

2. Access to Bottling Square seems rather torturous. How does access to square work?

We would remind you that the green link had originally been proposed to begin at the corner of Lower Richmond Road (to the north west of the hotel). While this proposal stemmed from the Planning Brief diagram, it became apparent that a series of traffic constraints and safety issues make it unfeasible to provide a route in this location. It is these safety issues that have guided the proposal to deliberately prevent pedestrians from cutting across this potentially dangerous chicane in the existing road.

The Bottling Square is instead conceived as a public space that is accessible off the main new 'High Street' route. This widened public space serves to add variety to the streetscape and provide the potential for events to be held in the space.

It is not unusual to come across an 'unexpected' public space within a townscape - a space that is not immediately apparent within the townscape on approach from the periphery of the area. Many British and European cities benefit from strong urban spaces such as these and notable example is St Christopher's Square in Central London.



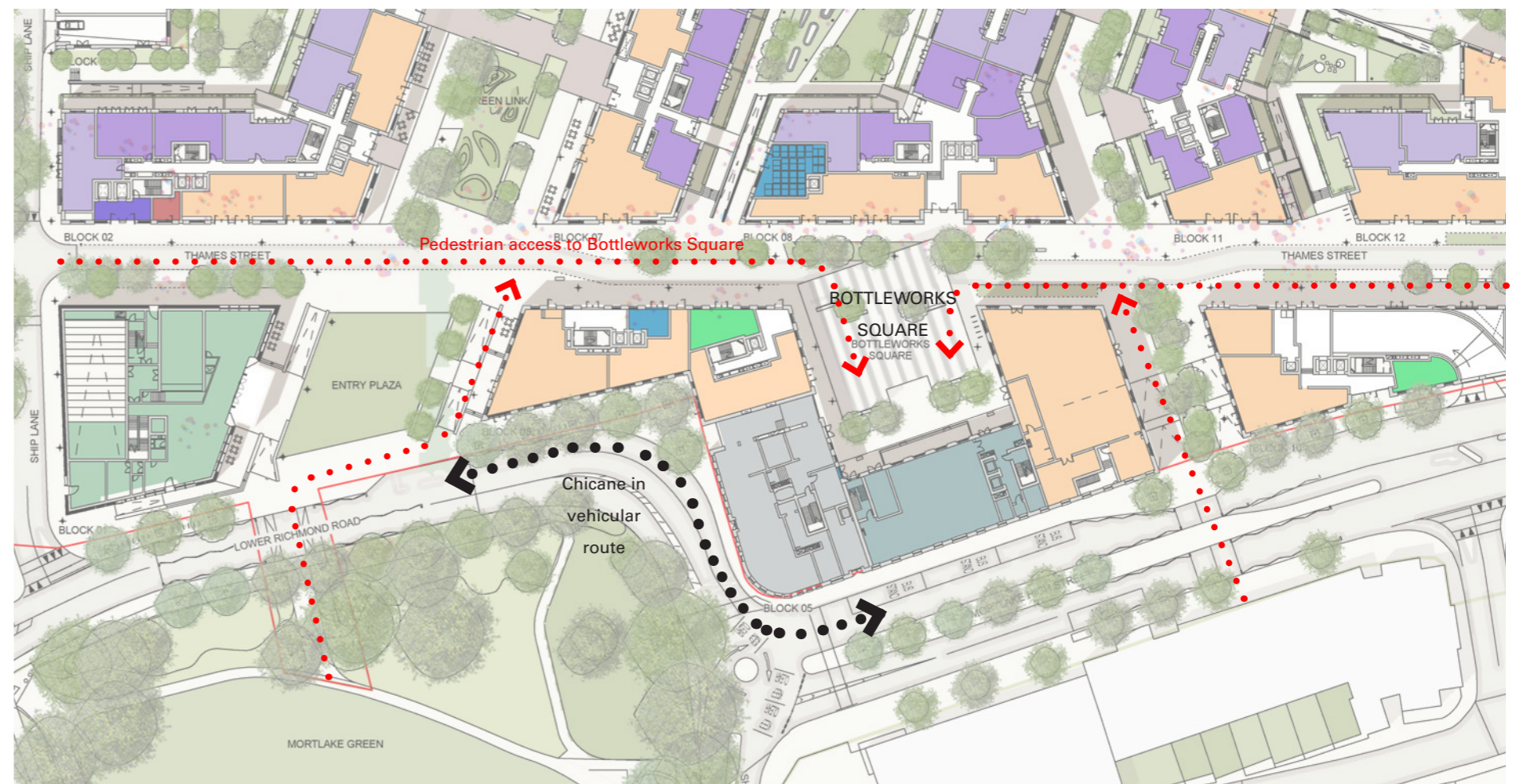
St Christopher's Place



St Christopher's Square



Planning brief proposal for alternative green link location



Proposed plan showing pedestrian access to Bottleworks Square



Submitted visualisation of Bottleworks Square

- BTM should stand independently; side elevation of this BTM should also be retained. Provide visualisations of glazing between Block 5 and 6 to justify addition.

The hotel building has been deliberately joined to the proposed adjacent residential building (B6) to prevent pedestrians jay walking across the potentially dangerous chicane in the road. The buildings are joined by a two storey high glazed link element that is subservient in appearance to the brick buildings it joins. This glazed link is proposed to serve as a double height restaurant/bar space that is part of the hotel. The detailing of the glazed façade will be minimal (with silicone joints as opposed to cover caps) and the brick facades of both adjoining buildings will be exposed internally within the restaurant/bar space. The existing north façade of the hotel building is proposed to be retained and adapted to suit the requirements of the new hotel function.

- The chimneys are an important visual element of the hotel roofscape and should be retained for the corner landmark hotel. They are shown in the D+A statement vol2 as retained (p56), but shown removed in the planning application drawings – eg in D+A Statement vol5 – there are also some differences of fenestration. Removal of slate roof and chimneys are unacceptable. This would be damaging to the character of the BTM, architectural integrity and historic interest. The chimneys are an important part of the overall composition of the hotel roofline. The Heritage statement does not cover this issue. Retain chimneys and clarify differences in fenestration. The heritage statement does not cover this issue.

Drawings have been revised to show re-instatement of chimneys (in slightly different positions that co-ordinate with the structure of the building below). It is not possible to retain the existing chimneys because the existing basement is proposed to be deepened.

- Confusion over the roof materials of the hotel. Metal roof is shown on the application drawings, which is completely unacceptable, damaging to the character of the BTM, architectural integrity and historic interest – the hotel roof is in a pivotal position. However, the D+A S Vol 2 says ‘... slate roof to be reinstated’. Slate roof should be proposed/ reinstated.

The drawings have been revised to show the replacement roof material as slate.



Revised east elevation of hotel

6. Details of fenestration should be provided in particular for the BTMs, to include sections to show double glazing.

We would expect that this is included within the conditions.

7. Lack of permeability through to Bottleworks Square.

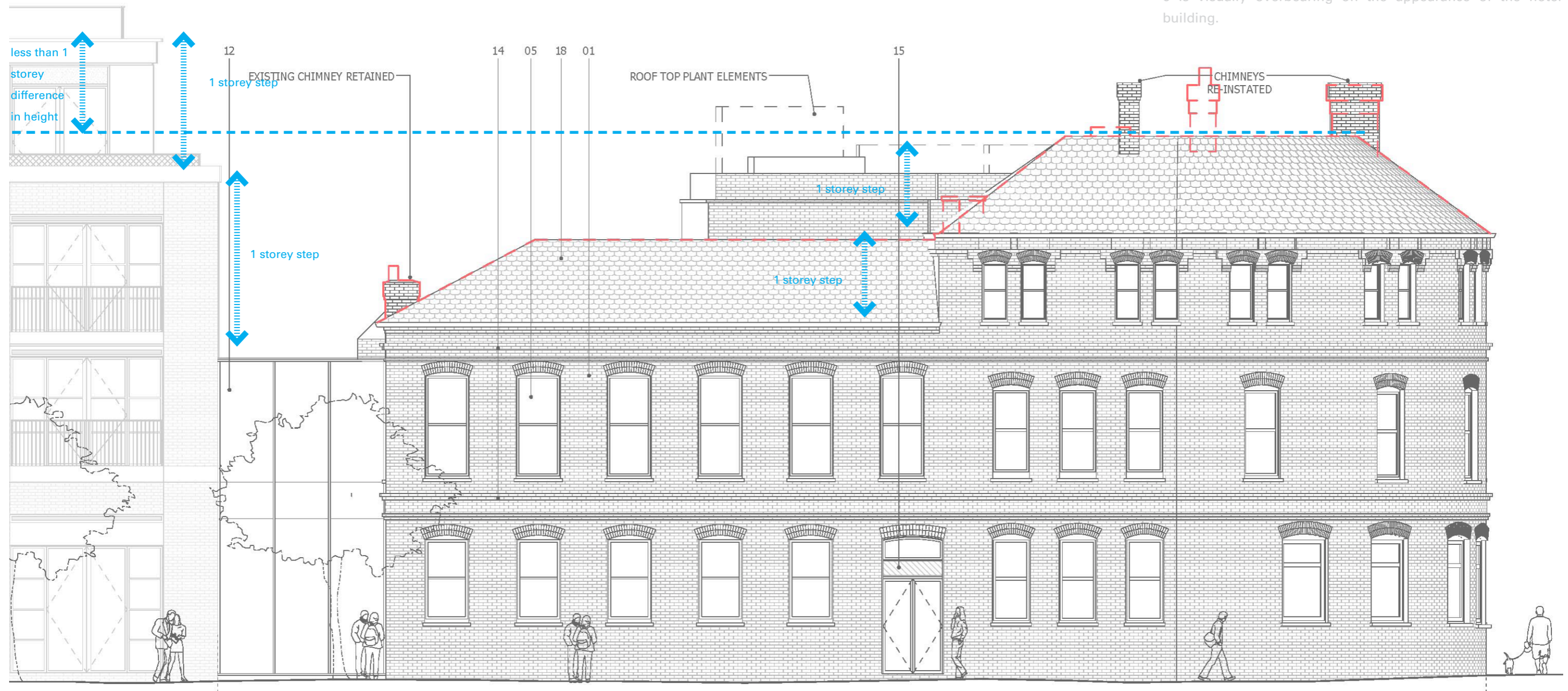
Please refer to item 2.

8. Chimneys must remain.

Please refer to item 4.

9. Uncomfortable 'proportion' relationship between building 6 and hotel. It is recommended the proportions reflect that of the hotel.

The existing hotel building is two/ three storeys high. The northernmost part of the building adjacent to Building 6 is two storeys and the three storey element steps up at the corner junction with Mortlake High Street. Building 6 is proposed as being three storeys high with an additional set back level. We do not believe that the resultant steps in building height are unacceptable since they are in single storey increments. Furthermore, we disagree that the stepped profile of Building 6 is visually overbearing on the appearance of the hotel building.



Revised west elevation of hotel

10. Remove glazed balustrade at roof level.

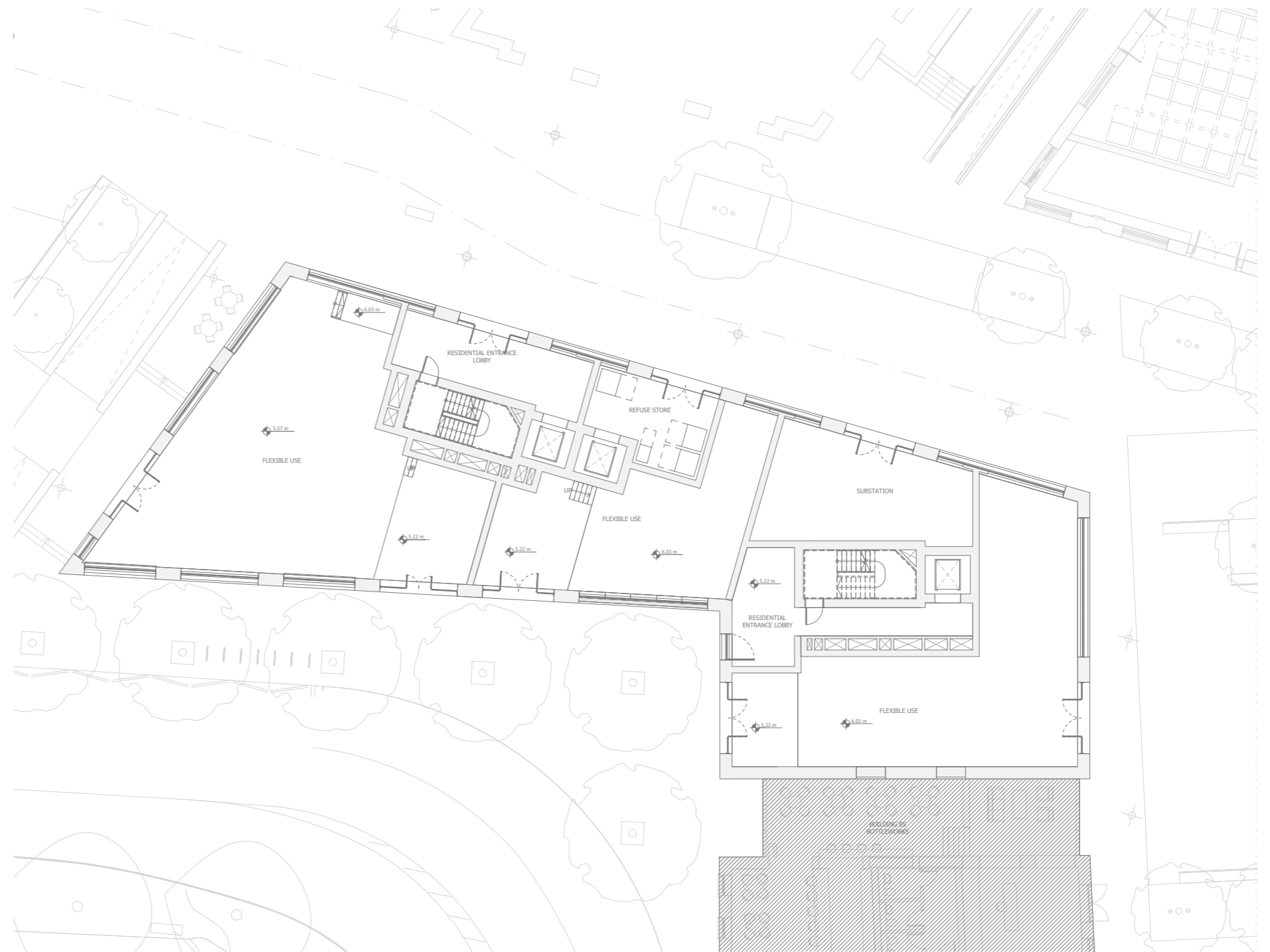
The roof level balustrade was proposed as a means of edge protection (from risk of falls) to any maintenance personnel when accessing roof top plant. We would not recommend removing this balustrade since this would pose a health and safety risk.

11. South elevation – poor relationship with street frontage in response to being higher. It has no active frontage/ access. Reconsider.

The proposed south elevation of Building 6 is three plus one set back storeys high (consistent with the height that wraps around the corner to meet the hotel building). The heights of this building are proposed to align with those of the cinema building, which sits on the opposite side of the entrance to the 'Green Link'.

The ground floor level of this building has been set at a level to provide level access from the middle of the frontage facing the green link. As a consequence, the level sits approximately 600mm above the pavement on the south elevation. Flexible use space is proposed along the entire frontage of the ground floor level that faces on to Lower Richmond Road. This area of façade is largely glazed and is only interrupted by vertical brick piers that come down to meet ground level. It therefore offers significant expanse of active frontage.

We do however recognise that the continuation of all brick piers down to ground level is limiting the width of available flexible use frontage. We therefore proposed that selected intermediate piers are omitted at ground floor level in order to increase the amount of glazing.



Revised ground floor plan of Building 6



Revised north elevation of Building 6

12. North elevation – poor relationship with Thames Street – entrance, refuse, substation – lack of frontage.

The phasing of Development Area 1 necessitates a series of sub-stations strategically distributed across the site. One of these sub-stations is proposed at the base of Building 6. Unfortunately, the statutory and technical requirements mean the space must be ventilated, therefore grilles are proposed to this secure enclosure. The metalwork grilles to these sub-stations could be fabricated to bespoke designs and could be conditioned.

The quantum of residential units also necessitates that minimum refuse storage (and collection) standard are met. The size of this refuse store has been sized according to the relevant standards and must be within a maximum distance of the refuse vehicle route (along the new High Street). It is also worth noting that refuse vehicles must also be able to navigate the route in a forward motion.

These constraints have resulted in the North elevation being largely occupied by utilitarian spaces. However, we have endeavoured to intersperse flexible use and residential entrances between the more utilitarian elements and the entrance lobby to the eastern core has been re-configured to increase flexible use frontage facing Bottleworks Square.



Building 6 - revised south elevation



Proposed site elevation (along Lower Richmond Road and Mortlake High Street)

13. Block 6 and Block 5: only 4m gap between flat and wall. Unacceptable.

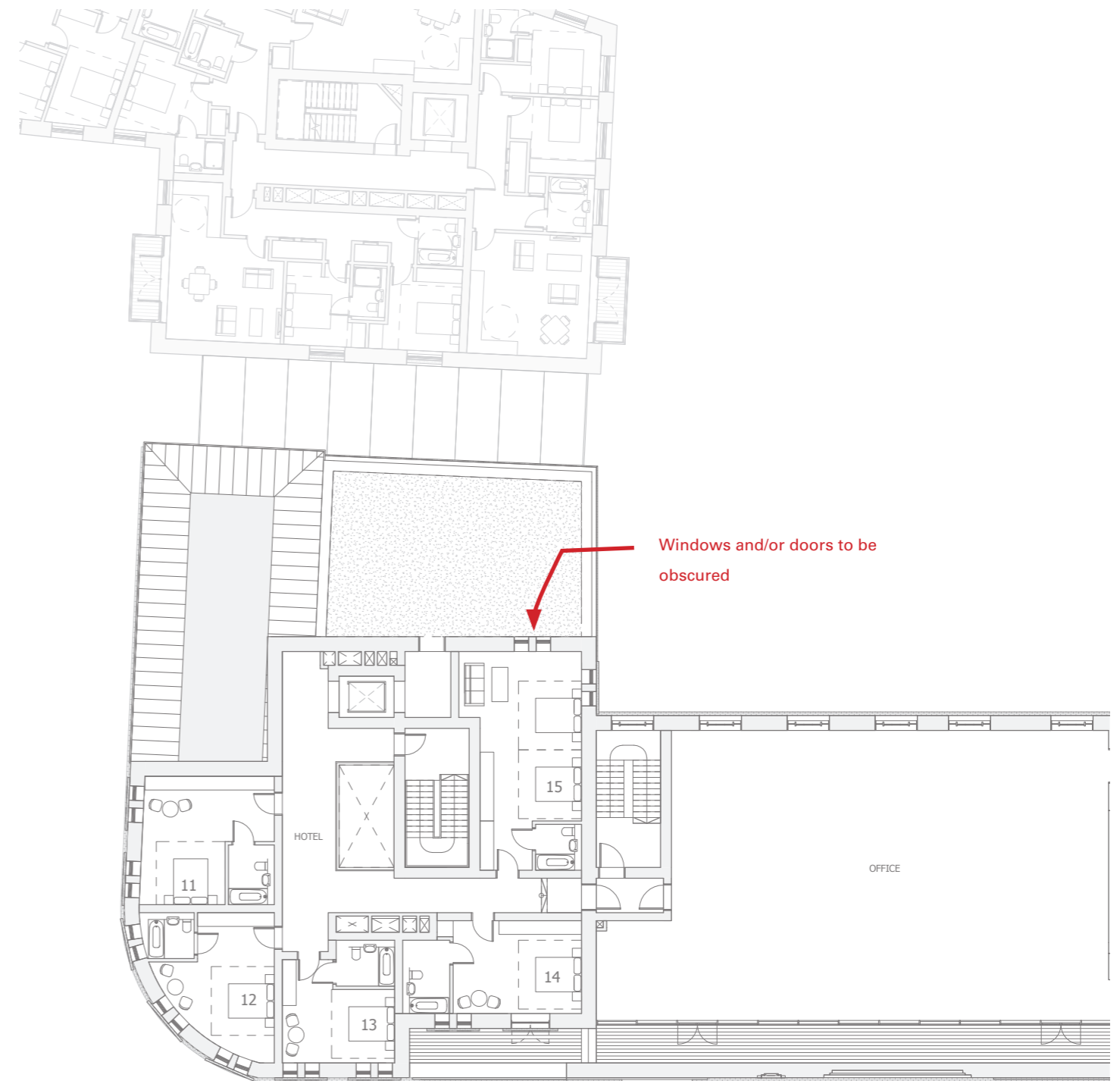
14. Block 6 with 7 and 8: only 16m gap. Unacceptable living conditions.

The 4 metre gap between the buildings is sufficient to clearly separate and distinguish the massing of Building 6 from the hotel building. The only windows that overlook from Building 5 towards Building 6 are to the set back elevation at second floor level of the hotel – we will be amending the elevation to either omit or obscure the hotel windows that face Building 6.

Please see section dedicated to 'Proximity of Buildings'.



Revised south elevation of building 6



Proposed second floor plan of Buildings 5 and 6