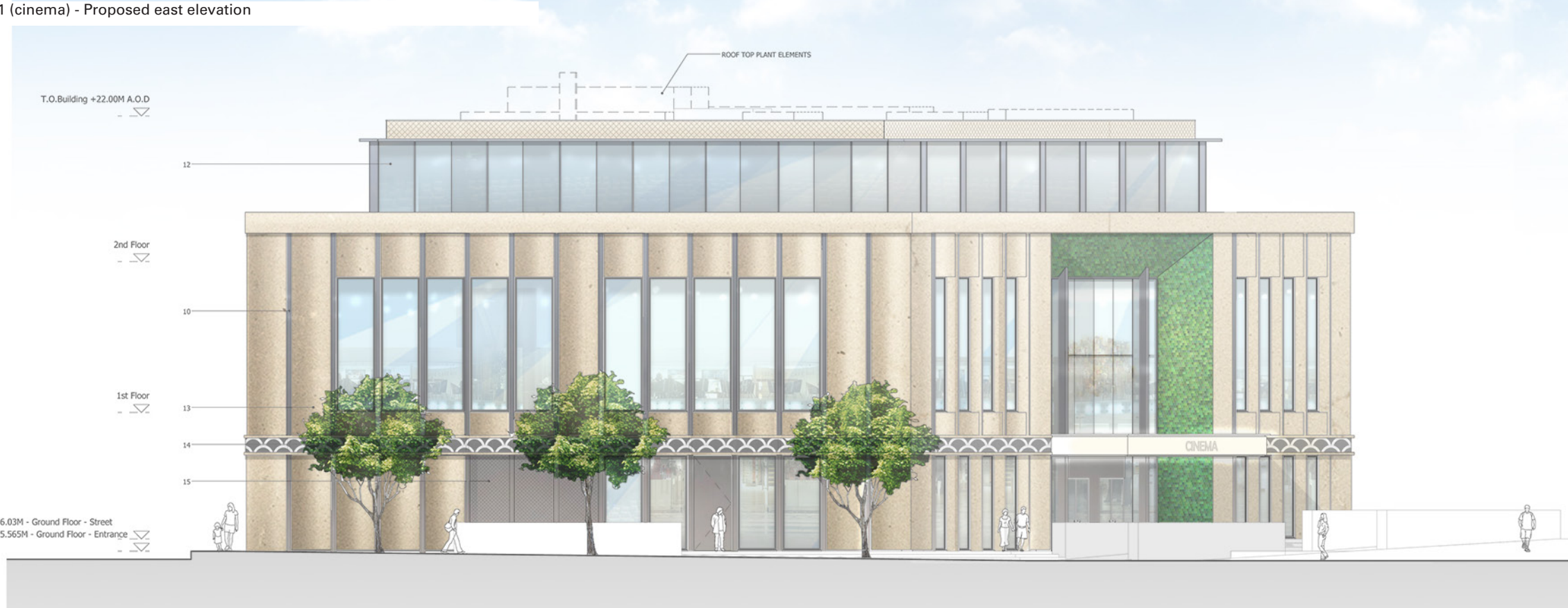


Block 1 (cinema) - Proposed east elevation



Block 1 (cinema) - Proposed south elevation



## Block 1 - Cinema

### 5. Relocate the entrance of the cinema.

The entrance to the cinema has been deliberately located on the east location to benefit from a more generous spill out space and to serve as an important civic gesture. We believe that relocating the entrance to face Lower Richmond Road would disrupt pedestrian flow along the pavement and increase the risk of pedestrians spilling on to the busy road. Aside from this, we do not believe this position would be as welcoming and prominent due to the angle of approach from the station through the park. Aside from these technical constraints, it is worth noting that an important design feature of the entrance is to have a double storey height angled reveal, which is proposed as being clad in a 'bottle green' coloured tile. This will be visually prominent in the views on approach from the station and village green.



Submitted view of proposed cinema (Block 1) from Mortlake Green

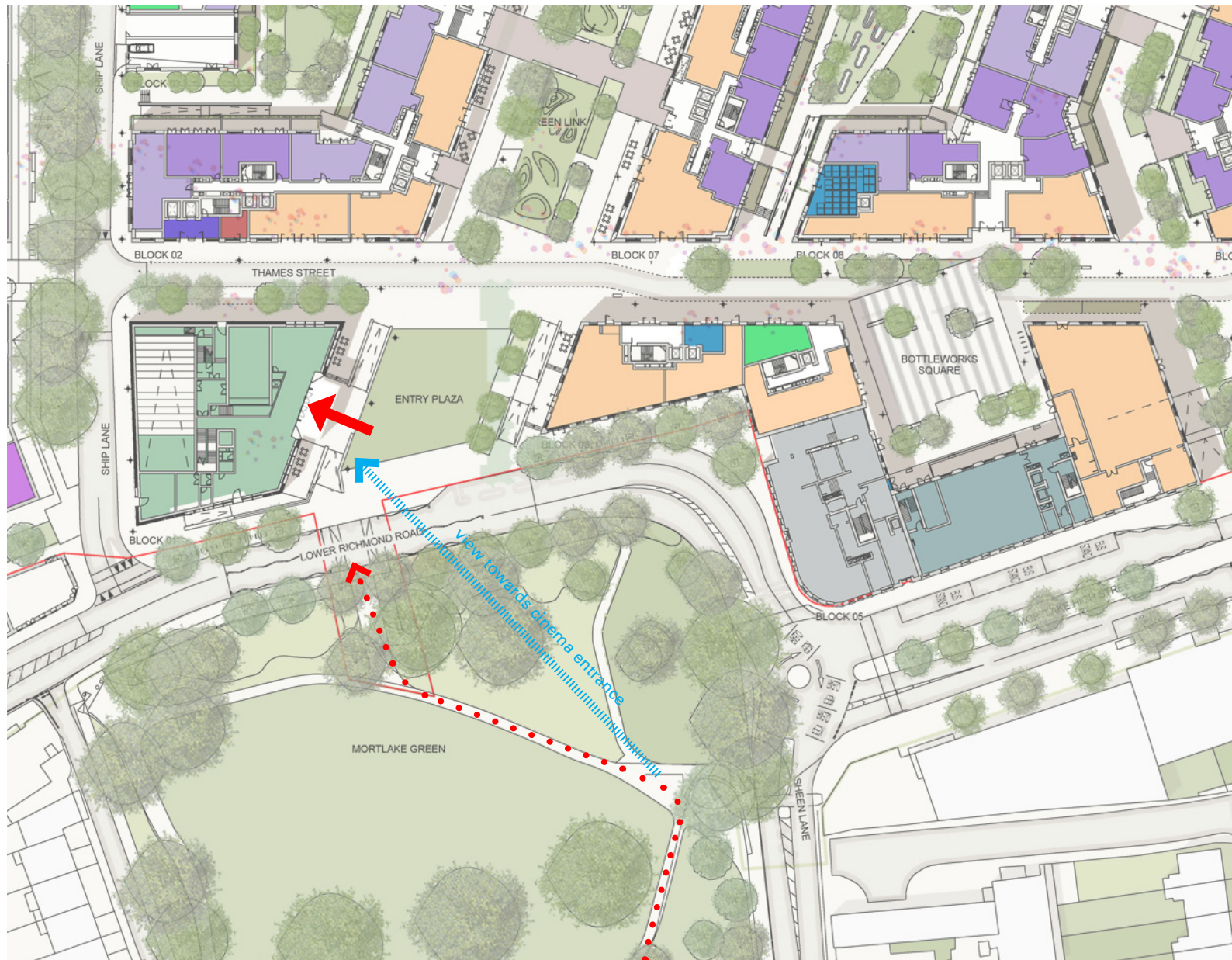




Example of 'bottle green' glazed tiles



Example of tiled reveals to glazed openings - providing emphasis to reveal when viewed from an oblique angle



Plan showing direction of approach to the cinema from Mortlake Station



Coloured elevation showing coloured tiled reveal to entrance area



**Block 1 - Cinema**

- 6. Ensure any plant is centralised in roof.

The plant to the rooftop area has been minimised and located to the most central location possible. It must be acknowledged that the nature of the cinema use does result significant mechanical ventilation and cooling requirements. These items of plant require minimum separation distances as well as space to manoeuvre around for the purpose of maintenance access.

- 7. West and north elevations – dead / inactive frontage.

Please see response to item 4.

- 8. South elevation – poor relationship with street: Barriers, ramps, stairs and lack of interaction.

Please see response to item 2.

- 9. Should be level access from street – all stairs / ramps interrupt too much in townscape.

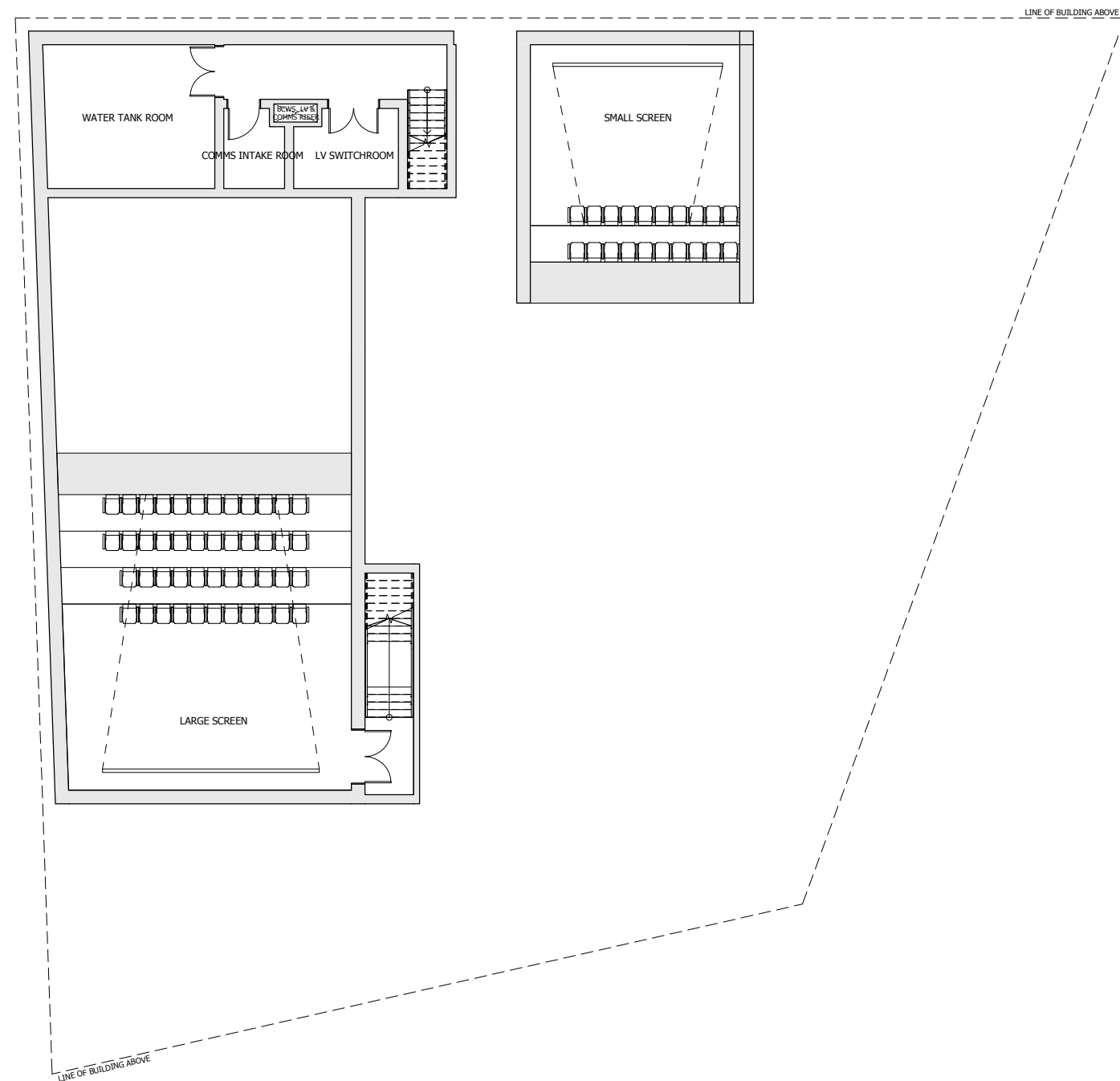
Please see response to item 2.

- 10. Cinema basement not shown on plan. Why can't the basement be lowered to provide level access?

Please see response to item 2. It is worth noting that the levels around the cinema facades vary, and that the internal level has been set to provide level access to the entrance on the East facade. The basement level consists of very small areas of basement - most of which are raked floors to cinema screens. These basement areas are not affecting the setting out of ground floor level datum.

- 11. Refer to plan comments.

Please refer to above responses.



Block 1 (cinema) - Proposed basement level plan

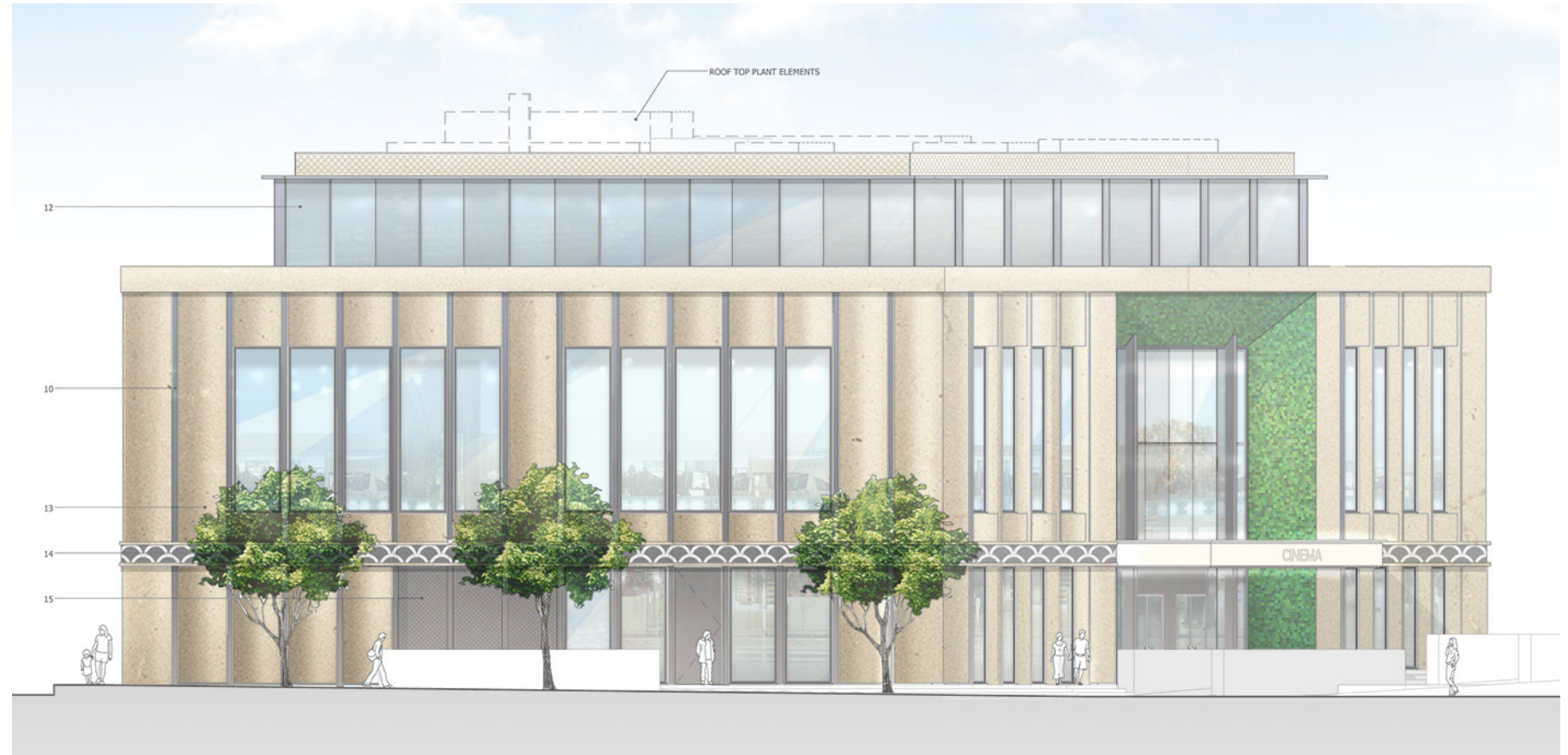


12. Dead frontage on west and north elevations.

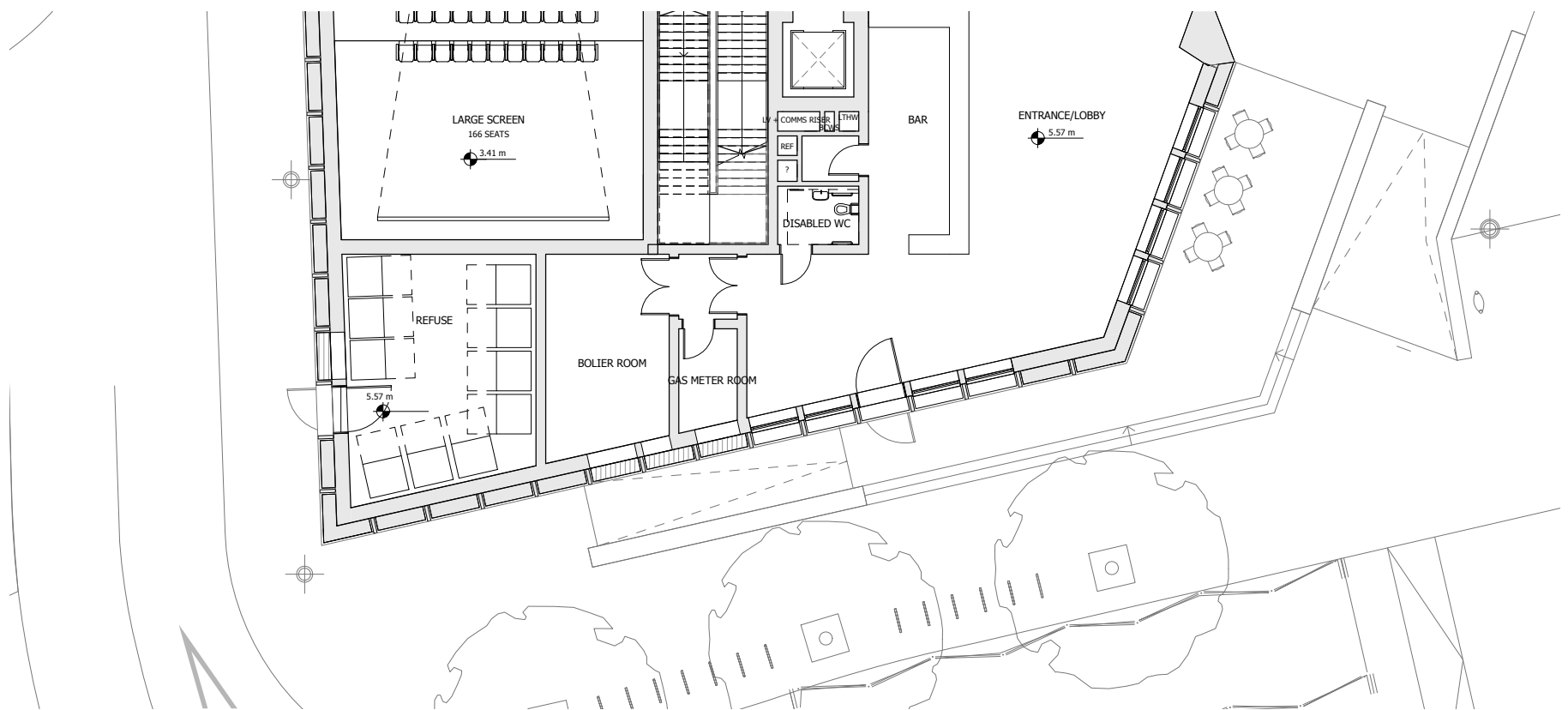
Please refer to above responses.

13. South elevation has a poor relationship with street: Refuse, boiler, second entrance.

14. As mentioned in earlier paragraphs, the cinema screens have been arranged to avoid overlooking issues with residential buildings opposite. These screen occupy most of the North and West facades. This leaves very little opportunity for the incorporation of refuse store and boiler rooms - which must have direct access from the street. The refuse cannot be collected from Lower Richmond Road since this would cause disruption to traffic. It is for this reason that it has been positioned on the corner of Ship Lane. The boiler room requires ventilation and must be positioned on a facade - it must also be positioned in a location where the flue can terminate in the set back rooftop level and so that service routes can be distributed easily to both cinema screens. It is for this reason that the North facade was discounted as a suitable location.



Block 1 (cinema) - Proposed south elevation



Block 1 (cinema) - Proposed ground floor plan



## Block 2

### 1. Turret needs refinement/ elegance

Corner 'turrets' are proposed to three strategic corners of mansion buildings. These elements aim to draw from historic precedent in terms of their design as well as serve as welcoming gateways elements that frame the view of the green link.

Each of the turret elements on buildings 2, 7 and 8 have been re-considered to provide hierarchy of window openings and a more refined top to the building - the result being an appearance more akin to historic precedents of mansion turrets that were built during the Victorian era across London.



Digby Mansions (river facing facade)



Kensington Gore



Hurlingham Court



Digby Mansions (street facing facade)



1 St James Street (by Richard Norman Shaw)





Revised view of corner elements to Buildings 2 and 7 (facing the entrance to the green link)

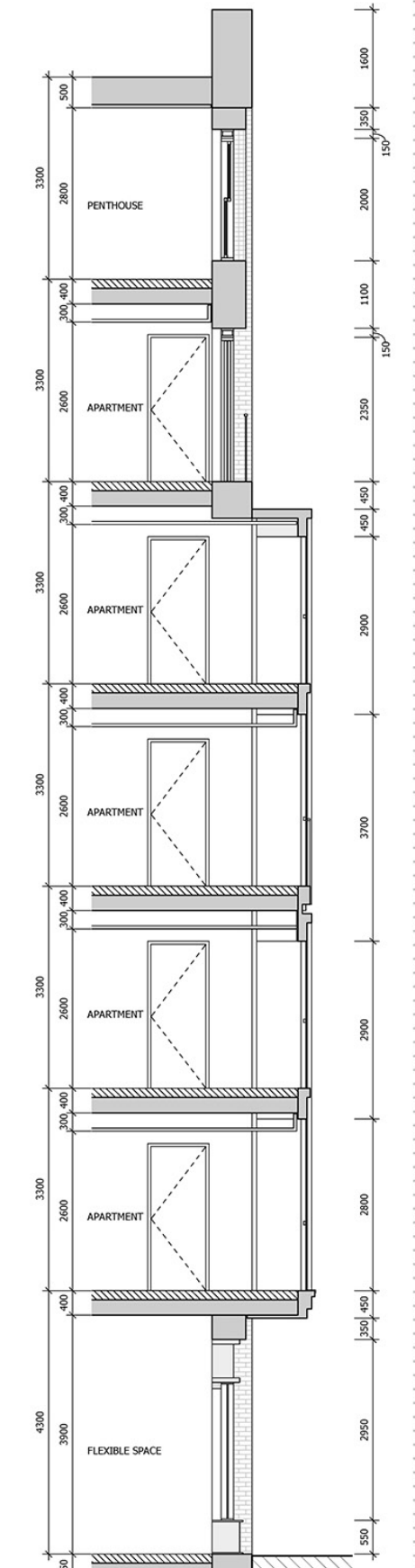


## Block 2

2. Gables - would it be appropriate to introduce some gables having a full pitch - may add some variation to the roofscape.

The palette of elements incorporated in the mansion buildings and clearly explained within the Design and Access Statement have been carefully refined to provide extensive opportunity for variation in the elevations of all of the mansion blocks (2, 3, 7, 8, 11 and 12. Each of the single bay, double bay and gable elements have been utilised at various different heights - the result being an incredibly varied parapet line to all of these buildings. The elements are never used in the same repeated pattern and spacing and as a consequence when mansion buildings face one another, the result is never that of a mirrored elevation. Furthermore, we have clearly demonstrated that these buildings will be organised in three clusters with differentiated colouration (of metalwork and brick) as well as brick and metalwork details. This will add to the variation of appearance when viewed from the public realm.

This leads us to a reminder that these buildings should be considered in the context of the landscape setting; which has been thoughtfully designed to provide an animated and varied public realm from which the buildings will be experienced at eye level and with perspective as opposed to a line drawn elevation.



Bay study elevation of gable element