - - - - Site Boundary
- Maximum Extent of Projecting Window Bays at First Floor and Second Floor Levels
- Maximum Extent of Principal Massing

Revision description	Date	Check	Rev
Notes Added	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A

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Project
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 Barnes, SW14 8SU

Drawing
Maximum Building Extents

Drawn	Date	Scale
SSI	18/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_009	D



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- - - - - Site Boundary
- - - - - Cycle Access Route
- - - - - Pedestrian Access Route
- █ Residential Short Stay Cycle Store
- █ Health Hub Visitor Cycle Store
- █ Health Hub Staff Cycle Store
- █ SEN School Visitor Cycle Store
- █ SEN School Staff Cycle Store

Site Access Revision	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A
Revision description	Date	Check	Rev

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Project
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Drawing
Proposed Pedestrian & Cycle Access Plan

Drawn	Date	Scale
SSI	18/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_010	D



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- - - - - Site Boundary
- - - - - Vehicular Access Route
- - - - - Fire Engine Alternative Access
- Health Hub Car Parking Spaces
- SEN School Car Parking Spaces

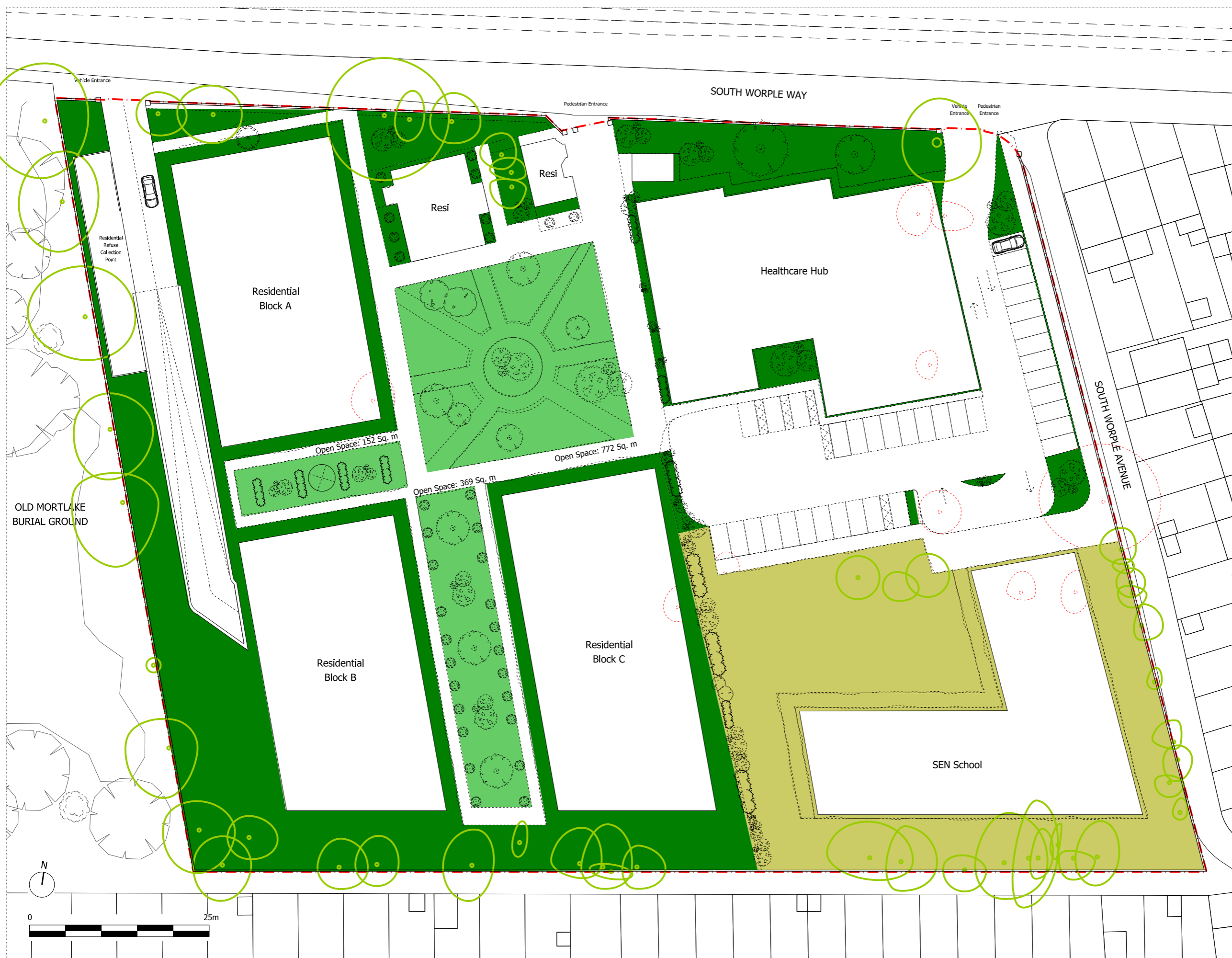
Site Access Revision	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HM Footprint Revision	31/10/18	GH	A
Revision description	Date	Check	Rev

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Project
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 South Worple Way
 Barnes, SW14 8SU

Drawing
Proposed Vehicular Access Plan

Drawn	Date	Scale
SSI	18/02/2019	1:250@A1 1:500@A3
Job number	Drawing number	Revision
18002	C645_P_00_011	D



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- - - - Site Boundary
- Open Space With Indicative Planting & Managed Public Access
- Private External Amenity Space
- Soft Landscaping
- Existing Trees Retained
- Existing Trees To Be Removed

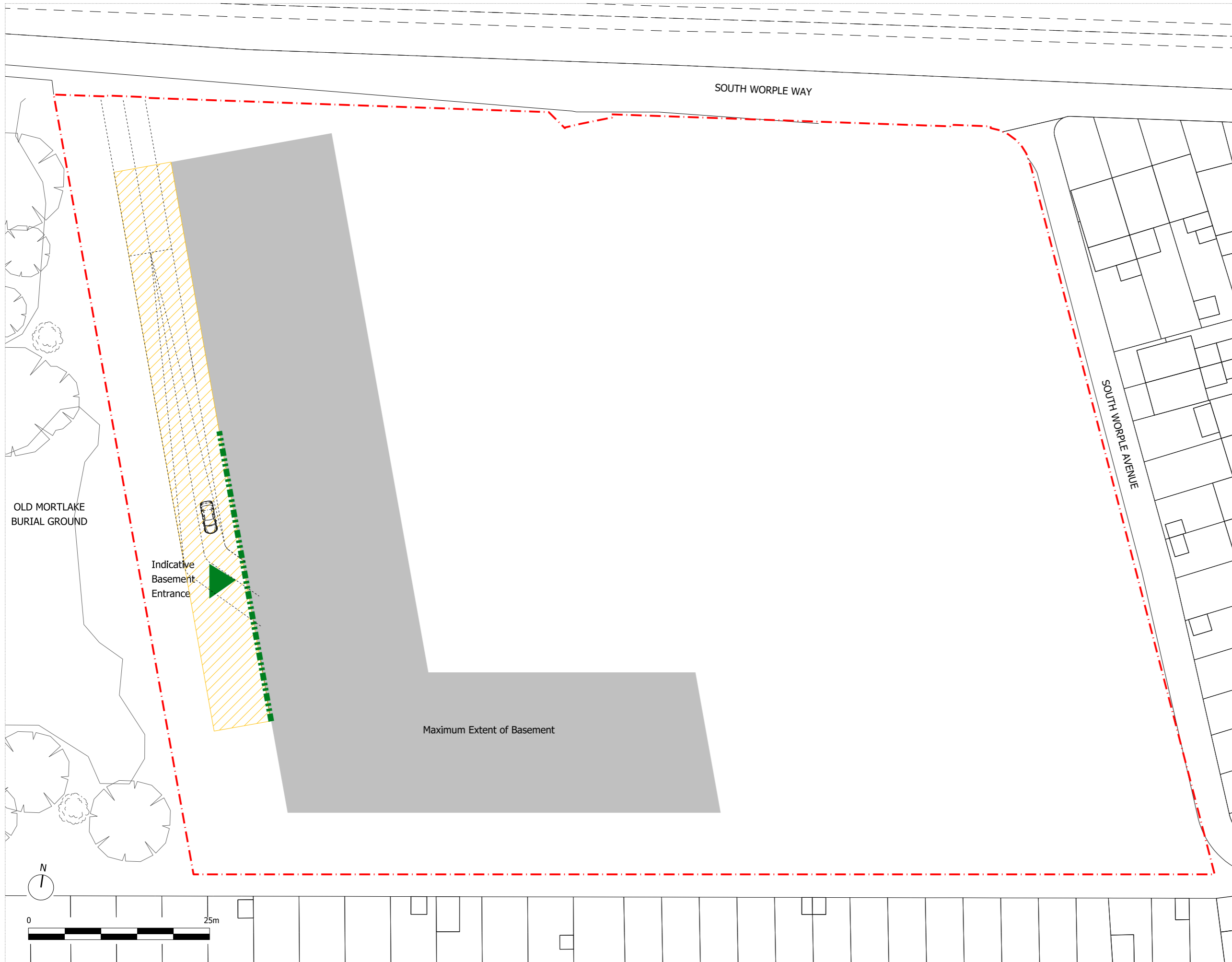
Site Access & Landscape Revision	18/02/19	RB	D
SEN Footprint & Landscape Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A
Revision description	Date	Check	Rev

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Project
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Drawing
Proposed Public Realm & Landscaping




Drawn	Date	Scale
SSI	29/05/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_012	D



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-  Site Boundary
-  Permitted Zone for Ramp Entrance
-  Permitted Zone for Ramp Location

Revision description	Date	Check	Rev
Site Access Revision	18/02/19	RB	A

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Project
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 South Worple Way
 Barnes, SW14 8SU

Drawing
Maximum Building Extent
Basement Plan

Drawn	Date	Scale
RLe	18/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_013	A

10.2 SEN School - Alternative Footprint - Drawing List

18002_C645_P_00_014 SEN School Option 2 - Proposed Building uses

18002_C645_P_00_015 SEN School Option 2 - Proposed Maximum Storey Heights

18002_C645_P_00_016 SEN School Option 2 - Maximum Building Extents

18002_C645_P_00_017 SEN School Option 2 - Pedestrian and Cycle Access

18002_C645_P_00_018 SEN School Option 2 - Vehicular Access

18002_C645_P_00_019 SEN School Option 2 - Public Realm and Landscaping



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- . - . - . Site Boundary
- Residential
- Healthcare Hub
- SEN School

Plot Boundaries	29/05/19	RB	E
Notes Added	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A
Revision description	Date	Check	Rev

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Project
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 Barnes, SW14 8SU

Drawing
SEN School Option 2
 Proposed Building Uses

Drawn	Date	Scale
SSI	29/05/2019	1:250@A1 1:500@A3
Job number	Drawing number	Revision
18002	C645_P_00_014	E



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- - - - - Site Boundary
- 1 Storey
- 2 Storey
- 2.5 Storey
- 2.5 / 3 Storey
- 3 Storey

OLD MORTLAKE BURIAL GROUND



Revision description	Date	Check	Rev
Notes Added	26/04/19	RB	E
Notes Added	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A

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Project
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Drawing
SEN School Option 2
 Proposed Maximum Storey Heights

Drawn	Date	Scale
SSI	26/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_015	E



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- - - - - Site Boundary
- Maximum Extent of Projecting Window Bays at First and Second Floor Levels
- Principal Massing

OLD MORTLAKE BURIAL GROUND



Revision description	Date	Check	Rev
Notes Added	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A

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Project
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Drawing
SEN School Option 2
 Maximum Building Extents

Drawn	Date	Scale
SSI	18/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_016	D



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- - - - - Site Boundary
- - - - - Cycle Access Route
- - - - - Pedestrian Access Route
- Residential Short Stay Cycle Store
- Health Hub Visitor Cycle Store
- Health Hub Staff Cycle Store
- SEN School Visitor Cycle Store
- SEN School Staff Cycle Store

Revision description	Date	Check	Rev
Site Access Revision	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A

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Project
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 Barnes, SW14 8SU

Drawing
 SEN School Option 2
 Proposed Pedestrian & Cycle
 Access Plan

Drawn	Date	Scale
SSI	18/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_017	D



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- - - - - Site Boundary
- - - - - Vehicular Access Route
- - - - - Fire Engine Alternative Access
- Health Hub Car Parking Spaces
- SEN School Car Parking Spaces

Site Access Revision	18/02/19	RB	D
SEN Footprint Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A
Revision description	Date	Check	Rev

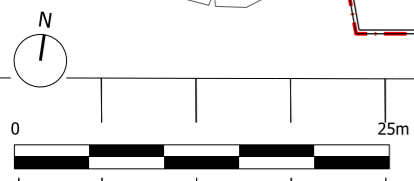
SQUIRE & PARTNERS

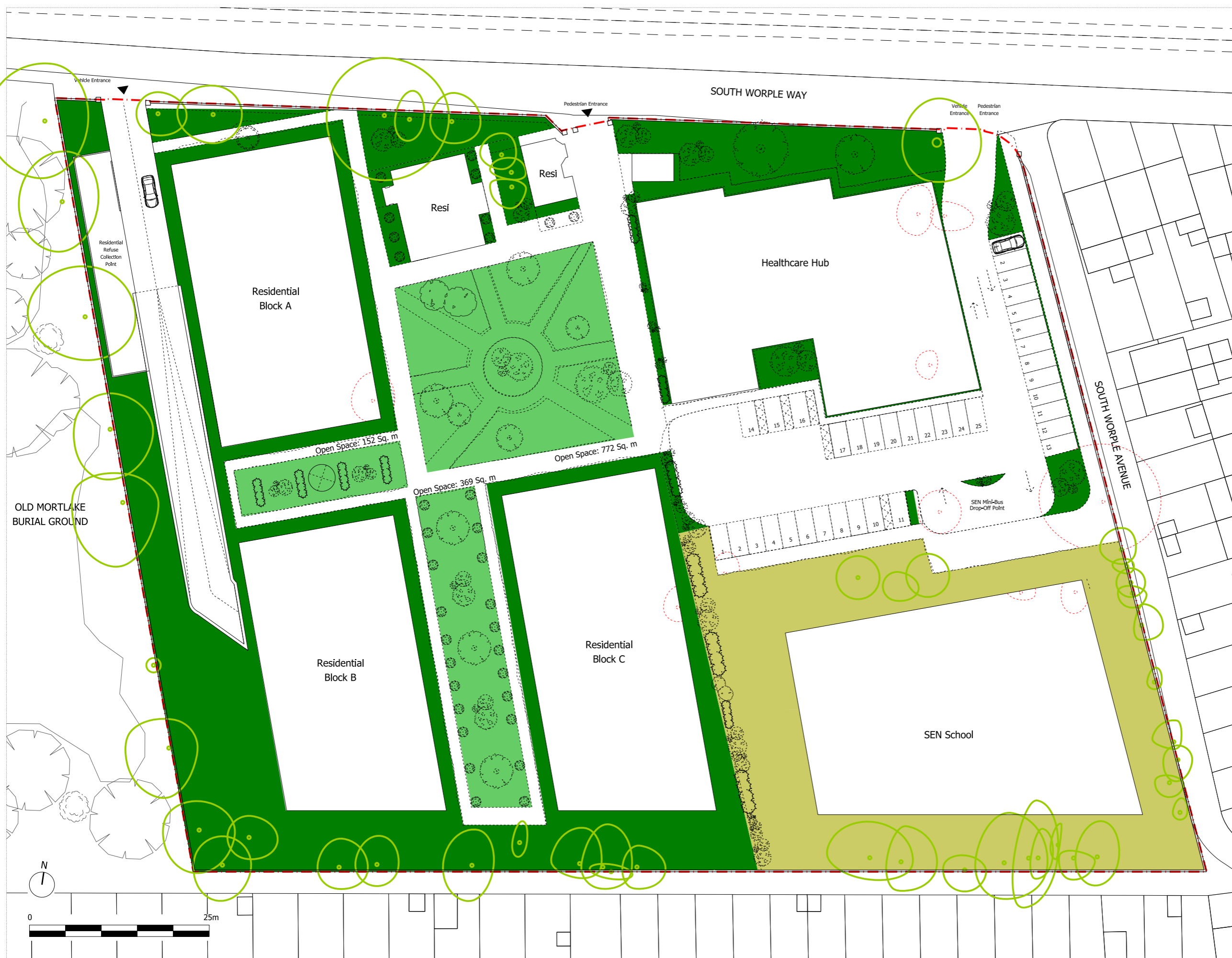
The Department Store
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Project
 Barnes Hospital
 South Worple Way
 Barnes, SW14 8SU

Drawing
 SEN School Option 2
 Proposed Vehicular Access Plan

Drawn	Date	Scale
SSI	18/02/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_018	D





NOTES:
 DO NOT SCALE FROM THIS DRAWING.
 ALL DIMENSIONS TO BE CHECKED ON SITE.
 ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.

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The existing walls and gates are to be retained and repaired where necessary.

At vehicular entrances, the gates will be widened as necessary for fluid vehicular movement.

- - - - Site Boundary
- Open Space With Indicative Planting & Managed Public Access
- Private External Amenity Space
- Soft Landscaping
- Existing Trees Retained
- Existing Trees To Be Removed

Site Access & Landscape Revision	18/02/19	RB	D
SEN Footprint & Landscape Revision	21/11/18	RB	C
SEN Footprint Revision	15/11/18	GH	B
HH Footprint Revision	31/10/18	GH	A
Revision description	Date	Check	Rev

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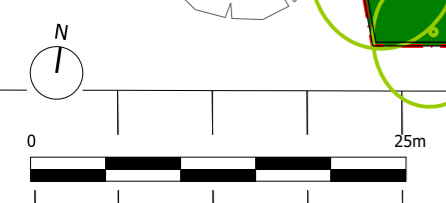
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Project
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Drawing
SEN School Option 2
 Proposed Public Realm & Landscaping

Drawn	Date	Scale
RLe	29/05/2019	1: 250@A1 1: 500@A3
Job number	Drawing number	Revision
18002	C645_P_00_019	D





The Entrance Lodge



The Recreation Hall



The Gatehouse

11.0 Design Codes

11.1 Treatment of Retained Buildings of Townscape Merit [BTMs]

The Gatehouse [Health Hub Parcel]

The Gatehouse [cf. Montagu Evans - Historic Buildings Report (October 2018) para.s 3.29-3.32] is to be restored using sympathetic materials, including handmade and gauged bricks where appropriate and lime mortar, and traditional building techniques.

The later modern lean-to brick structure on the north wall is to be demolished and made good using appropriate materials.

The Entrance Lodge [Residential Parcel]

The Entrance Lodge [cf. Montagu Evans - Historic Buildings Report (October 2018) para.s 3.24-3.28] is to be restored using sympathetic materials, including handmade and gauged bricks and lime mortar, and traditional building techniques.

The Recreation Hall [Residential Parcel]

The Recreation Hall [cf. Montagu Evans - Historic Buildings Report (October 2018) para.s 3.33-3.35] is to be restored using sympathetic materials, including handmade and gauged bricks where appropriate and lime mortar, and traditional building techniques.

The later modern brick structure attached to the south-east corner of the original structure is to be demolished and the original structure made good using appropriate materials.

11.1.1 Internal layout

Principal rooms within the refurbished BTMs should not be located along elevations where distances between neighbouring massing is 13.5 m or less, unless a dual aspect is provided.

Perception of overlooking should be mitigated through design via landscaping treatment, the integration of opaque glazing and the offsetting of window alignments within the proposed massing.

11.2 Treatment of Existing Perimeter Wall and Gates

The existing brick perimeter wall shall be retained and repaired where necessary, using sympathetic materials, including matching bricks and lime mortar.

The gateposts and decorative iron gate of the central entrance-way on the north flank of the site shall be repaired where necessary, using sympathetic materials, including matching bricks and lime mortar.

The decorative iron gates of the north-west and north-east entrances will be demounted, restored and re-used as part of a detailed site landscape design.



North West Entrance



East Sheen Village 'Character Area 7'

11.3 Site Wide Character

The development should have regard to the East Sheen Village Planning Guidance SPD which sets out the "Characteristics" of the Character Area 7 (Queens Road) and 8 (Grosvenor Avenue west of Alexandra Road);

- Massing, articulation and materiality must sit harmoniously with the dominant materials and features within these areas. These include: red and yellow brick, render, applied timber, bay windows, clay-tiled roofs, clay chimneys, brick gate piers with dwarf walls incorporating railings, planted front gardens and street trees.
- Avoid dominant street signage.
- Improvement and protection of landscaping setting.
- Preservation, enhancement and reinstatement of architectural quality and unity.
- Retention and enhancement of front boundary treatments.
- Coordination of colour and design, rationalisation and improvement in quality of street furniture and paving.
- Protect and enhance views surrounding Mortlake Cemetery Burial Ground.
- Massing of the proposed blocks that are larger than those found within the surrounding character areas must be broken down through meaningful set backs, bays/gables and roof treatment.



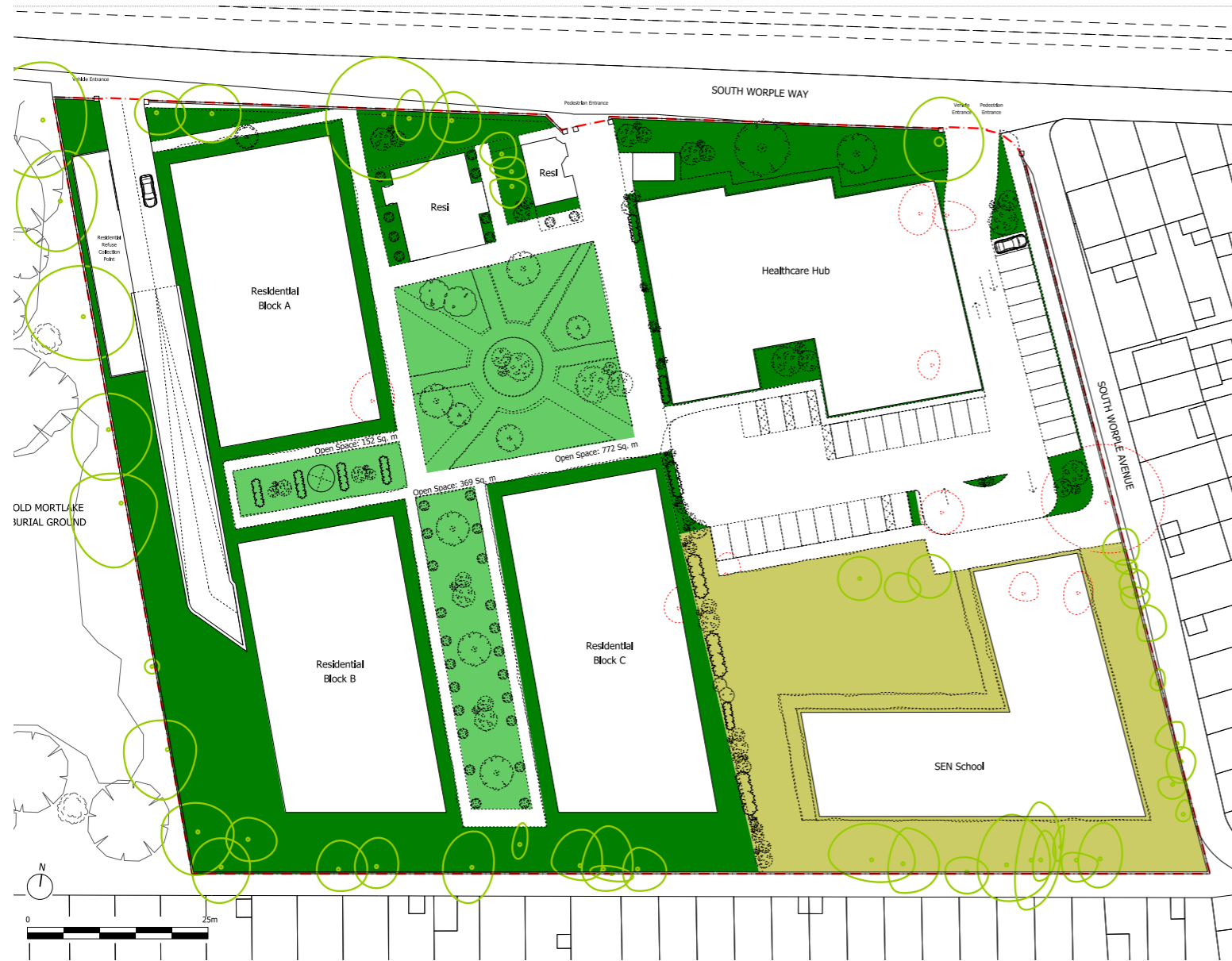
Central Entrance



East Sheen Village 'Character Area 8'



North East Entrance



Open Space and Soft Landscaping

Key

- - - Site Boundary
- Open Space With Indicative Planting & Managed Public Access
- Private External Amenity Space
- Soft Landscaping
- Existing Trees Retained
- Existing Trees To Be Removed

11.3.1 Site Wide Landscaping

A minimum area of 4,000 sq.m of the site should be soft landscape with a combination of trees, mass planting, and lawn areas to ensure a minimum net increase of 500 sq.m in soft landscaping to the existing.

The detailed landscape design should establish a coherent site-wide approach across the garden square, Health Hub and SEN School via the consistent use of materials, lighting and planting.

Trees should be planted to provide a light canopy over part of the space to provide a sense of enclosure and intimacy, without any undue restriction of sunlight into the garden square.

A mix of evergreen and deciduous species should be used to ensure visual richness and cover throughout the year, with evergreen trees limited to occasional use.

A combination of native and locally adapted plants and exotics can be used, with a preference for the former and drought resistant plants to improve biodiversity and sustainability.

The residential buildings will be arranged around a publicly accessible Garden Square at grade level with peripheral planting provided around the boundary [except where vehicular access is provided on the eastern and western access points].

Private external amenity space could be provided around the perimeter of the retained residential use BTMs, and residential Blocks A, B and C, as well as between Blocks A and B and between B and C. Details of delineation between publicly accessible portions of external amenity space and private residential external amenity space to be agreed by the LPA.

Communal gardening should be encouraged to be incorporated where feasible.

11.3.2 Boundary Treatment

Boundary treatment between the various uses on the site should be discrete with paths and soft landscaping defining the boundary between the Health Hub and Residential Plots.

The boundary between the SEN School the other uses on site should provide effective safety, security and privacy whilst maintaining landscape design coherence across the site.

Any boundary fences and walls across the site should be softened through the use of climbing plants.



11.3.3 Landscape Materials, Furniture and Lighting

The design intent of all landscaping elements across the site must be similar, i.e. corresponding material palettes, lighting and planting, to ensure a coherent site-wide approach.

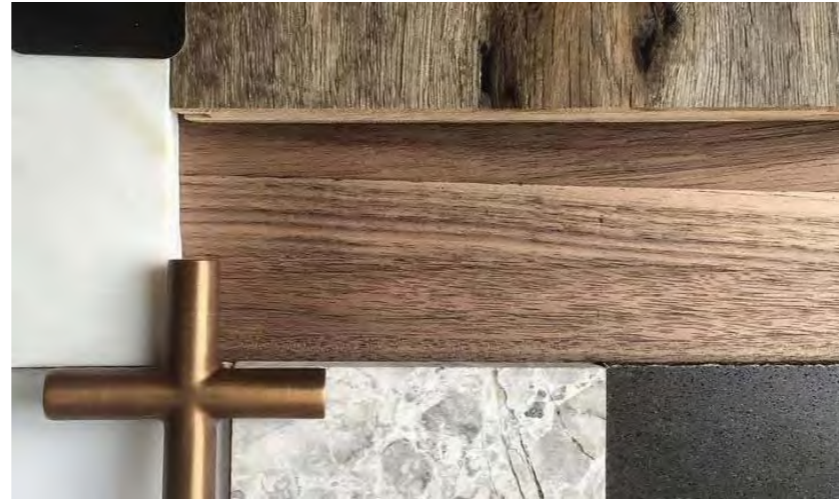
A simple restrained palette of complimentary materials should be used across the site, taking into account comfort and needs of all users. Materials should be robust and hard wearing and durable.

Seating should be integrated into the design and layout across the site, taking best advantage of the sunpath.

High level lighting should be avoided to limit disturbing the existing ecology, i.e. a general preference for down-lighting and no up-lighting to all buildings across the site.

All lighting shall not exceed a maximum height of 1.2m.

All metalwork elements should have a powder-coated or anodised finish.





Site pedestrian and vehicular access strategy

11.3.4 Cycle Facilities

Paths and routes the park should be provided. Shared cycle/ pedestrian paths are to be a minimum 3.5m wide, with signage to guide shared use.

Sheffield Stands should be provided in locations convenient to different users of the site.

Cycle parking locations should avoid visually obscuring the retained BTMs on the site.

11.3.5 Vehicular Access

The access road to the residential car park should have a minimum carriageway width of 4.8m to allow two cars to pass each other safely.

The ramp must have the following dimensions:

- A gradient of 1 in 20 for the first 5m
- A gradient of 1 in 10 and a maximum gradient of 1 in 7 during the descent of the ramp
- A gradient of 1 in 20 for the last 5m
- A minimum headroom of 2.25m

The access road to the SEN school and Health Hub must have an aisle width no less than 6m to allow motorist to manoeuvre into and out of the spaces safely.

Parking bays must be 4.8m by 2.4m, with a minimum of 6m clearance between two parallel rows of parking.

11.3.6 Pedestrian Access

The pedestrian access to the SEN school along the eastern boundary of the site must be no less than 1.75m to allow an accompanied wheelchair user to use it in accordance with Inclusive Mobility guidance.

