



Proposed variations to balustrade design



Alexandra Court - exsample of vertical hierarchy within balustrade design



Castelnau Mansions - balustrade design



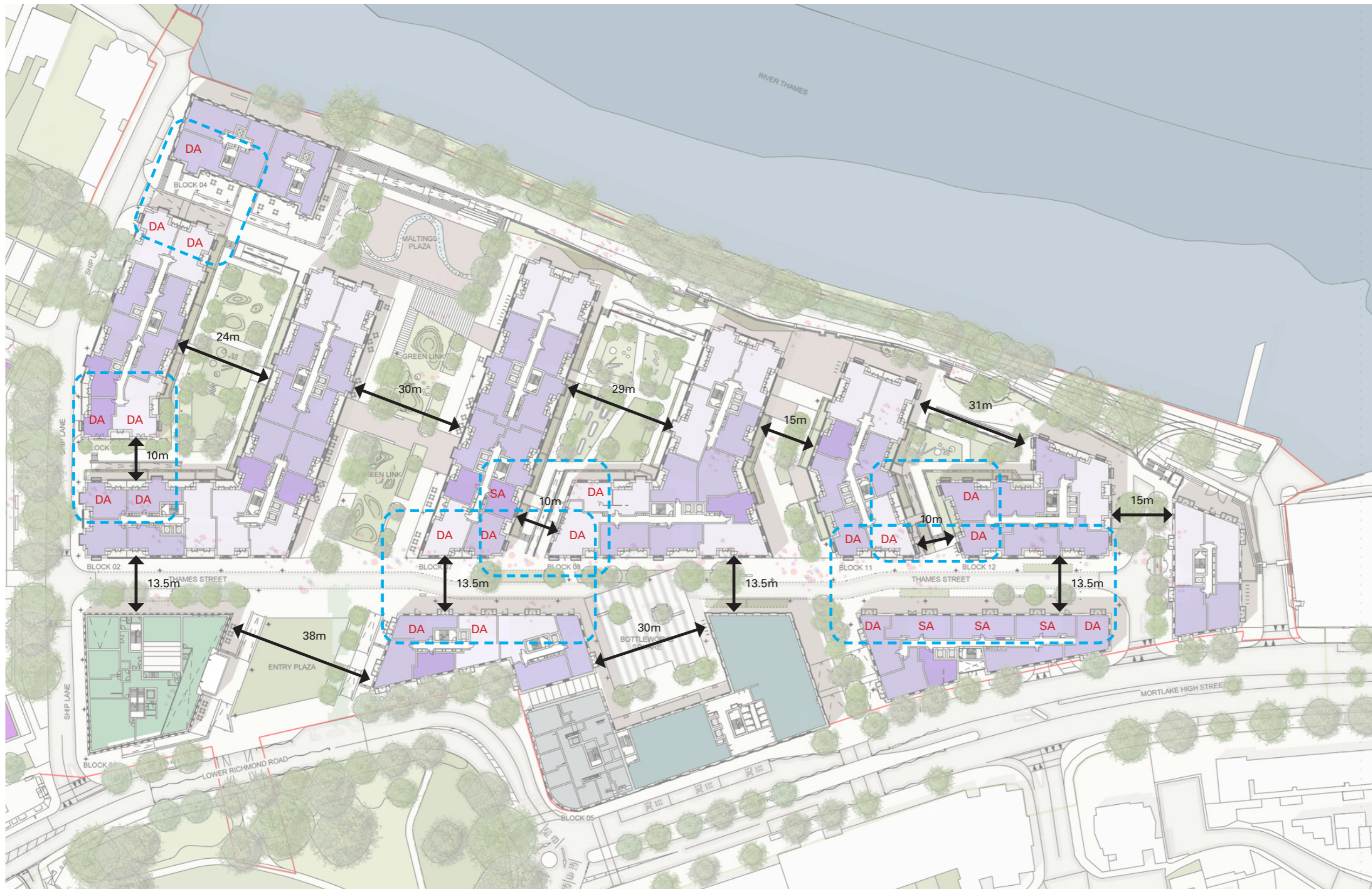
Richmond Bridge Mansions - balustrade design

#### Proximity of buildings - detailed analysis and summary

The following pages provide detailed analysis for specific building relationships that LBRuT have highlighted as requiring justification in terms of overlooking issues. This analysis highlights the opportunity for incorporation of obscured glazing to mitigate overlooking issues.

Following is a list of the circumstances LBRuT have raised concerns about and opposite is a plan of the site highlighting those circumstances.

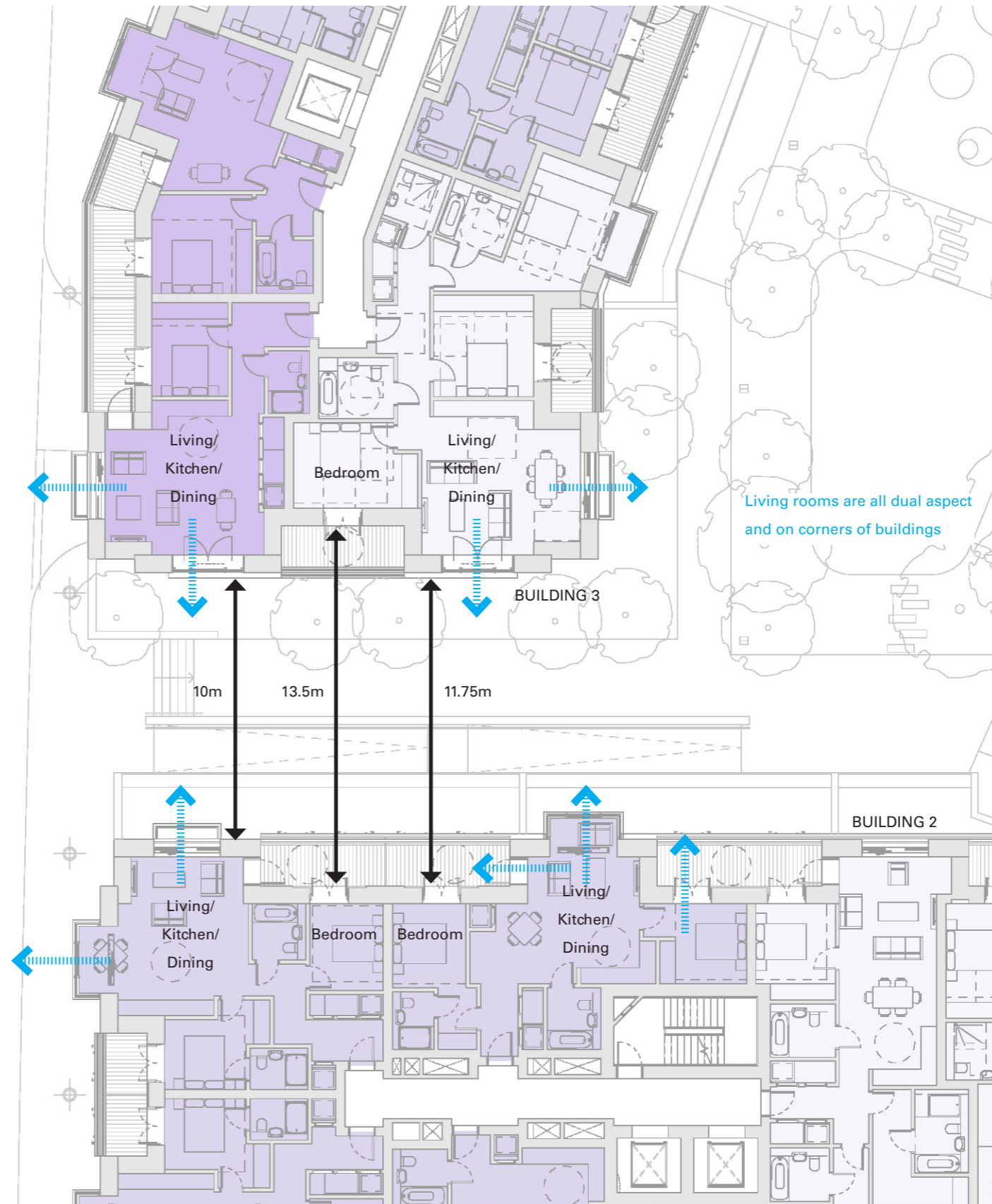
- Distance between Building 2 and 3
- Distance between Building 3 and 4 (Maltings Building)
- Distance between Building 7 and 8
- Distance between Buildings 7 and 8 with 6
- Distance between Buildings 11 and 12
- Distance between Buildings 11 and 12 with 10



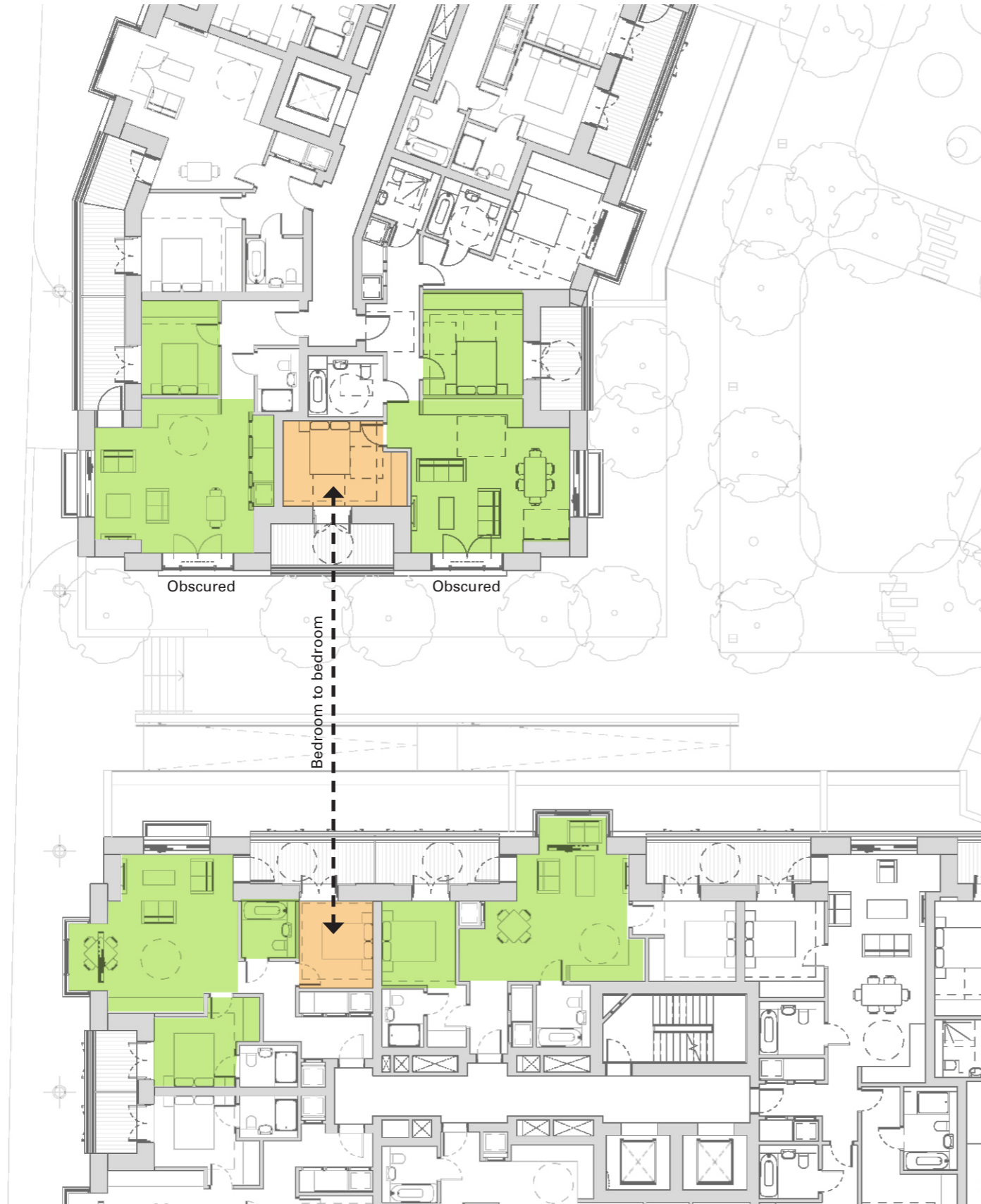
Proposed typical floor plan of Development Area 1 - showing separation distances (DA denotes dual aspect apartments)

### Proximity of buildings - Buildings 2 and 3

- All facing units are dual aspect
- Living/ kitchen/ dining rooms are located on corners for dual aspect and/or increased daylight provision
- By obscuring glazing, overlooking is largely mitigated
- Exception of two facing bedrooms that are set back behind balconies and balustrades
- Set back provides screening and should be considered acceptable in terms of privacy



Proposed typical floor plan of Buildings 2 and 3 - proposed layout

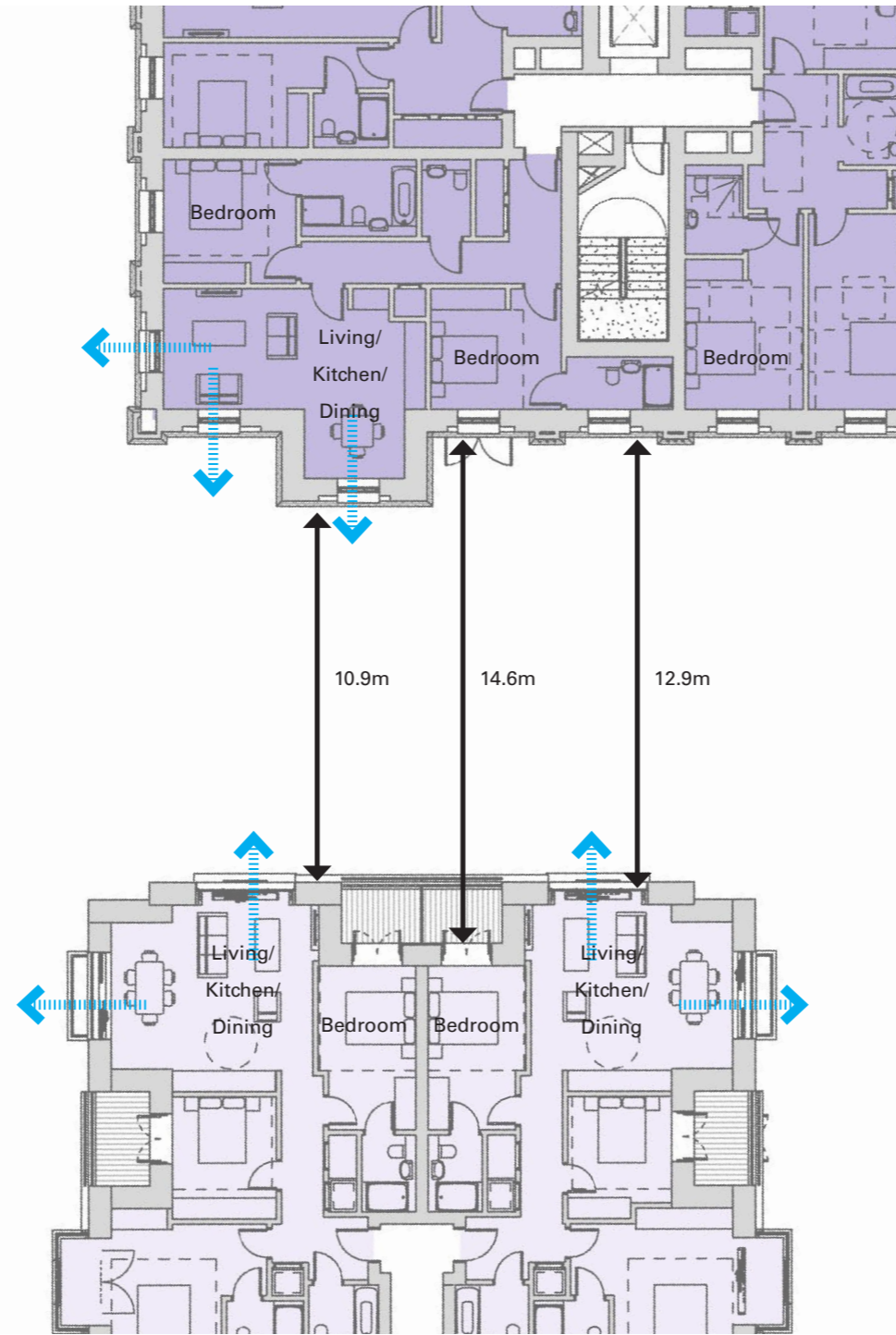


Proposed typical floor plan of Buildings 2 and 3 - suggested mitigation

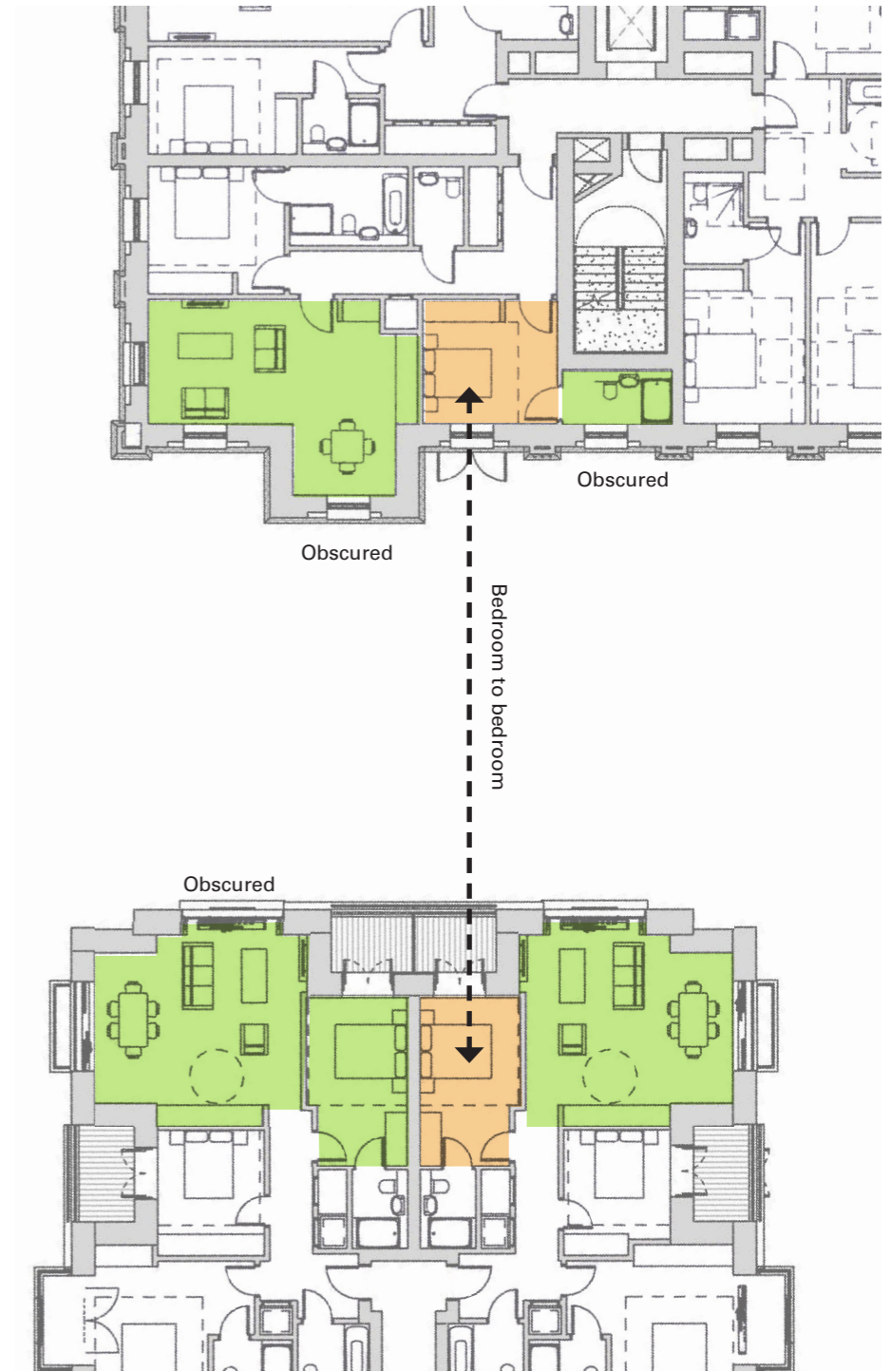
- No overlooking issues
- Bedroom to bedroom and living room to living room overlooking only

Proximity of buildings - Buildings 3 and 4 (Maltings)

- All facing units are dual aspect
- Living/ kitchen/ dining rooms are located on corners for dual aspect and/or increased daylight provision
- By obscuring glazing, overlooking is largely mitigated
- Exception of two facing bedrooms (one of which is set back behind balconies and balustrades)
- Set back provides screening and should be considered acceptable in terms of privacy



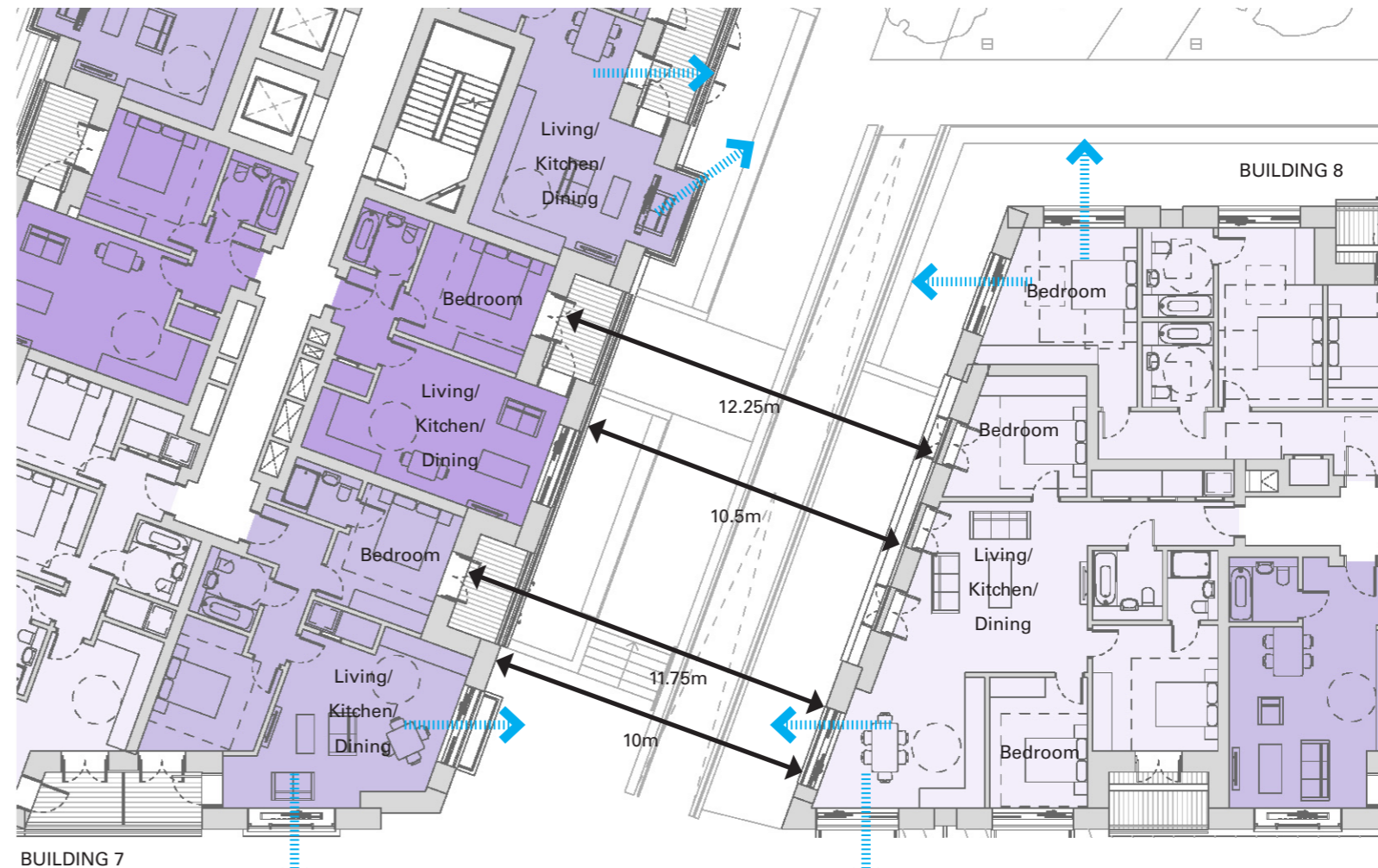
Proposed typical floor plan of Buildings 3 and 4 - proposed layout



Proposed typical floor plan of Buildings 3 and 4 - suggested mitigation

Proximity of buildings - Buildings 7 and 8

- Most facing units are dual aspect
- Living/ kitchen/ dining rooms are located on corners for dual aspect and/or increased daylight provision
- By obscuring glazing, overlooking is largely mitigated
- Exception of two facing bedrooms (one of which is set back behind balconies and balustrades)
- Set back provides screening and should be considered acceptable in terms of privacy



No overlooking issues



Bedroom to bedroom and living room to living room overlooking only

