



Photograph of existing Maltings building

Block 5 - The Bottling Plant

1. Substantial demolition given it only retains façade. Much of the interesting vaulted and columned interior is intact. This is one of the most notable and historic features remaining on the site. Lack of justification for demolition – has structural unsuitability for its conversion been considered. Even though only a BTM and with no control over the existing interior, depending on justification for substantial demolition of the BTM referred to above, more should be done to mitigate this harm in design terms by at least incorporating new vaulting and at least some of the existing cast iron columns into the new hotel design.

The existing bottling building consists of a brick façade with a cast iron frame (columns and beams) supporting brick vaults. The existing floor to floor height is limited to 3.25mm. The combination of the limited floor to soffit height and the nature of the existing construction mean that converting the existing building structure for alternative modern uses is very difficult. Strengthening of structure, mechanical ventilation and heating would be required for any new use within the building. These modern interventions would all decrease available head height and disrupt or conceal from view existing features of the building. Acoustic and fire protection requirements would also need to be considered and would most likely result in the features being almost entirely concealed from view.

The proposal includes deepening of the existing footprints (to gain Gross Internal Area) and as a consequence, the demolition of the north and east elevations is required.

It is worth noting that the cast iron columns are within the bottling plant building only. This building is proposed to be converted to office, gym and flexible use as opposed to hotel use.

As a result of all of these factors our conclusion is that a disproportionate (and costly) level of structural works would be required to retain the internal heritage features.

We do however propose to re-locate the existing columns within the proposed office spaces. Floor plans have been updated to show indicative locations for the existing columns .



Existing photograph of columned interior



Existing photograph of vaulted structure to bottling building



Existing photograph of vaulted structure to bottling building

2. Front/ south elevation: Was the fenestration inserted on the High Street elevation based on historical information? It is not clear as to whether fenestration designs are copies of originals; this needs confirmation. Provide details of fenestration choice.

The fenestration designs for the proposed altered south elevation are copies of the existing timber casement windows. It is proposed that all new windows will be double glazed timber casement windows.

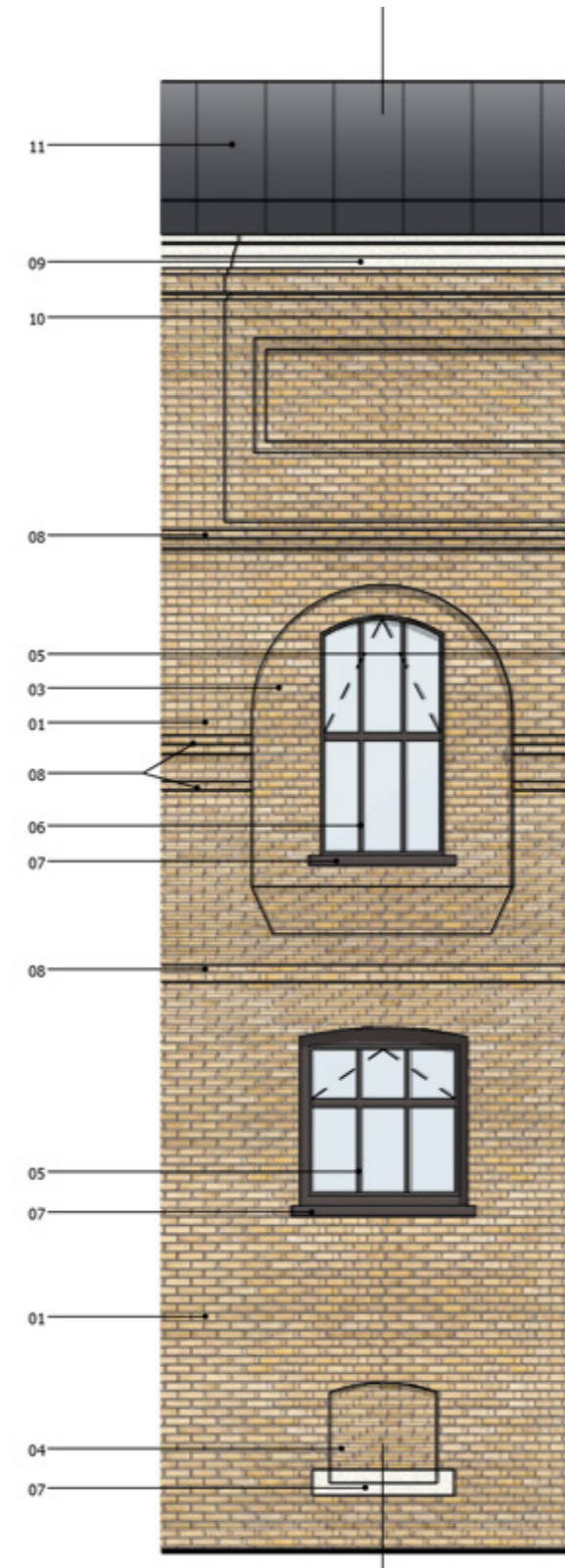
The fenestration in the new areas of façade to the north (facing the new 'High Street/ Thames Street') and east are proposed as contemporary interpretations (as opposed to direct copies) of the existing arched window openings on the retained south elevation.

The diameter of the existing arched openings has been utilised to form the outermost opening of the new second floor level window reveals. That shape has been offset in stepping brick reveals.

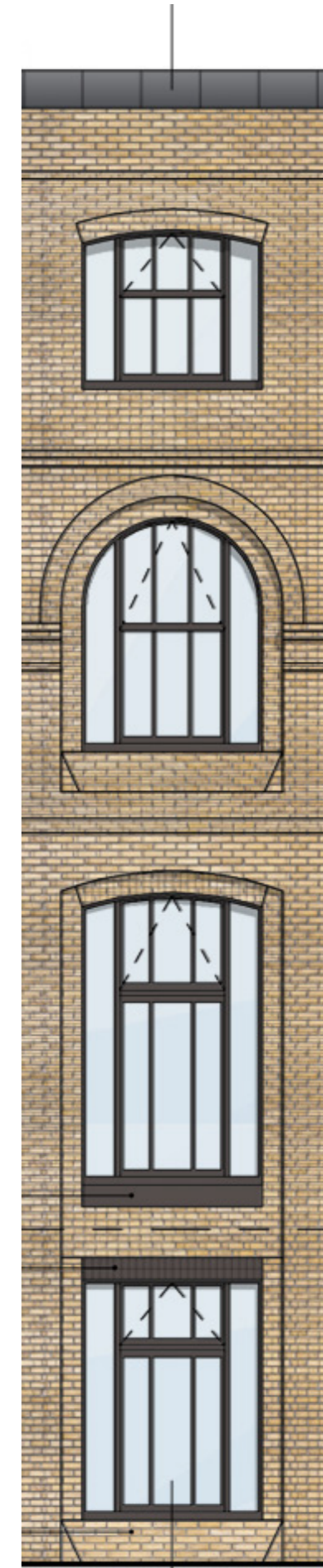
A hierarchy is also proposed to these window openings, with the re-interpreted arch positioned at second floor level (same level as on the retained façade) and a paired set of windows with a stepped flattened arch reveal below and a squatter flattened arch window at the top of the building.



Existing photograph of openings facing the High Street



Submitted proposed alterations to existing south elevation



Submitted proposed openings to north elevation

Block 5 - The Bottling Plant

- The significance of the south façade is the orchestration of the recessed bays with the gauged arches to windows set within the gauged arches to the bays. This detail is not shown on the application drawings. The two timber access doors to what would have been a hoist have been infilled with brick on the proposed plan, which is the same treatment as the one to the east, albeit already carried out. The drawing of the one to the east lacks the lintel above what was the pair of timber doors in the drawing, although it is still present on the building. There is a case for infilling the opening with timber to give a historic interpretation of the function, albeit to insert windows. If the scheme is retaining the existing south façade as it is apart from the inserted windows (which it should) then there is less than significant harm to the main public elevation, but the drawing should show the details of the gauged arches as there is a suggestion the south façade is being replaced. South elevation: correct drawings to show retention of lintels and brick detailing. Amend to reflect comments.

The submitted drawings do not propose the demolition of the south elevation of the bottling plant. Furthermore, the brickwork detailing to the heads of existing openings is proposed to be retained as existing.

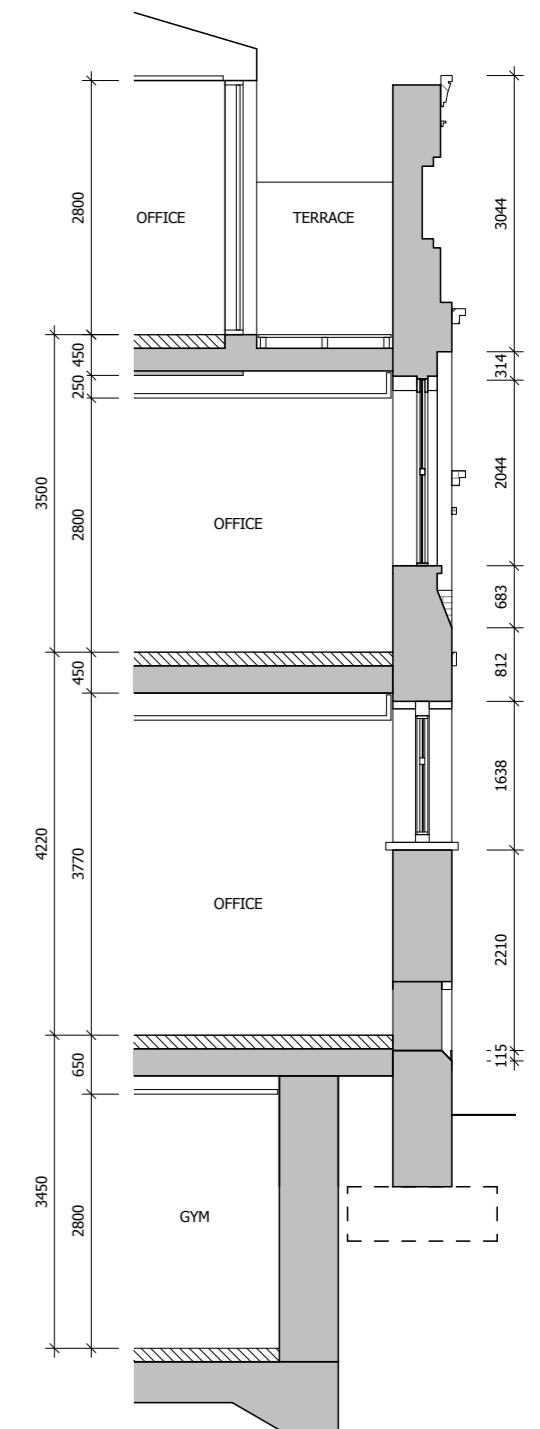
The proposed fenestration to the existing (and altered) window openings has been based on the design of the existing fenestration at first floor level of the building. These windows incorporate two mullions (three panes of glass) and one transom each. Likewise, the design of windows at second floor level (which are less squat in terms of proportion) are new interpretations of the existing windows. It is proposed that the new first floor windows will be double glazed timber casement windows and that the second floor windows will be polyester powder coated metal. Drawings have been adjusted to show a timber infill instead of brick infill to the former hoist door.

The existing openings at ground floor level are semi-basement level windows. The proposal for the conversion of this building intends to provide level access to the new 'Bottleworks Square' on the opposite side of the building. The levels that have been established to achieve this relationship unfortunately mean that retention of these windows is not possible. These openings (which are currently boarded up and serving a semi-basement level) are proposed to be bricked up.

For clarity, drawings have been revised to show the fine detailing of the existing brickwork. We would also be happy to revise the drawings to infill the former hoist door openings



Revised bay study elevation of bottling building facade - to be re-submitted



4. The roof behind the remainder of the south façade – a metal clad roof as shown is not appropriate. Amend to reflect comments.

We disagree that the (set back) metal roof to the proposed new office accommodation is inappropriate. This portion of the roof will be separated from the roof of the hotel by a brick gable/flank wall and therefore should not be considered part of the same roof element. Historically, the two roofs were built to different pitches and forms at different times (the former hotel in the late 19th century and the bottling building in 1869).

The massing of this roof element has been carefully designed so that it will be concealed from view from the streetscape. In order to achieve this, a shallow roof pitch is proposed (this 18 degree pitch is difficult to achieve in slate). The contemporary zinc cladding that is proposed offers the opportunity for continuity of both façade and roof materials – we believe this is a more resolved and comprehensive approach to the design of this modern intervention.

It is for these reasons that we believe the more contemporary appearance of the shallow pitched metal roof will not be detrimental to the streetscape.



Illustrative perspective view demonstrating impact of set back massing on streetscape



Proposed section through new roof to bottling building - demonstrating sight lines from streetscape

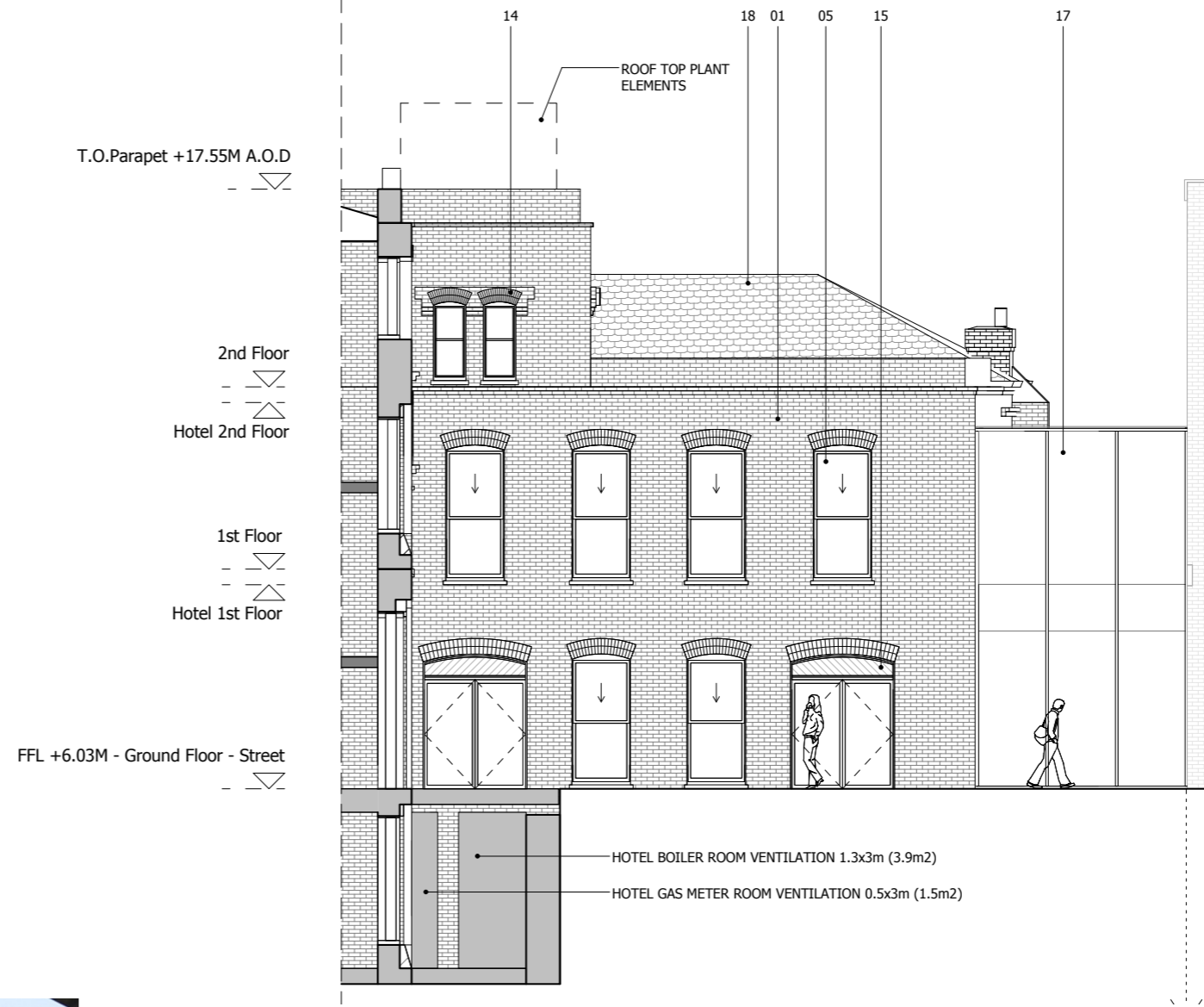
Block 6 - Hotel

1. North façade of hotel – This building is a BTM in a prominent position. Facades are clearly visible from the public realm and the building forms an important part of the character of this part of the conservation area. The loss of all but the west/south façade represents substantial demolition and harm to BTM with lack of justification. Provide justification for substantial demolition. Must retain front and side facades, the roofline and chimney stacks.

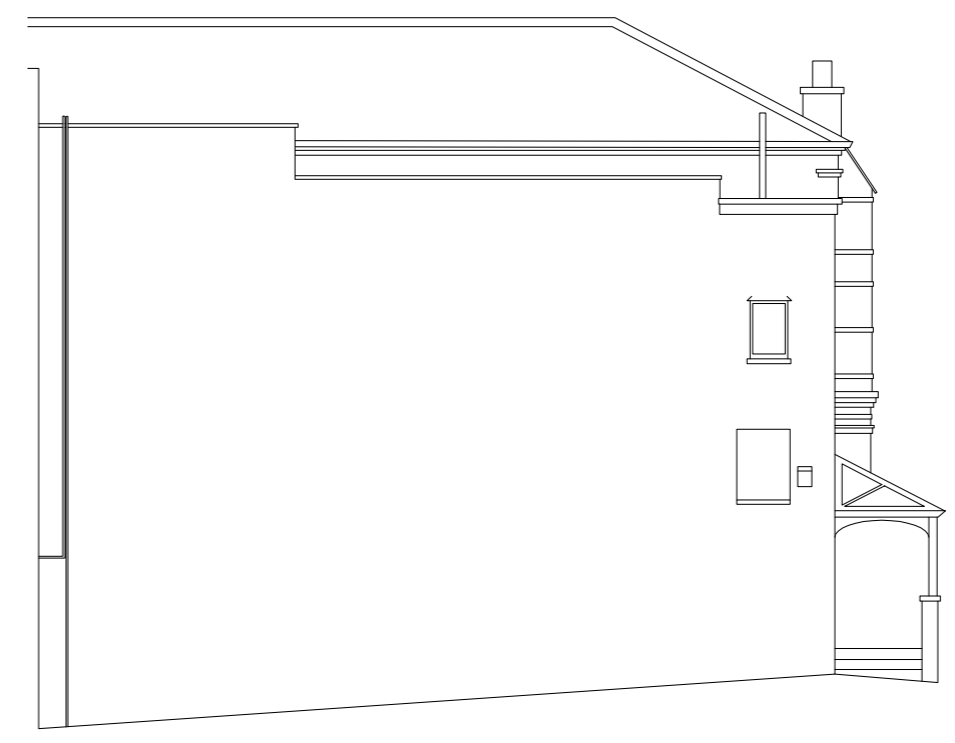
We disagree that the North façade should be retained as opposed to demolished. The existing North façade meets an existing ground level which sits 810mm lower than the proposed new 'Bottleworks Square'. This new level is required due to flood level constraints (the level has been established in order to provide accessible routes that mediate between the existing streetscape and highest levels of flood defence). It is also proposed that a new (deepened) basement level is provided beneath the existing hotel. The combination of these factors make it an unviable solution to retain the north façade as part of the proposal for the hotel.



Existing east elevation of former hotel building



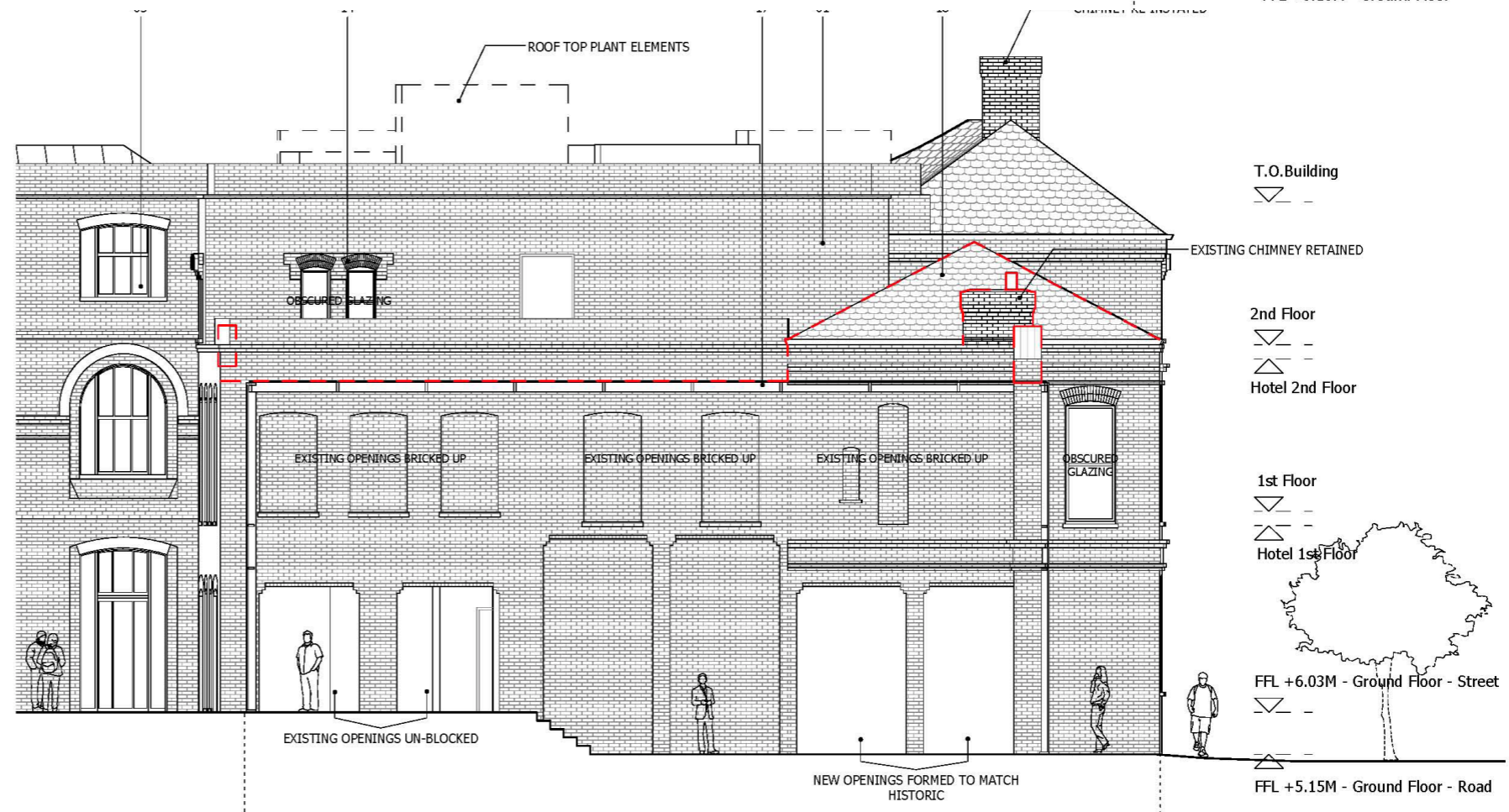
Revised east elevation of Hotel



Existing east elevation of former hotel building



Revised west elevation of Hotel



Revised north elevation of Hotel