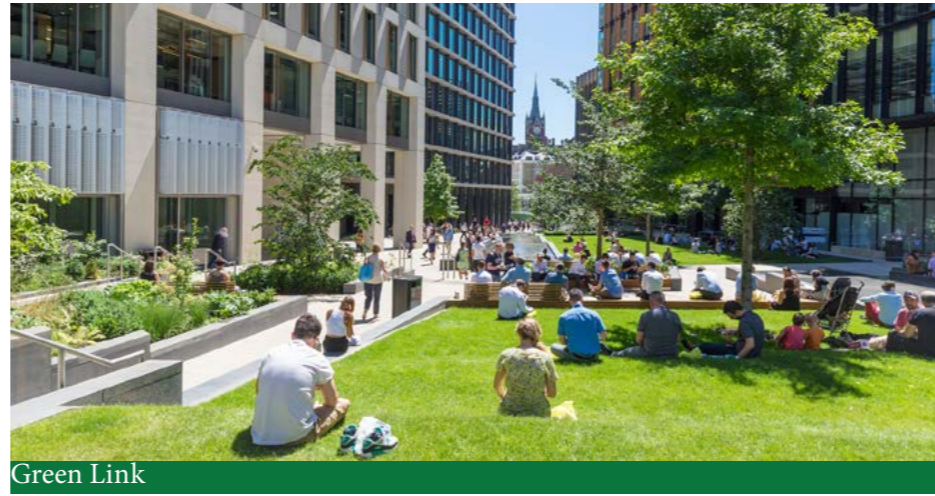


CHARACTER AREAS



Green Link



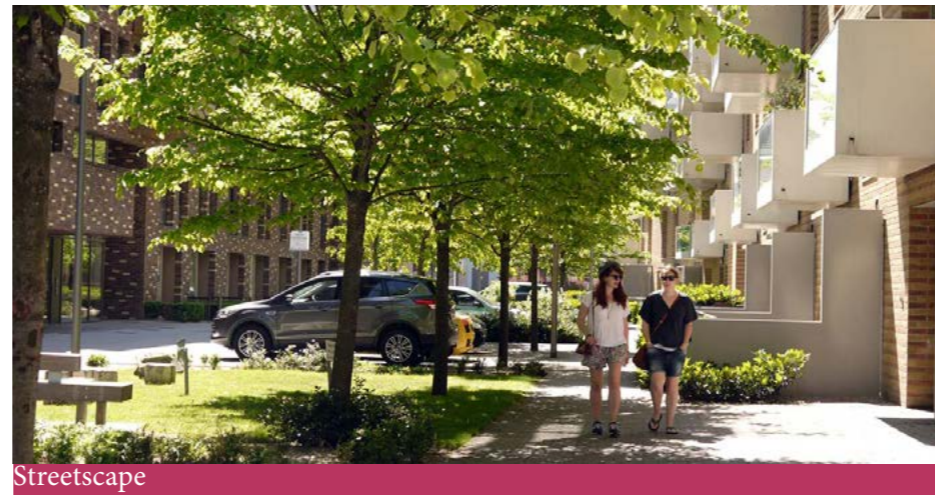
Green Link



River terrace



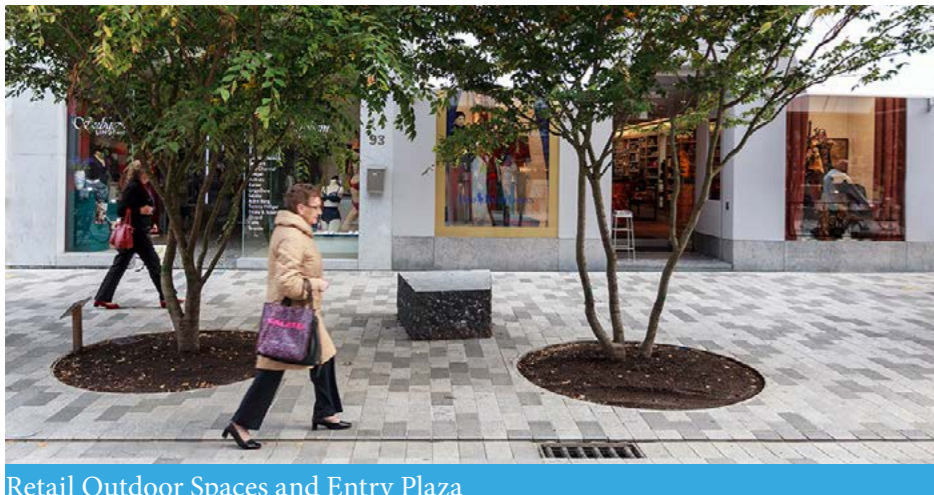
Residential Courtyards and Private Terraces



Streetscape



Retail Outdoor Spaces and Entry Plaza



Retail Outdoor Spaces and Entry Plaza



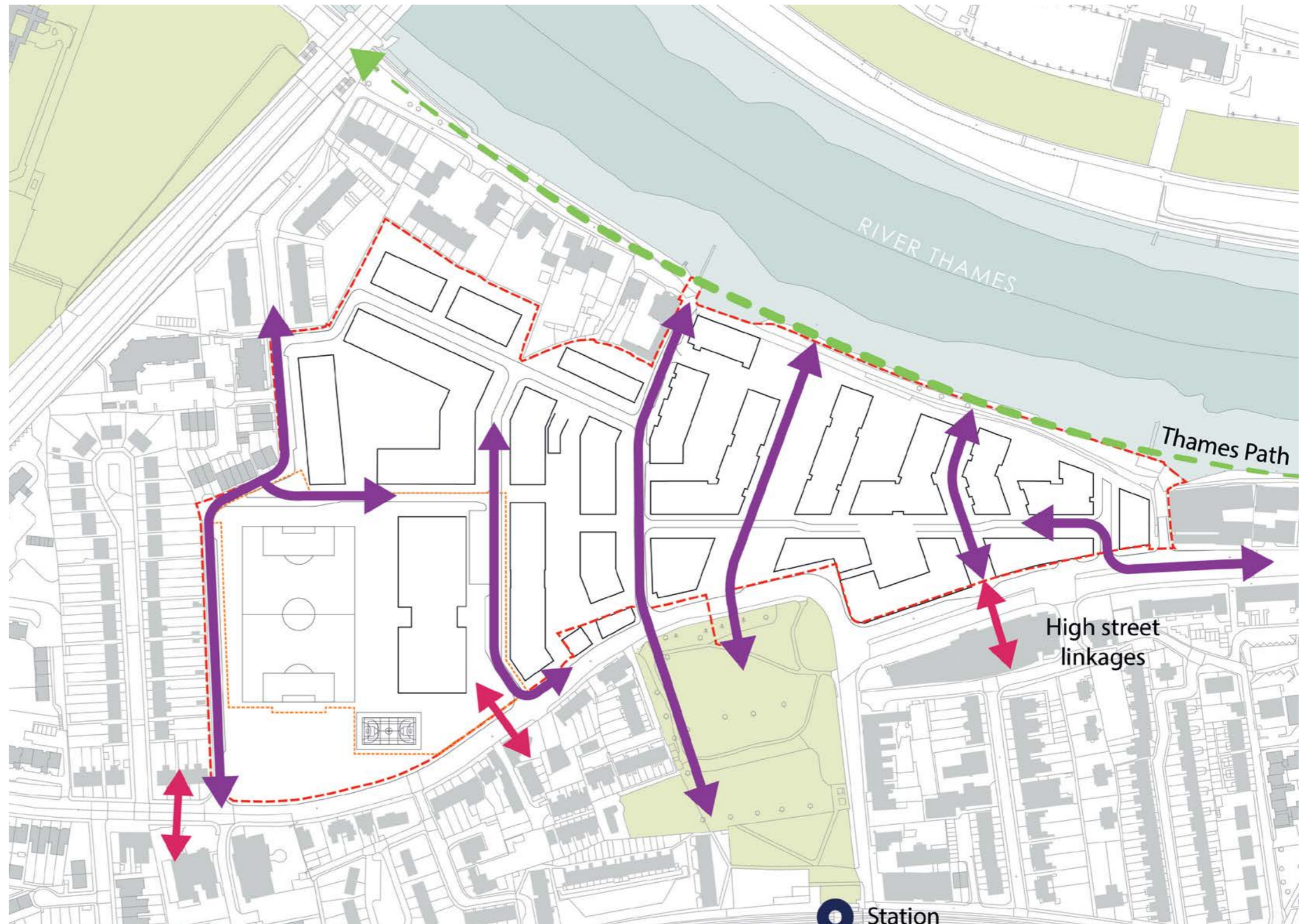
Bottleworks Square








Raingarden

LINKAGES AND PERMEABILITY

A fundamental element of the masterplan is to provide additional links into and through the site to access the river and Towpath. The new layout and built form integrates a number of 'street' links through the site from Lower Richmond Road and Mortlake High Street and public access is also provided through the building plots and residential courtyards between the buildings.



Legend

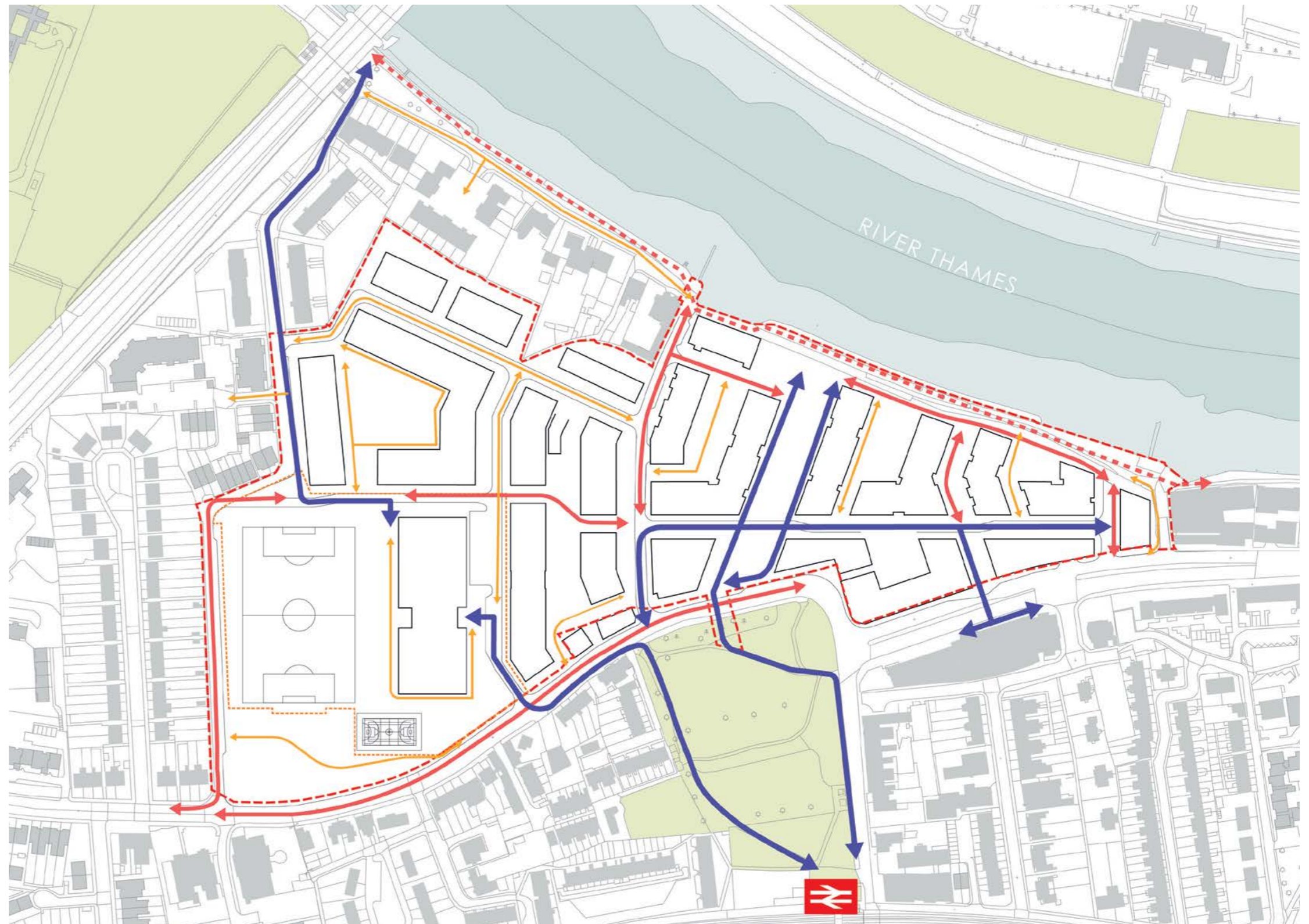
-  Pedestrian Crossings
-  High Street Linkages
-  Thames Path
-  Site Application Boundary
-  School Application Boundary

CIRCULATION AND ACCESS







PEDESTRIAN CIRCULATION

Following revisions to the architecture of the Site, amendments to the design and pedestrian circulation was required to the courtyard adjacent to Blocks 18 and 19. Consideration has been given to the principle of maximising pedestrian access and circulation within and beyond the site, affording residents and visitors the opportunity to move through this site and connect to the surroundings in a way that has not existing for hundreds of years. Connection with the existing street network, riverside path, open space and surrounding development has been paramount in the establishment of a new masterplan. Permeability through the site creates opportunities for creation of exciting and active spaces and provides connection to the Thames River - a major asset to any London site.

The Design Team was conscious of the need to enable access throughout the site and have carefully designed public accessible spaces within each building complex and central courtyard to allow public access for all users. This level of permeability adds to the more obviously public network of 'streets' and open space links to maximise the access and circulation options.



Legend

-  Primary
-  Secondary
-  Tertiary
-  Towpath
-  Site Application Boundary
-  School Application Boundary

CIRCULATION AND ACCESS

CYCLE CIRCULATION

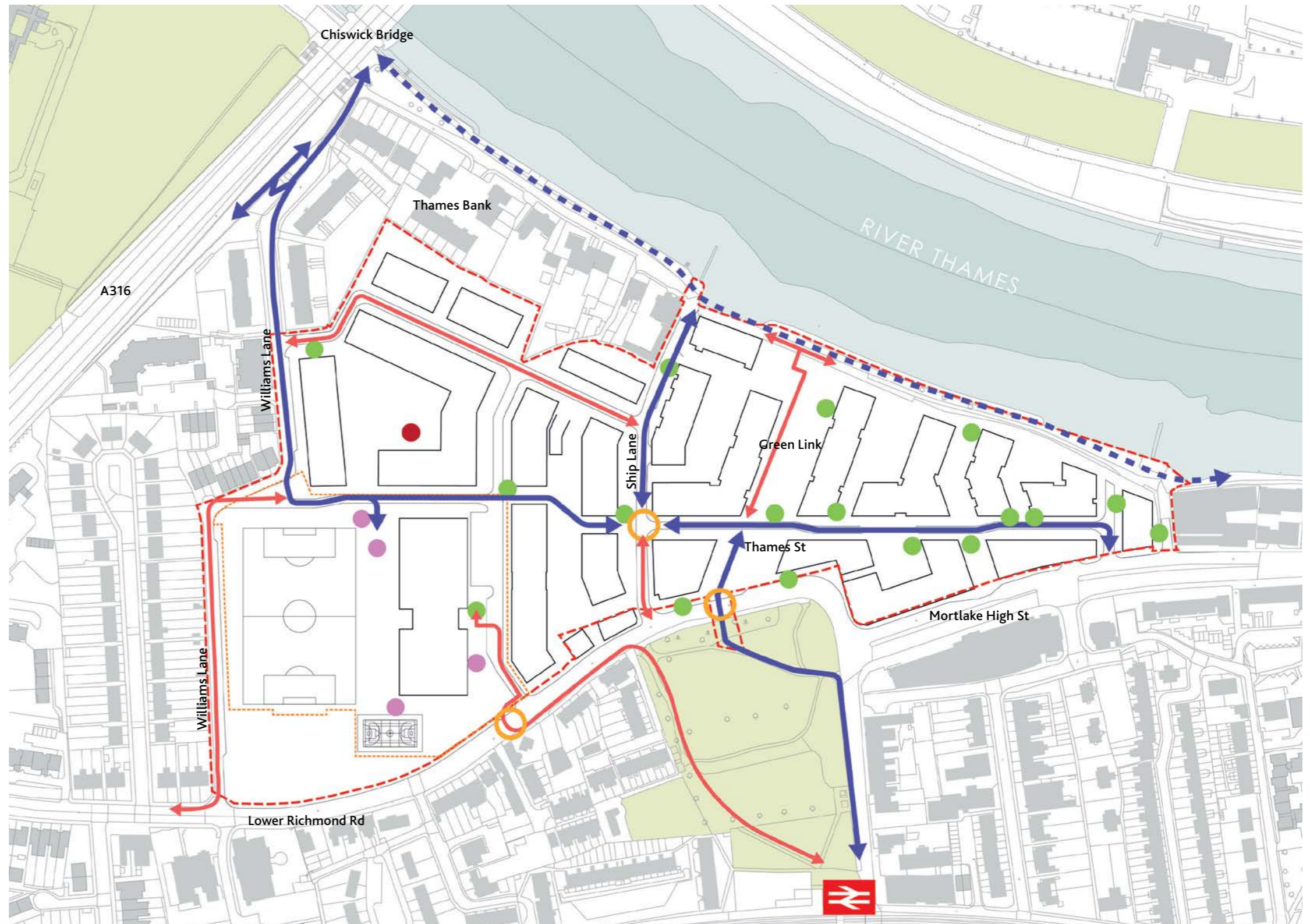
The site affords connectivity and circulation by cycles for residents, school children and visitors from the local area, with broad pavements and a series of connecting streets, paths and open spaces. The Cycle Strategy allows for cycle access throughout the site and connection to the wider network of streets and cycle paths at a number of points. This allows the site to provide a facility for safe quiet recreational cycling away from the busier roads. Following consultation with Cycle Access Group the design has been adjusted to enhance and define the cycle routes. These include amendments to the routes, signage landscape design.

The primary routes indicated connect the A316 and Chiswick Bridge along Williams Lane to the Secondary School and further into the Site along Thames Street, exiting onto Mortlake High Street between Blocks 5 and 10. Other primary routes link the River Thames to Mortlake Green via Ship Lane and Thames Street and the Green Link to the new crossing on Lower Richmond Road, with further planned improvements within Mortlake Green to further enhance this connection to the wider network as far as Richmond Park.










Secondary routes to the school are proposed from the A316 turning into Williams Lane and Lower Richmond Road. Other secondary routes include The Green Link to the River Thames, Ship Lane and the proposed streets and laneways within the Site designed to provide sufficient space to cater for cyclists as well as pedestrians.

Cycle racks for short term visitors are provided in a number of locations around the Site adjacent to facilities and function areas, as well as the required cycle parking for the school. Residents' cycle storage is provided within the basement, with direct link to lifts. A number of long stay secure cycle units are provided within Block 18 and 19 courtyard and adjacent streets.

The Towpath / Thames Path is wide enough to be shared with joggers and pedestrians and careful use of this facility will enable enjoyment by all.



Legend

-  Primary (Quiet Route)
-  Secondary
-  Towpath
-  External Cycle Rack Location
-  Secured Long Stay Cycle Rack Locations for School
-  Secured Long Stay Cycle Rack Locations
-  Crossing Treatment
-  Site Application Boundary
-  School Application Boundary

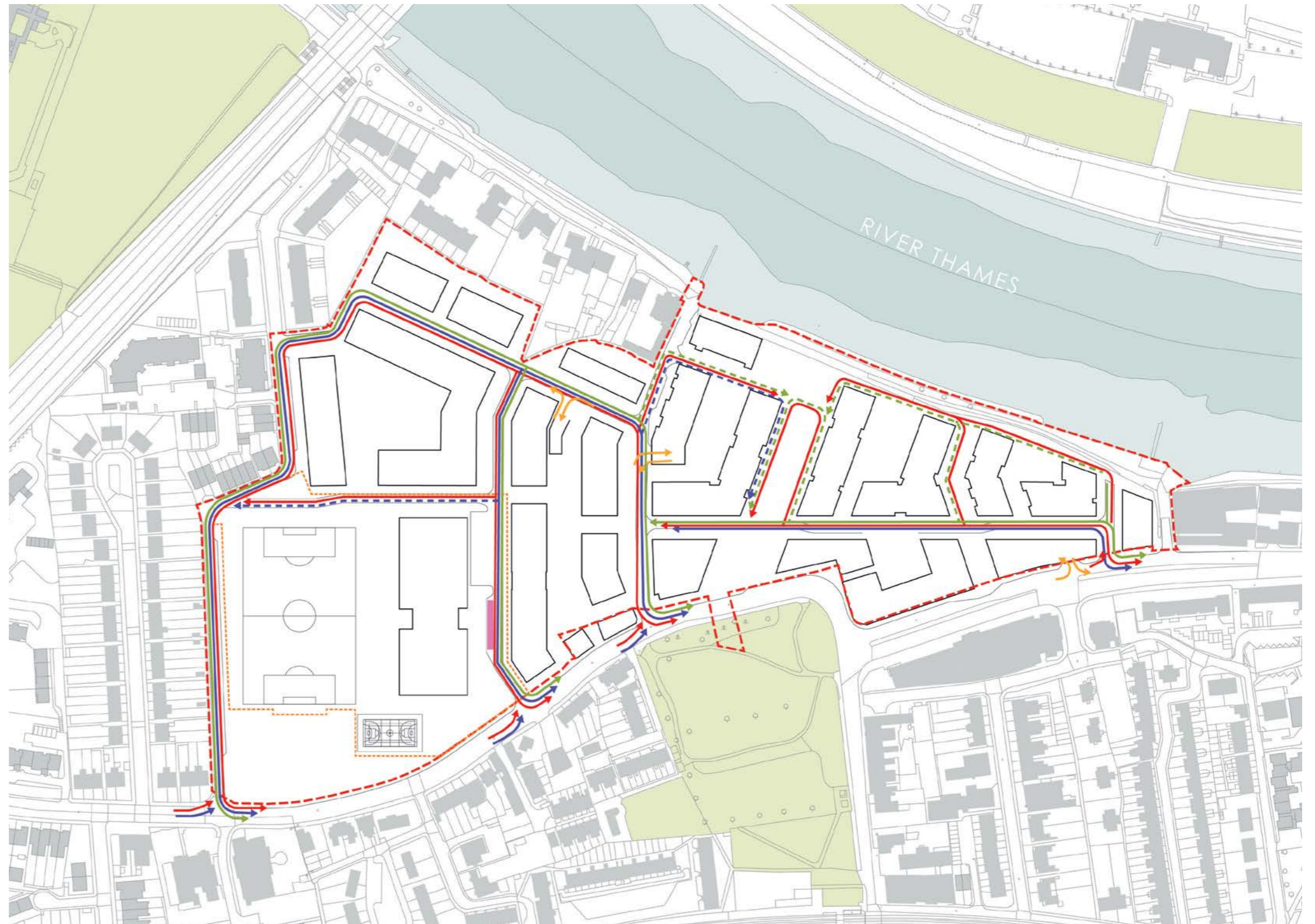
CIRCULATION AND ACCESS

VEHICLE CIRCULATION AND ACCESS

The Detailed area of the masterplan is largely car free, with a basement under almost the full extent of Development Area A, accessed at two points - in Ship Lane and Mortlake High Street. Beneath the outline area a reduced size basement is also proposed with access from the Northern Road. Smaller delivery van access (max 2.3m ht clearance) and commercial parking (Cinema etc) is also provided in the basement, with major deliveries, taxis, service and emergency vehicles provided access to the ground level via a bollard controlled access points to or from Ship Lane (Thames Street and adjacent to Maltings Building) and Mortlake High Street onto Thames Street from the west. All vehicular access to the basement or ground level will be managed by on-site Facilities Management and / or carpark management. On-street parking on Williams Lane will include 20 parking spaces. Five on-street parking spaces including three Car Club spaces will be provided on Ship Lane.

The Outline Area consists of a more traditional street configuration as shown and connections with existing streets are provided at Williams Lane, Ship Lane and Lower Richmond Road. This provides access and circulation for all vehicles.

The street north of the School is proposed to be a controlled shared zone for school access (pedestrians and cycles) and occasional school bus pick up / drop off. This one way route will be controlled with fixed and removable bollards and will be designed to an adoptable standard, with wide footpaths, street trees, seats and cycle stands. (refer School Application for additional details)



Legend

- Fire Tender
- Waste Collection
- Waste Collection intermittent access required
- Delivery
- Delivery intermittent access required
- Passenger (Residential/Retail)
- School Bus Stops
- Site Application Boundary
- School Application Boundary

CIRCULATION AND ACCESS

SERVICE / EMERGENCY VEHICLES

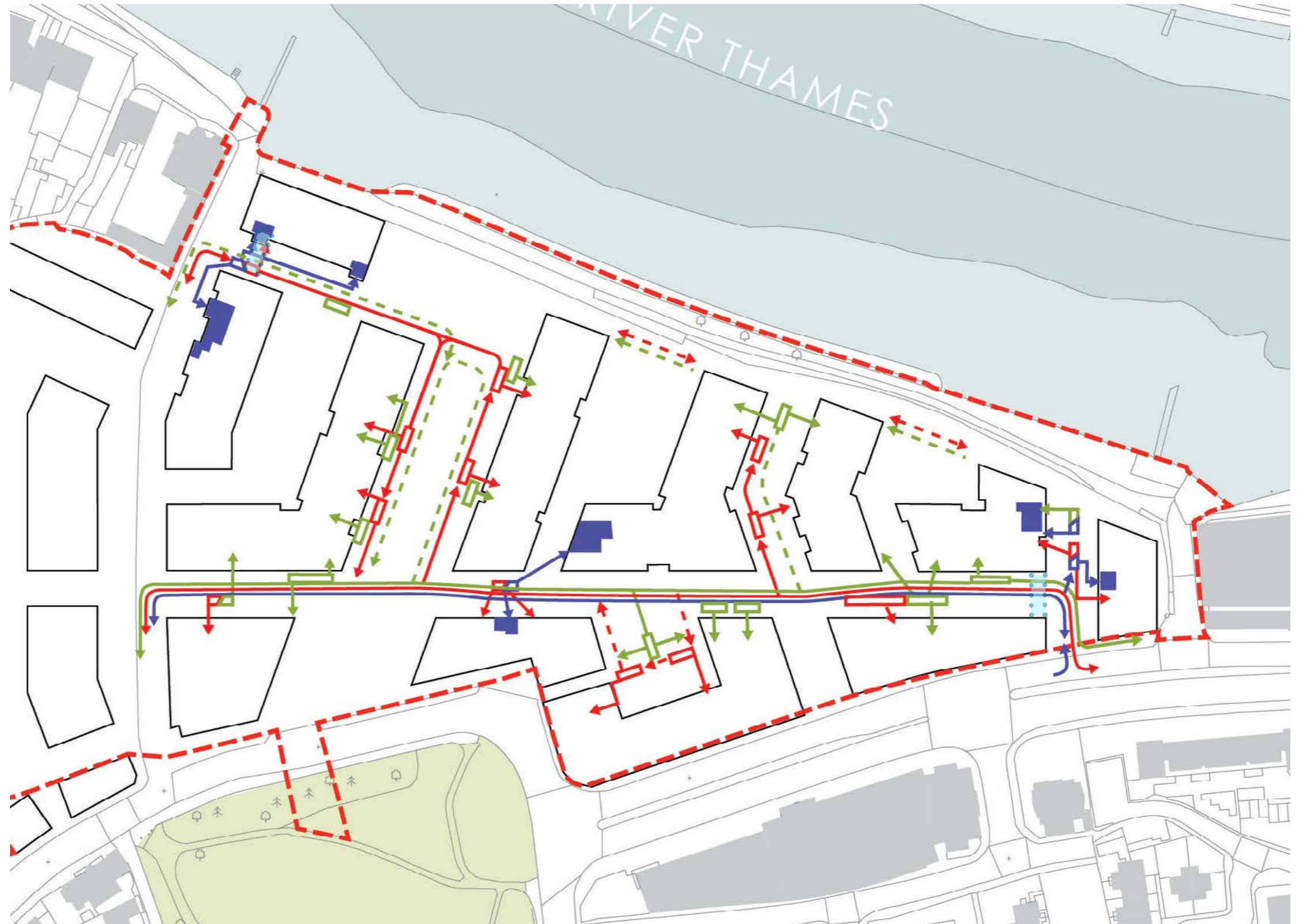
Service and delivery vehicles access into Development Area 1 is controlled, with removable / retractable bollards at each of three entry points, managed by the on-site Facilities Management team / Concierge. Entry points include from Mortlake High Street at the eastern end of the site, with a proposed one way (westbound) circulation of vehicles along Thames Street, exiting onto Ship Lane at the western end. A secondary entry point provides access to Maltings Plaza and via the Green Link back onto Thames Street and Ship Lane.

Vehicle circulation and shared or dedicated loading bays are indicated adjacent to commercial facilities and residential bin stores.

Fire Tender access is provided to all buildings and core locations containing dry risers.

Deliveries to residential and commercial properties will be provided via the basement (max. 2.3m headroom) or ground level access, subject to Facilities Management approval.

Service and emergency vehicles strategy for outline area will be provided in its detailed design stage. For further information relating to vehicular access for emergency services and deliveries please refer to Stantec drawings 38262/5514/005 and 38262-5501-136.



Legend

- Fire Tender
- Waste Collection
- Deliveries
- Access
- - - → Intermittent Access (4m clear)
- Shared Loading Bay
- Bollard Location
- Site Application Boundary
- School Application Boundary

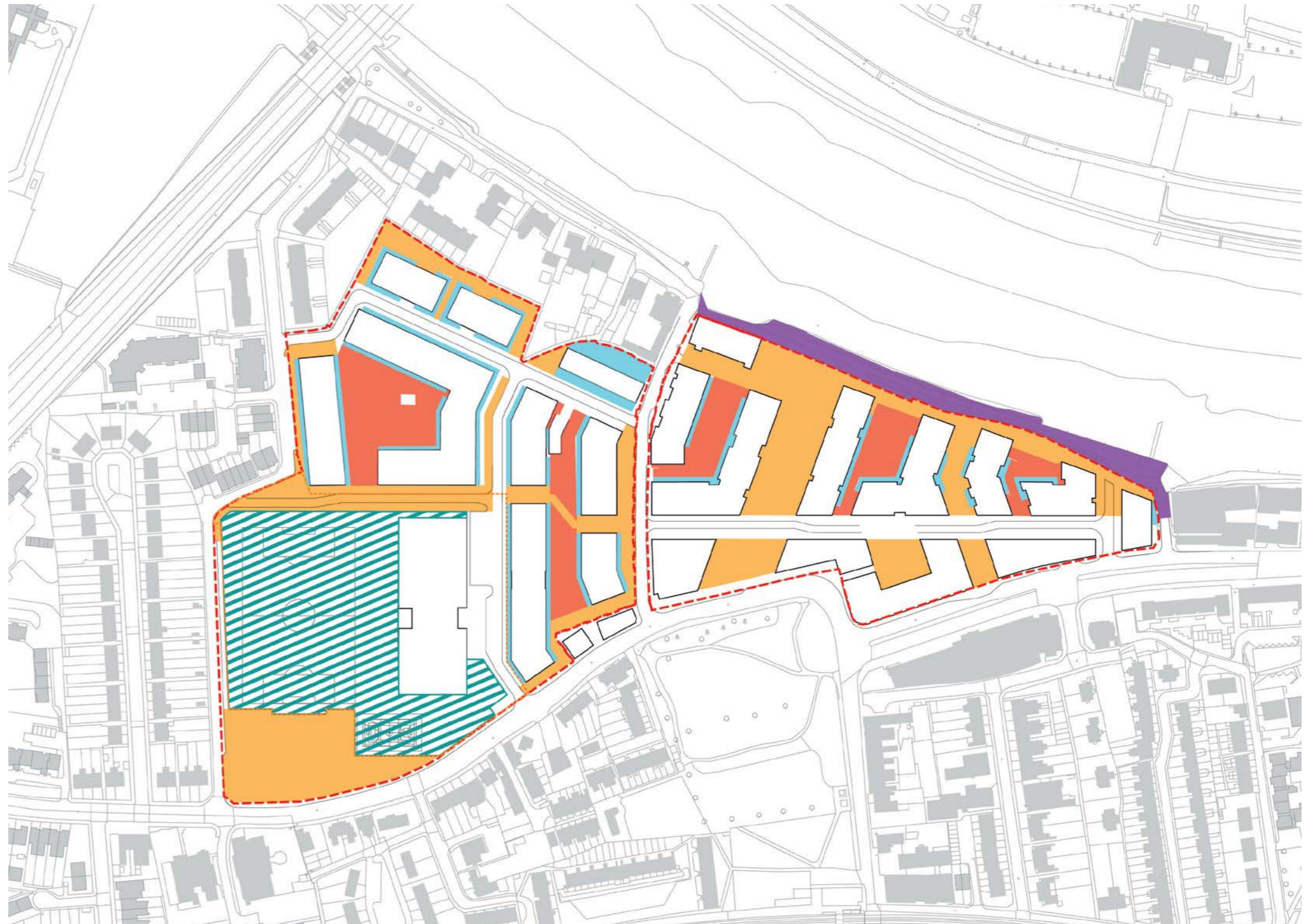
OPEN SPACE STRATEGY

AMENITY OPEN SPACE:

The changes to the amenity space calculations are a result of the changes to the architecture of Blocks 18, 19, 20 and 21.

The Landscape Masterplan has been developed to provide a suitable setting for the built form and circulation of vehicles and pedestrians, as well as creating a hierarchy of large and small open spaces for use by the residents of the site, visitors and the broader community of Mortlake.

The diagram opposite illustrates the provision of all public, semi-public and private open green space across the site, including the Outline Area and Secondary School, providing a total of 4.77 hectares of Amenity Space, including 4.37 hectares of publically accessible open space.



Legend

- Public Space
- Courtyard Space
- Private Space
- School Open Space
- Towpath
- Site Application Boundary
- School Application Boundary

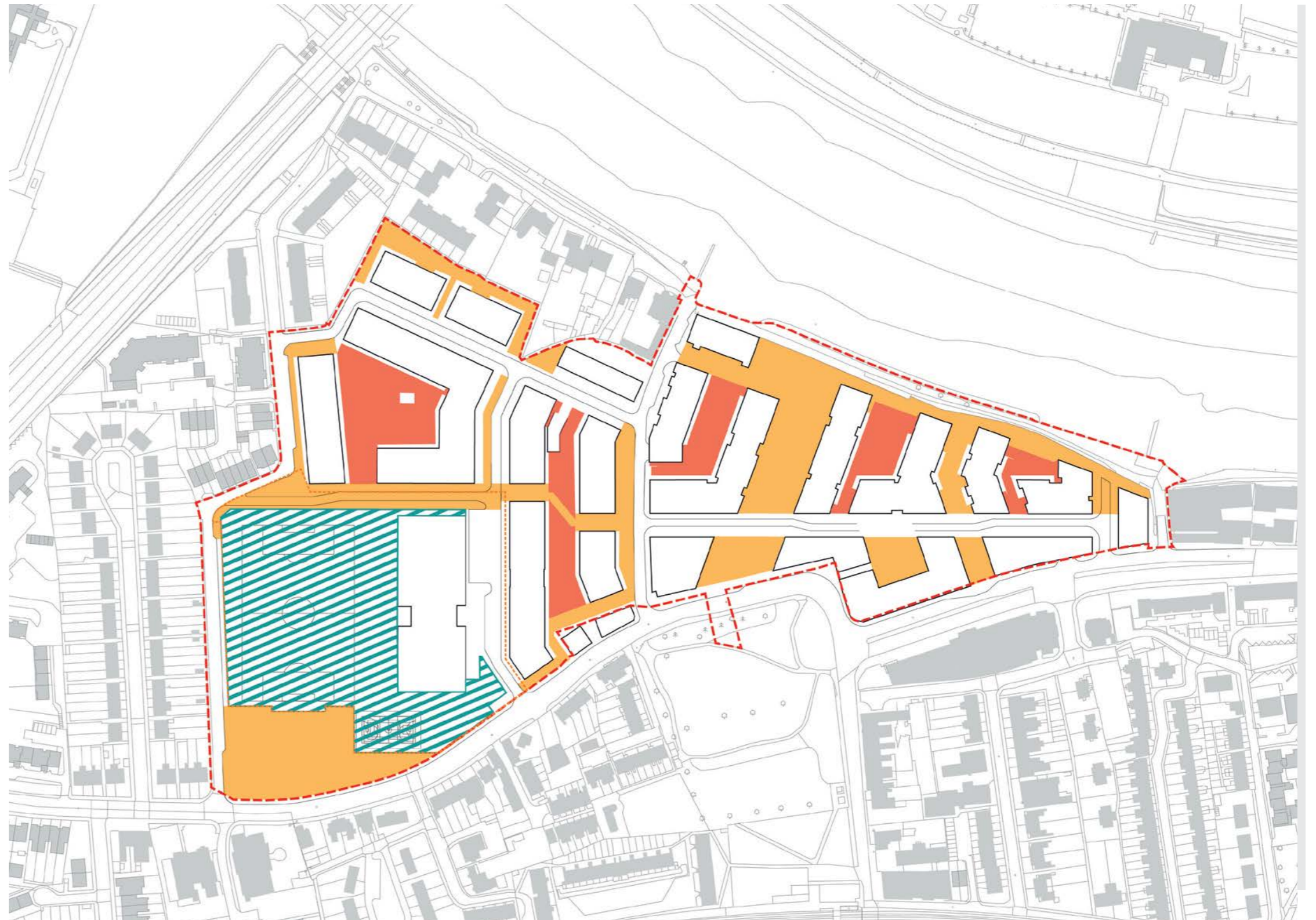
OPEN SPACE STRATEGY

PUBLICALLY ACCESSIBLE OPEN SPACE:

The following series of diagrams indicate proposed Green and Open Space areas, public and private open and green spaces across the site, including both Detail and Outline areas of the masterplan.

Distinction has been made between publically accessible open spaces and private open space associated with the town houses in the outline portion of the development. The majority of other open space areas are publically accessible, including semi-public courtyards within each residential building cluster. This is part of the overall strategy to ensure public access and permeability throughout the site masterplan.

The changes to publically accessible open space are primarily a result of the alterations to the architecture of Blocks 18, 19, 20 and 21 and the adjacent courtyard.



Legend

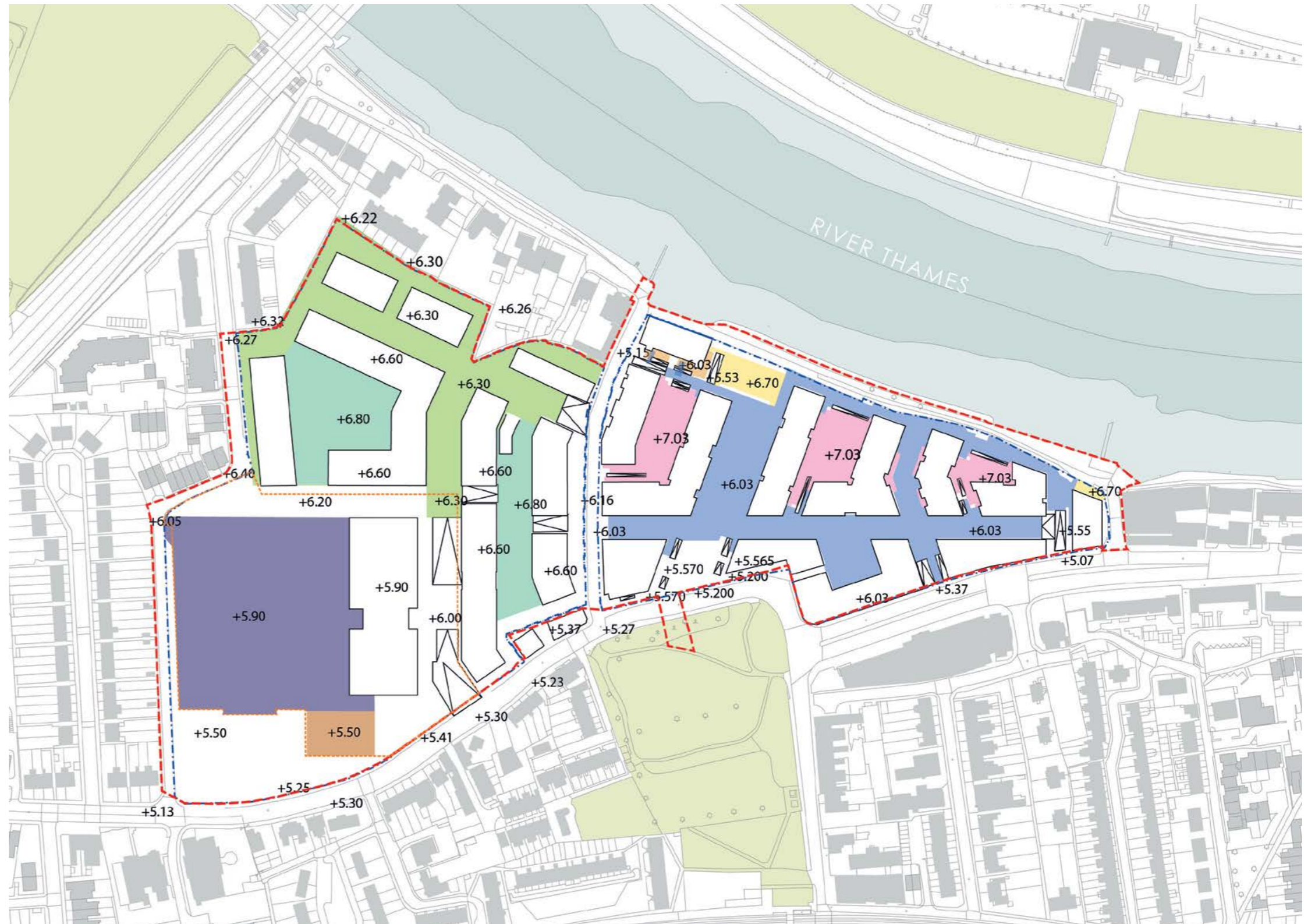
- Public Space
- Courtyard Space
- School Open Space
- Site Application Boundary
- School Application Boundary

LEVELS PROPOSAL

SITE LEVELS

Broad levels and grading across the site has been indicated to illustrate the relative level of the development to the surroundings and the variation between residential (flood immune) areas and other open spaces and commercial areas.

Requirements for flood protection along the river frontage have been satisfied through provision of a wall to 6.70 AOD along the frontage of the eastern portion of the site.



Legend

- +7.03 AOD
- +6.80 AOD
- +6.70 AOD
- +6.30 AOD
- +6.03 AOD
- +5.90 AOD
- +5.53 AOD
- +5.50 AOD
- Grading
- Site Application Boundary
- School Application Boundary

HARD LANDSCAPE STRATEGY

PAVING STRATEGY:

The main aims of the hard landscape strategy are simplicity of design and layout, and overall quality, bearing in mind maintenance considerations, and cost limitations. The best of existing granite sett paving will be retained and reinstated wherever possible, in particular historic cobbles in Bull's Alley and along the Towpath.

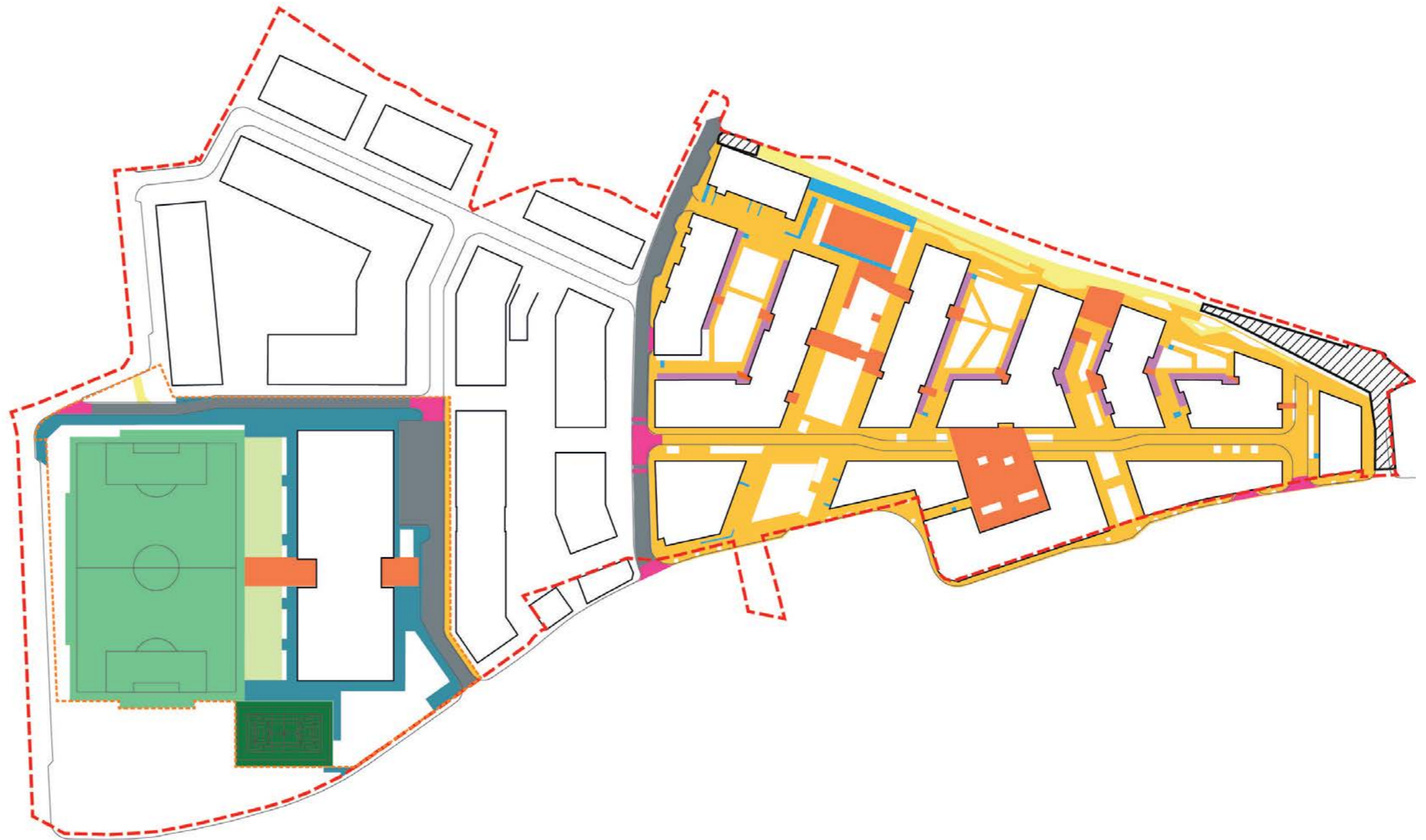
Colour, texture and unit size help to define the uses of various spaces, including using paving sizes and patterns in 'streets' to identify pedestrian priority, service vehicle routes and loading bays. The accessibility requirements of vision and mobility impaired users is a factor in the determination of surface and edge types to provide a legible and safe environment in accordance with current requirements.

It is proposed to use paved surfaces of different scale and grain to create a range of distinct characters within a unified warm palette of materials. Natural stone paving is proposed in areas of shared (vehicular and pedestrian) zones, with some integration of bound gravel in several of flexible open spaces created within the masterplan, to provide variety and definition while creating a more permeable surface for stormwater infiltration.

The courtyard areas will be finished with stone pavements and resin bound gravel, with softfall (rubberised) pavements in designated play spaces.

LBRuT Guidance
 Consideration has been given to Public Realm Design Guidelines (2006) published by LBRuT and pavements in the public realm reflect the intent and broad material selections recommended by this guide.

- Asphalt
- Ceramic Tiles (Private terrace)
- Small Block Setts
- Pre-Cast Concrete Steps
- Artificial Stone Flag Paving
- 3G Pitch material
- Porous Macadam Surfacing (Dark green)
- Porous Macadam Surfacing (Light green)
- Resin Bound Aggregate Paving
- Stone Paving
- Feature Stone Paving
- Existing Granite Setts to Retain
- Site Application Boundary
- School Application Boundary

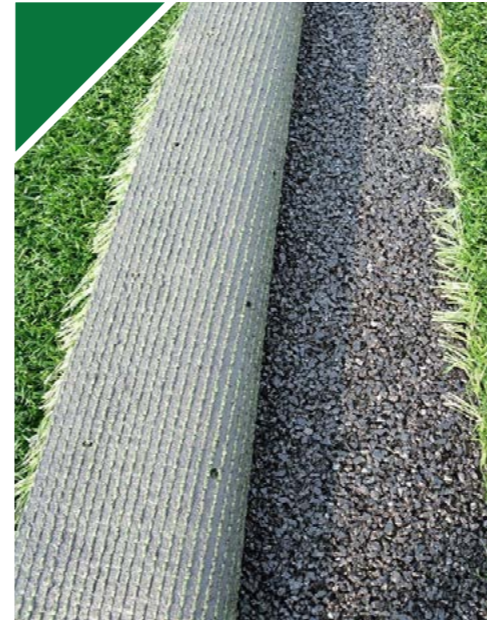




Small block setts



MUGA - Pitch Treatment



3G Pitch Treatment



Resin Bound Aggregate Paving



Artificial Stone Flag Paving



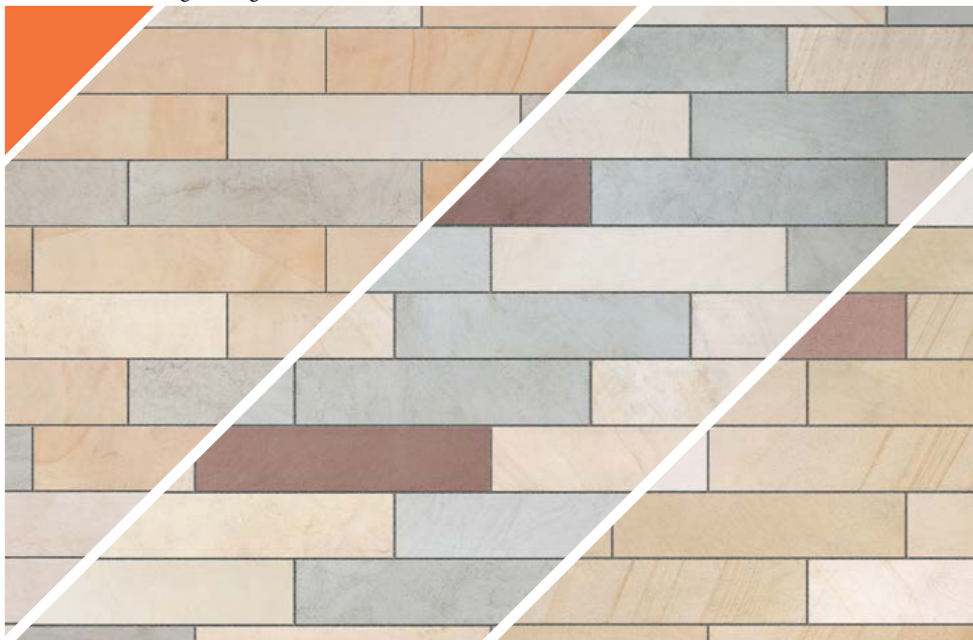
Ceramic Tiles



Hot Rolled Asphalt



High Quality Pre-Cast Concrete



Feature Mix Stone Paving



High Quality Stone Paving



High Quality Stone Paving

FURNITURE STRATEGY

MATERIALS AND SITE FURNITURE:

The redevelopment of the site is designed to integrate the site with the wider precinct and the community of Mortlake – improving permeability and access. The selection of materials and finishes reflects this approach and is intended to integrate this site into the broader context of Mortlake.

Subtle changes of materials and patterns will be used to differentiate use areas and functions between public and private, vehicle and pedestrian and to define different character to special areas. Materials are selected for durability and functionality as well as appearance. Where feasible, materials will utilise recycled and recyclable materials and techniques and minimise energy and resource use throughout their lifecycle.

PRINCIPLE LANDSCAPE MATERIALS:

- » Powder coated mild steel
- » Corten steel
- » Stainless steel (matte / brushed finish only)
- » Natural York Stone
- » Natural granite
- » Precast concrete paving slabs and furniture elements
- » Dutch / London brick – wall facings and paving
- » Fair-faced insitu concrete – for low walls and seating elements

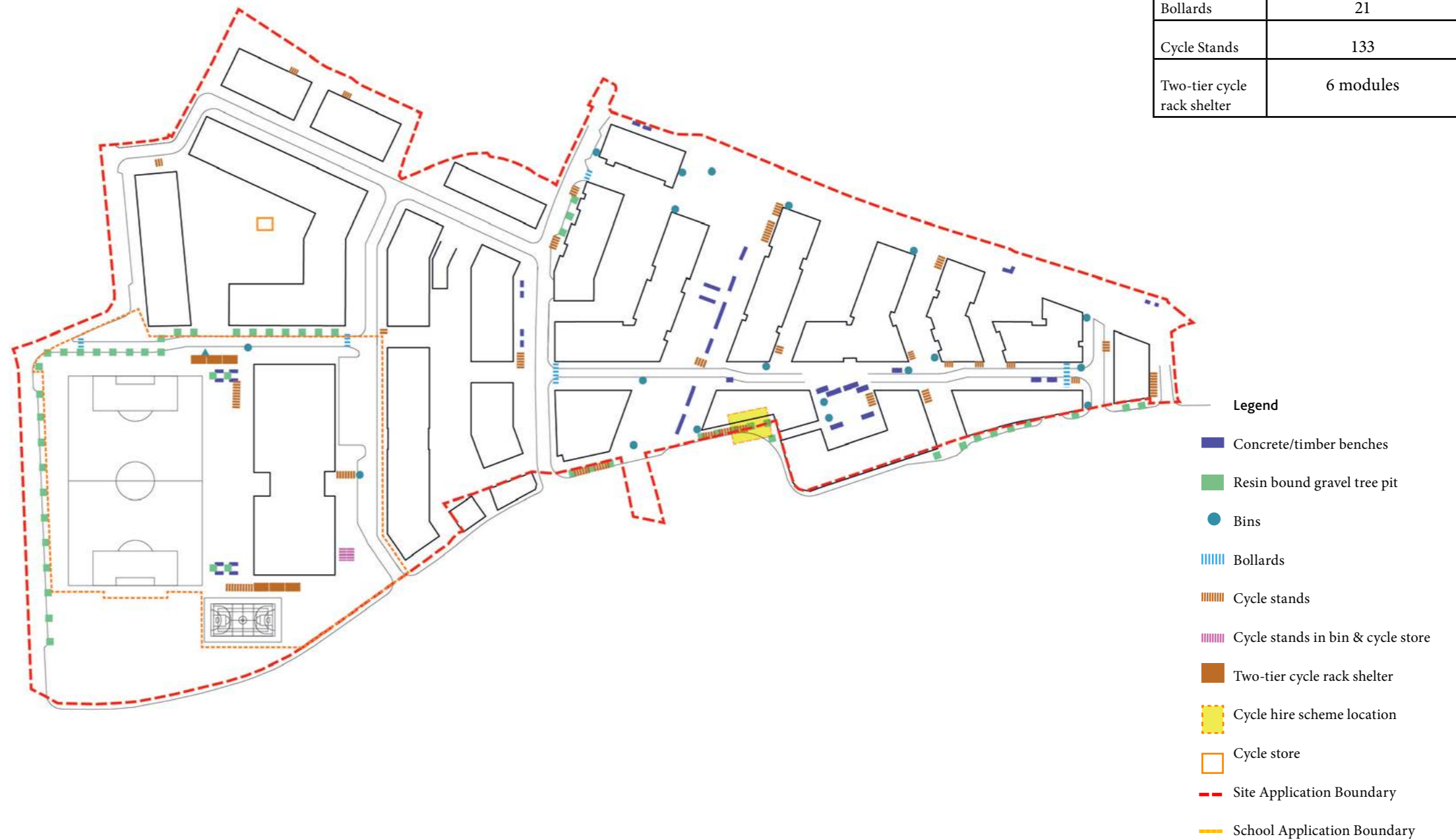
SITE FURNITURE:

- » Seating:
 - Low walls (concrete - in situ or pre-cast construction)
 - Pre-cast concrete seats
- » Bins
- » Bollards
- » Cycle Stands
- » Balustrades
- » Glass with anodised aluminium posts and frames
- » Fences – mild steel (powder coat finish)
- » Screen walls – private courts / defensible spaces

LIGHTING:

A Lighting Strategy has been developed and is covered in detail in Michael Grubb's 547-(101)-DC-LS-G Lighting Strategy and 547-(010)-RP-EX-LA Sports Pitch Lighting Assessment for the School Application. The overall strategy has been developed in conjunction with the landscape and public realm to allow extended use of amenity spaces and safety and security throughout the site. Feature lighting (uplights, water features and function area lighting) has been provided, with careful management of light spill along the river edge to prevent conflict with ecological requirements (bats) and requirement to limit lighting onto the Towpath and the river.

Furniture Items	No. of items (inc. School)
Benches	25
Tree pits	54
Bins	18
Bollards	21
Cycle Stands	133
Two-tier cycle rack shelter	6 modules





Concrete benches



Call our Sales Team: 01625 879442
 Email: sales@streetfurnituredirect.co.uk
 Web: www.streetfurnituredirect.co.uk



Bins



Bollards

Manchester Cast Bollard / SFD560

Product Description

The Manchester Cast Iron Bollard has a traditional and contemporary design which makes it popular choice with Architects and Councils. The Cast Iron Bollard adds a classic look to any high street, while providing strength.

Dimensions

Length 1300mm.
 Diameter 230mm.
 Manufactured from Cast Iron, Finished in black gloss.
 Root Fixed.



Resin bound gravel tree pit



Tree grilles



Cycle stand



Timber benches

CYCLE PARKING STRATEGY

CYCLE STRATEGY:

Following consultation with the Cycle Access Group and the revision of the residential unit numbers, mixes and distribution an evaluation of the location and number of the cycle parking provision was undertaken. The cycle parking strategy has been adjusted to locate cycle stands and storage in close proximity to the proposed cycle routes and access to the residential cores.

	No. of New Parking (Long Stay)		No. of New Parking (Short Stay)	
	Required	Provided	Required	Provided
Detailed Application	--	--	205	222
Outline Application	--	--	33	66
School	179	180	13	14
TOTAL	--	166	251	302



NOTE;

For long term cycle parking space requirements for Development Area 2 please refer to Stantec's calculations.

BIODIVERSITY STRATEGY

BIRD AND BAT BOXES:

Bat boxes are integrated into the green and brown roofs on various buildings of the development (detailed component) with a total of ten boxes, tubes or bricks provided in association with soft landscape treatment on these roofs. Boxes are to be oriented between south-east and south-west to suit use.

Bird boxes (total 20 No.) are also provided on roofs closer to the River Thames, including five Schwegler Boxes for swifts and fifteen (15) additional boxes for other bird types. These are to be oriented east or west to suit use. Refer to Ecological report and Protected Species Report for more detail on location and types.

Plant species have been selected to suit a variety of habitats and micro-climatic conditions across the site.

These will include a range of plants suitable as food or habitat plants for a wide range of fauna, including bee attracting flowering plants.

For Development Area 2, the biodiversity strategy will utilise the same principles as above and will be provided in detail design stage.



Legend

- Bird Boxes
- Bat Boxes
- Hibernaculums
- Green Roof Habitat
- Brown Roof Habitat
- - - Site Application Boundary
- - - School Application Boundary

SOFT LANDSCAPE STRATEGY

PLANTING STRATEGY

The soft landscape strategy of the Stag Brewery development includes several layers of planting typologies including streetscapes, plazas and squares, courtyards, riverside littoral planting and incorporation of existing trees.

The main structural planting of trees will comprise lines of feature trees defining one or both edges of the main access routes – Ship Lane, Green Link and Thames Street.

Street trees will also be installed along residential streets, as well as augmenting tree planting on Lower Richmond Road and Mortlake High Street. A mix of perennial shrub and groundcover planting will be provided throughout all softscape areas, with mass planting and screen planting to suit use of each area. Planting mature heights will take into account safety and secure by design parameters to ensure general safety and to maintain sightlines and passive surveillance opportunities.

Soft landscape strategy for plazas and squares in the development will provide for a range of functions and activities, as well as providing resting places, shade and seasonal celebration. Residential courtyards will provide green amenity open space for residents and visitors, as well as natural play opportunities for children.

Littoral plant species are used in the areas close to the river edge, responding to existing riverside vegetation. This plant selection emphasises the riverside location and integrates the river edge living environment into the development. A mix of native, locally adapted and exotic plants are proposed to provide increased biodiversity and a sustainable mix of plants with improved drought resistance and longevity.

Good quality existing trees around the site will add valuable character to the site, and together with the soft landscape strategy, will deliver a well-connected green network in and around Stag Brewery development.

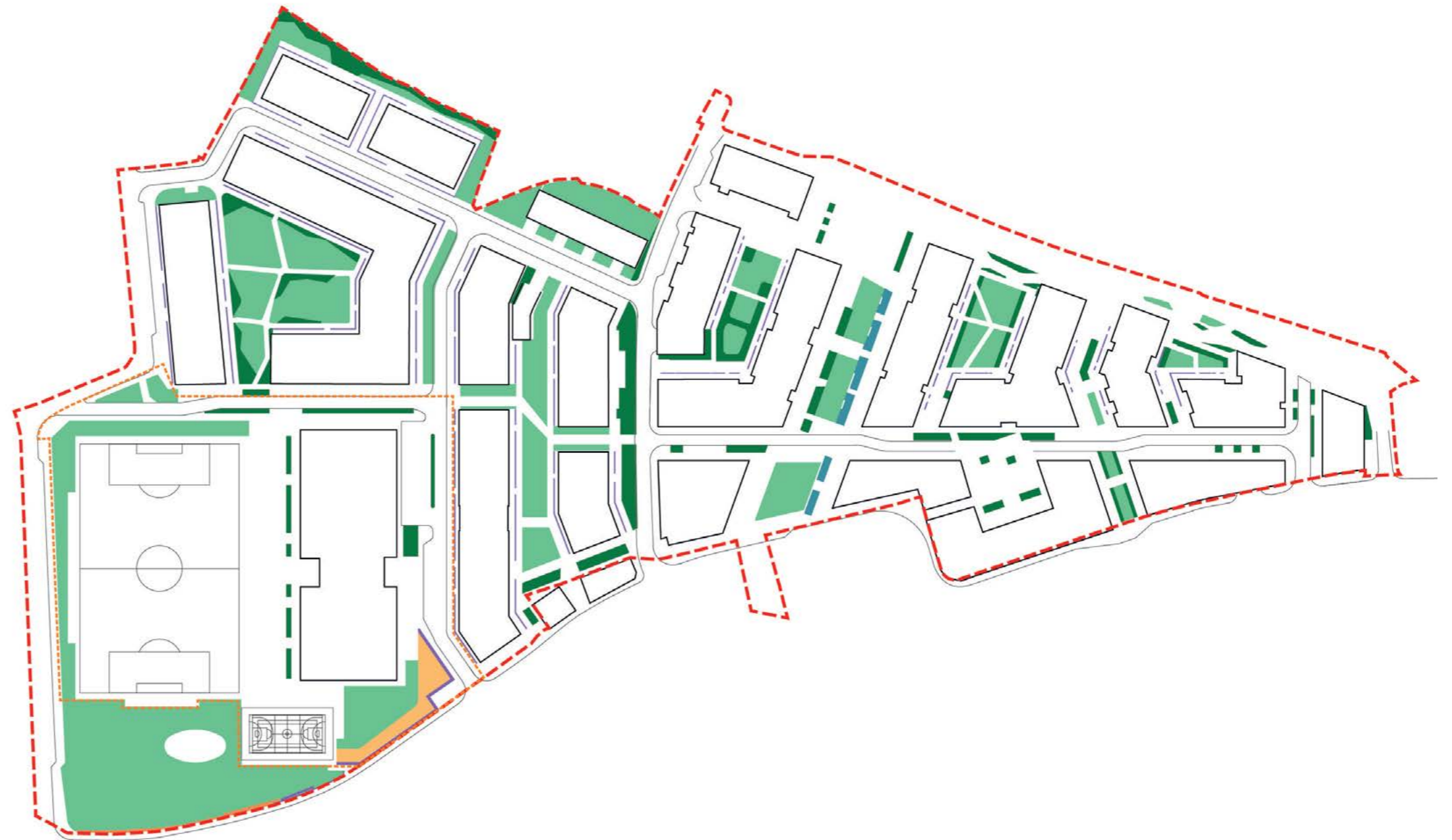
PLANT PALETTE

Legend

- Lawn
- Mass Plantings
- New Hedges
- Existing Hedges
- Meadow
- Rain Gardens

Site Application Boundary

School Application Boundary





Lawn



Lawn



Hedges



Rain Gardens



Rain Gardens



Mass Planting



Mass Planting

MASS PLANTING: TYPICAL MIXES

SHADE PLANTING



Aconitum spp.



Lunaria



Vinca difformis



Saxifraga umbrosa



Aster divaricatus



Helleborus niger



Tiarella spp.



Persicaria affinis



Digitalis



Blechnum orientale



Polypodium



Polystichum

SUN PLANTING



Allium



Eremurus



Agastache



Osteospermum



Armeria maritima



Aster



Lupinus



Digitalis purpurea



Perovskia



Crocsmia



Helianthemum



Thymus vulgaris

RAIN GARDEN PLANTING



Myosotis Scorpioides



Iris Pseudacorus



Iris Versicolor



Mentha Aquatica



Angelica Purpurea



Silene flos-cuculi



Phalaris Arundinacea



Juncus Articulatus



Carex Rostrata



Wildflower Borders



Reed Borders



Wildflower Borders

UNDERSTOREY / GROUNDCOVERS



Cyperus Involucratus



Galium Odoratum



Zantedeschia Aethiopica



Francoa Sonchifolia



Dianella Tasmanica



Heuchera Cylindrica



Luzula Nivea



Arum Pictum



Crinum Asiaticum



Asarum Europaeum



Asplenium scolopendrium



Adiantum Aleuticum

TREE PLANTING

STRATEGY:

The proposed tree strategy can be broken down into the following landscape types and will be defined by the tree species shown in the indicative planting list and the tree strategy plan:

1. Retained trees: on-going husbandry and canopy management of the existing trees, alongside a new augmented tree planting to emphasise and enhance the amenity impact of any blocks of planting.
2. Large feature trees underpin pedestrian avenues and squares, framing the urban sphere by creating a soft backdrop and creating a shaded threshold to any main spaces; Clusters of small feature trees are informally scattered in large green area to provide shade and define more intimate spaces within.
3. The Courtyards: mainly small trees will be chosen for their hardiness in these conditions, light weight and light dappled canopy to ensure their suitability for the conditions encountered.
4. Structural Street Tree Planting: along the streets, tree planting is to be predominantly species with columnar canopies, allowing the trees to be situated in close proximity to the building massing & thereby providing shade and shelter from wind and giving seasonal interest in leaves, bark and form. Interspersed softscape bays and corners are populated with clusters that unify the street scene and define their own character.
5. Augmented tree planting in softscape areas throughout the wider masterplan: these are predominantly of a smaller habit, native species and mixed forms with some multi-stem species that have good seasonal qualities, suited to the spaces and anticipated light levels.
6. Specimen trees: will be interspersed throughout the development in selected parts of pedestrianised areas and in locations which present a good opportunity to host and display trees of particular merit.
7. Native small trees will be located in a grove in the pocket park below the school, providing community access and educational opportunities for students.

The selection will conform to the Borough's Greenscape Guidance - being a varied palette of predominantly native trees, with a sourcing preference for UK stock with adaptability to climate change, and comments received in consultation with LBRuT officers and the arboriculturalists engaged for the submission taken into account. Further information can be found in the environmental statement, appendices and addendums.



TREE PLANTING STRATEGY DIAGRAM

* GLOSSARY:
 LIGHT STANDARD (LS)
 STANDARD (S)
 SELECT STANDARD (SS)
 HEAVY STANDARD (HS)
 EXTRA HEAVY STANDARD (EHS)
 ADVANCED HEAVY STANDARD(AHS)
 (SM)SEMI MATURE

TREE PLANTING

TREE PALETTE



EG: ACER X FREEMANII 'AUTUMN BLAZE'



EG: QUERCUS ROBUR



EG: MALUS SYLVESTRIS



EG: CORNUS SANGUINEA



EG: PRUNUS SERRULA (STANDARD & MULTI-STEM)



EG: BETULA UTILIS V. JACQUIMONTII (STANDARD & MULTI-STEM)



EG: CRATAEGUS MONOGYNA



EG: ROSA CANINA



EG: BETULA PENDULA



EG: VIBURNUM OPULUS

TREE PLANTING

TREE PALETTE



EG: TILIA CORDATA



EG: ACER PLATANOIDES 'COLUMNARE'



EG: BETULA UTILIS V. JACQUIMONTII (MUTI-STEM)



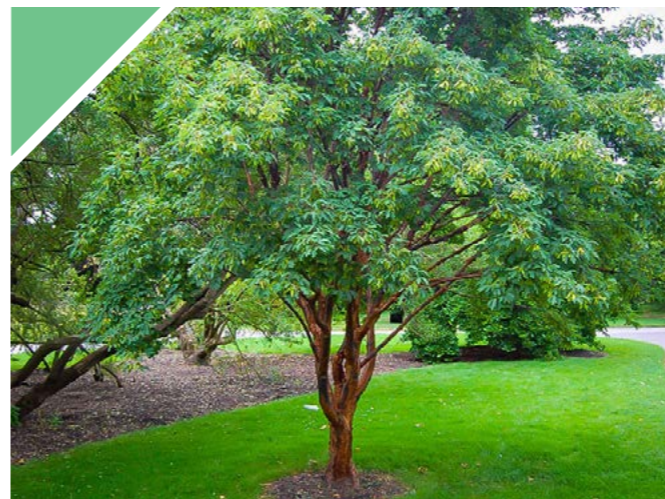
EG: CORNUS SANGUINEA



EG: CARPINUS BETULUS 'FRANS FONTAINE'



EG: ACER CAMPESTRE 'STREETWISE'



EG: ACER GRISEUM



EG: AMELANCHIER LAMARCKII

PLAY STRATEGY

REQUIREMENTS AND OBJECTIVES

Playful Landscapes:

Integration of play and playable landscapes is a major element in the development of the landscape and public realm for this site. The site is designed to limit and manage vehicular traffic, with access for service and emergency vehicles only at ground level. All residential, retail and visitor cars are located at basement level, providing a pedestrian dominated environment throughout Development Area 1, a similar approach will be adopted across Development Area 2 to create a pedestrian friendly environment.

Play space for all age groups is proposed across the Stag Brewery site and consideration of existing facilities in the area has influenced the approach to provision of play. The inclusion of a Secondary School within the site is also taken into account, with the intention of the developer to establish a community agreement for shared access to sporting and play facilities for the local community on site.

The calculated child yield (based on unit numbers and mix) has informed the quantum and distribution of space allocated for play and are calculated separately for Development Area 1 and Development Area 2. Residents will have access to play within the private and public amenity space of the masterplan, and in the wider context of the proposed community park, Mortlake Green and surrounding area.

The mix and unit number for Development Area 2 has not yet been fixed, therefore the playspace has been generated on an assumption in order to enable the scheme to be designed with sufficient capacity. It is worth noting that the Affordable mix isn't fixed and we have adopted a worst case approach in terms of calculating the maximum playspace required.

The play strategy accords to current best practice guidelines for play, including the London Supplementary Planning Guidance "Providing for Children and Young People's Play", Play England's "Design for Play: A guide to creating successful play spaces" and LBRuT Supplementary Planning Document "Residential Development Standards". London Play (GLA) aims for every child in London to have quality, accessible and inclusive play opportunities.

Objectives for Play:

The landscape masterplan objectives for play provision include:

The integration of play provision within an overall open space strategy, recognising that play can take place in a variety of settings which may or may not involve equipment;

The provision of opportunities for accessible play to occur within the whole environment that a child occupies;

Ensuring a well-defined and overlooked 'playable route' along key pedestrian connections;

The creation of locally accessible 'greenspace', including playable elements and seating opportunities;

Exploring opportunities to introduce natural elements of risk and challenge within play provision while considering safety and maintenance;

The concept of a 'Playable Route' or 'Play on the Way' within the 'homezone' where opportunities for informal play are woven into the proposed public spaces rather than providing stand alone fenced off play areas;

Improvements to the nearby play areas in the park to accommodate the extra demand.

Access to river based activities - rowing or canoeing

Development Area 1

	1 bed	2 bed	3 bed	4 bed
Market and Intermediate Units	101	311	156	8
Social Units				

Total Units	576
--------------------	------------

Geographic Aggregation	Outer London
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PTAL	PTAL 0-2
------	----------

Yield from Development (persons)

	Market & Intermediate	Social	Total
0-3	118.7	0.0	118.7
4-10	116.8	0.0	116.8
11-15	33.7	0.0	33.7
16-17	14.3	0.0	14.3
18-64	1035.1	0.0	1035.1
65+	24.6	0.0	24.6
Total Yield	1343.2	0.0	1343.2

Total Children	283.4
----------------	-------

	Benchmark (m ²)	Total play space (m ²)
Play space requirement	10	2834.2

Development Area 2

	1 bed	2 bed	3 bed	4 bed
Market and Intermediate Units	275	234	31	7
Social Units	8	49	64	6

Total Units	674
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Geographic Aggregation	Outer London
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PTAL	PTAL 0-2
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Yield from Development (persons)

	Market & Intermediate	Social	Total
0-3	86.7	55.6	142.3
4-10	83.5	59.7	143.2
11-15	17.2	37.0	54.2
16-17	7.3	15.6	22.9
18-64	895.0	240.0	1135.0
65+	21.3	5.6	26.9
Total Yield	1111.1	413.5	1524.6

Total Children	362.7
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	Benchmark (m ²)	Total play space (m ²)
Play space requirement	10	3626.8

PLAY STRATEGY

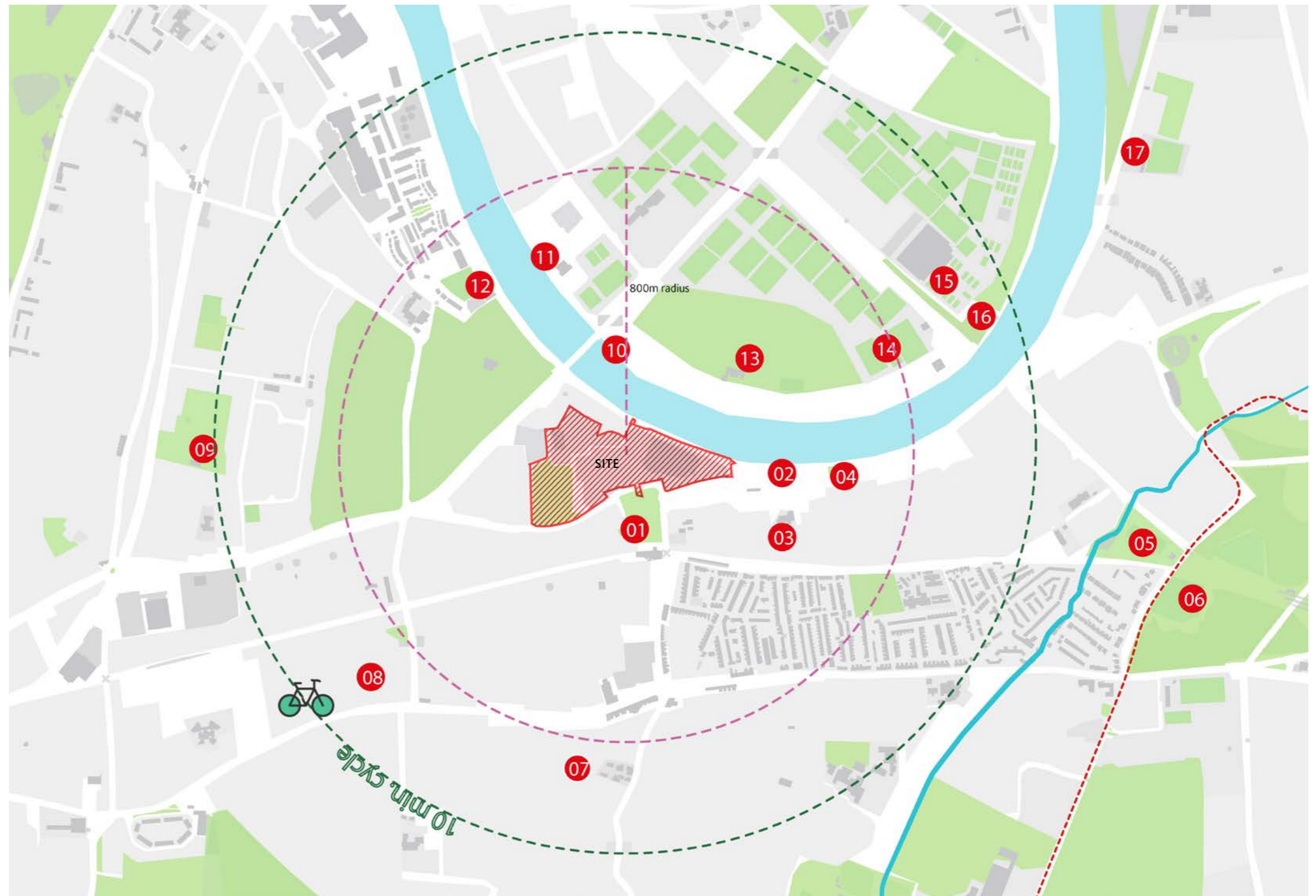
EXISTING RECREATION FACILITIES

The site benefits from a number of existing surrounding open spaces and recreational facilities as shown. In particular, the long established open space of Mortlake Green provides a significant landscape setting and recreational asset to the site and the design maximises this connection.

Discussions with council indicate the majority of these, including children's playgrounds, are used to capacity. Planning of the development has therefore endeavoured to provide for all stipulated play requirements within the site. Facilities within the Secondary School have been considered, in part, as the Applicant's intention is to establish a Community Agreement for use of the recreational facilities outside school hours, to the benefit of the site population and the wider community.

Legend

- 01 Mortlake Green
- 02 Tapestry Court
- 03 Mullins Path Open Space
- 04 Riverside Open Space
- 05 Vine Road Recreation Ground
- 06 Barnes Common Local Nature Reserve
- 07 Palewell Common & Field
- 08 Tangier Green
- 09 North Sheen Recreation Ground
- 10 Tideway Sculler School
- 11 Quintin Boat Club
- 12 Putney Town Rowing Club
- 13 Dukes Meadows Golf Club
- 14 Chiswick Rugby Club
- 15 Chiswick Riverside Health & Racquet Club
- 16 Barnes Bridge Ladies Rowing Club
- 17 Barnes Squash Club



EXISTING RECREATION FACILITIES

PLAY STRATEGY

PROPOSED PLAY DISTRIBUTION

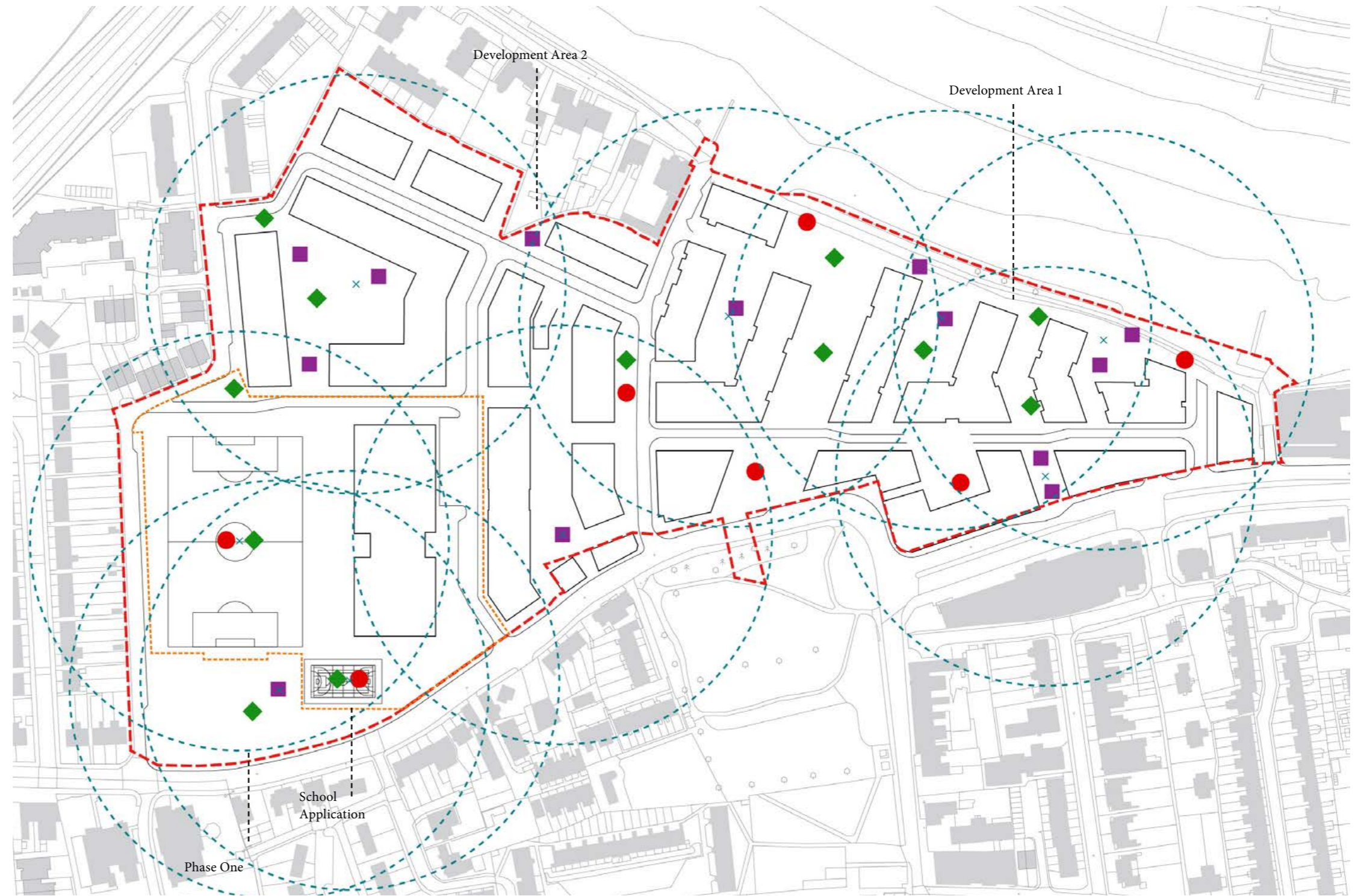
The provision and distribution of play facilities within the site has been developed within the overall Masterplan and aligns with recommendations of GLA (Play and Informal Recreation SPG 2012) and London Borough of Richmond upon Thames (Planning Obligations SPD 2014).

Play facilities for different age groups are positioned within residential courtyards, parks, plazas and open space areas around the site, to achieve the required areas of play and the distribution related to residential apartments, as set out below:

- » Doorstep Play (Under 3) within 100 metres of residential units
- » Local Playspace (4-10yrs) 400 metres
- » Neighbourhood Space (11+yrs) 800 metres.
- » Play on the way (All ages)

This diagram indicates proposed location of play facilities for each age group and 100m walking distances from each location. Play elements and facilities are provided in a range of forms within the public and private realms of the development, including designated and fenced playgrounds, unfenced but contained play spaces with a range of play elements and carer seating, topographic variation and play opportunities in the landscape (within planting areas) and 'play on the way' elements within circulation spaces and public realm areas. Proposed development of a rowing club facility in the base of Block 09 at the eastern end of the site with direct link to the tow path and Bulls Alley slipway will provide additional recreational functions for older children.

Refer to more detailed precedent studies in this report.



PLAY FACILITIES DISTRIBUTION (BY AGE GROUP)

Legend

- Under 3 Years
- ◆ 4 - 10 Years
- 11 + Years
- ⋯ 100m radius
- - - Site Application Boundary
- - - School Application Boundary

PLAY STRATEGY

PROPOSED PLAY PROVISION

Following the design changes related to the revised scheme, the increase in number of affordable units and the definition of the housing mix (market / intermediate and social) the required areas of play space have been determined based on current GLA guidelines. The GLA Population Yield Calculator (2019) requirements stipulate a target of 6,461m² of dedicated amenity play space is required within the site as a whole (Development Areas 1 and 2), while LBRuT play standards require a target of 7,542 m². The current masterplan allows to exceed GLA required play space without considering the school facilities for Development Area 1 and when considered holistically the total quantity of play achieved will exceed that required by LBRuT.

The proposed configuration of play space for different age groups has been developed as shown on this diagram.

Tables 1 and 2 illustrate the targets and achieved provision of play space for the different age groups. Table 1 contains the description of play requirements for Development Areas 1 and 2 only while Table 2 includes both of these areas and the School site in its calculations in addition to areas that may be subject to overshadowing.

For calculation of the school facilities (indoor and outdoor) a weighted contribution has been included in achieved play for 4 years and above in line with the intention to arrange a community use agreement with the residential community. We have calculated these facility areas on the basis of intermittent use outside school hours (during week nights and weekends) as 2/7 of the actual space.



SCHOOL INDOOR MUGA /ACTIVITIES HALL



SITE WIDE PLAY PROVISION

Table 1: Playspace required and achieved - for Development Areas 1 and 2

AGE	Play Space required GLA (Sqm) Development Area 1	Actual playspace achieved (Excluding school)	Play Space required GLA (Sqm) Development Area 2	Actual playspace achieved (Excluding school)
0 - 3	1,187	1,305	1,423	1,892
4 - 10	1,168	1,996	1,432	1,469
11 - 17	480	679	771	193
TOTAL	2,835	3,980	3,626	3,554

Table 2: Total playspace required and achieved - site wide including Detailed, Outline areas and School

Age	No. of children	Play Space required GLA (Sqm)	Actual playspace achieved (Excluding school) of which in sunlit/shaded* area			Actual playspace achieved (Including school)
			Total	Sunlit	Shaded	
0 - 3	260.9	2,609	3,183	2,135	1,048	3,183
4 - 10	260.0	2,600	3,465	1,998	1,467	4,603
11 - 17	125.2	1,252	872*	859	13	2,579
TOTAL	646.1	6,461	7,520			10,365

* Neighbourhood requirements provided off site including Schools play spaces

*Derived from eb7 document 2201_R015_SA01

PLAY STRATEGY - SITE-WIDE APPROACH

BREAKDOWN OF SPACES:

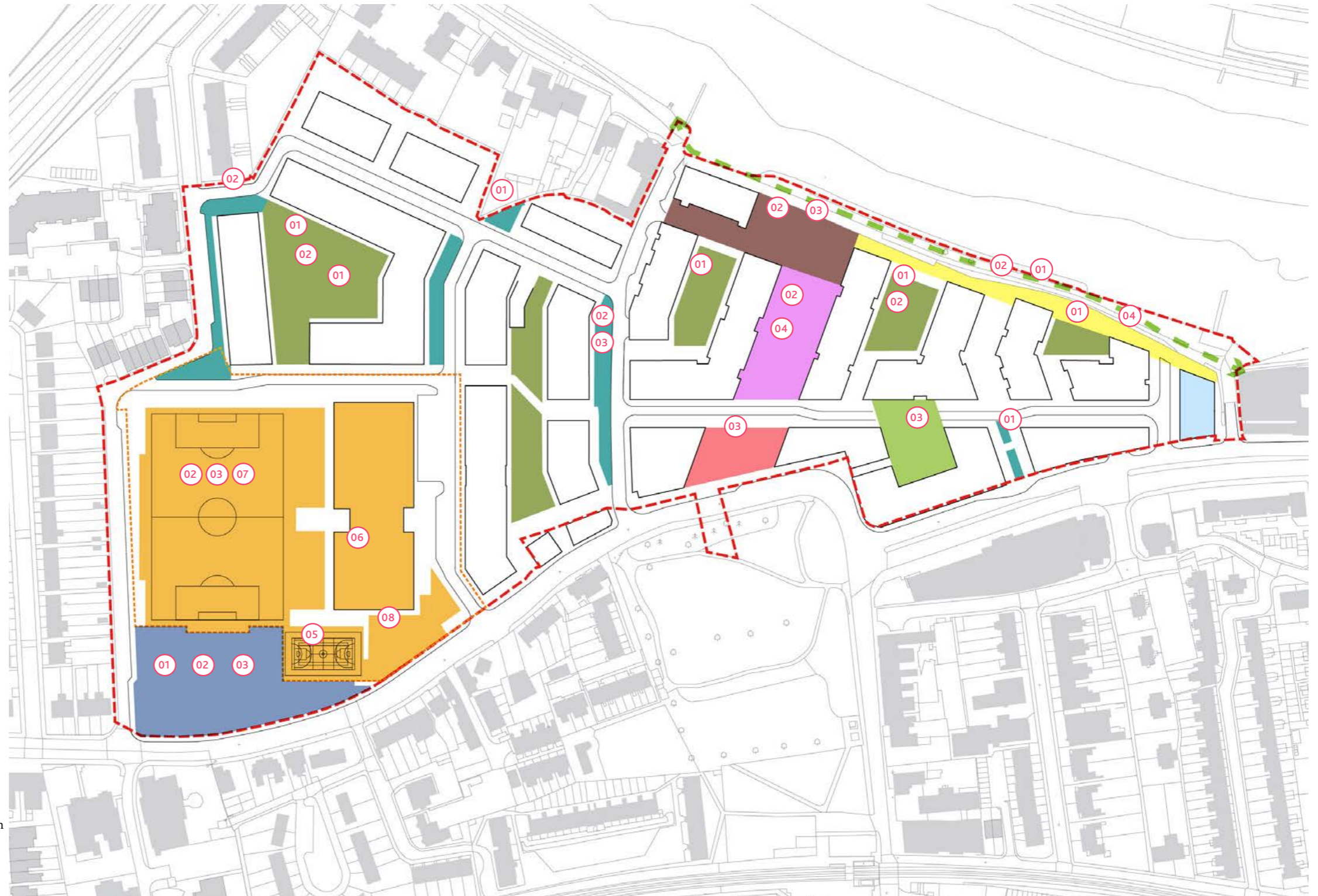
In accordance with best practice and policy including Shaping Neighbourhoods: Play and Recreation (Mayor of London, 2012) and Site Layout Planning for Daylight and Sunlight (BRE Trust, 2nd edition) play spaces and equipment are, wherever possible, located within areas that receives sunlight throughout the year. Further information relating to the sunlight amenity assessment utilised in the allocation of play space was produced by Eb7. Not only does this improve the visual amenity of the play spaces and their setting it increases their usability year round across all age groups and encourages healthy tree and plant development where integral to play. Each courtyard and open space containing play facilities has been indicated, with the age groups referenced.

The facilities within the School development are proposed to be made available to the wider community outside school hours and under the auspices of a Community Agreement.

A Rowing Club is proposed for the block indicated as part of this application, however it is being brought forward under the flexible non-residential uses.

Legend

	Residential Courtyards		Door Step Play
	Entry Plaza		Play Facilities (5-11Yrs)
	Green Link		Play Facilities (12+Yrs)
	Maltings Plaza		'Play on the Way'
	Bottleworks Square		MUGA
	Riverside Terrace		Indoor MUGA
	Linear Open Space / Pocket Park		Outdoor multi-use sports pitch
	School Facilities		Habitat Area
	Pocket Park		
	Rowing Club		
	Towpath		
	Site Application Boundary		
	School Application Boundary		



PLAY STRATEGY

TYPES OF PLAY ELEMENTS

The design concept for the public realm is to facilitate incidental playable space throughout the scheme with dedicated areas to cater for 0-18yrs through Doorstep and Local Playable Spaces as defined by the SPG.



SENSORY



CONSTRUCTION



CHALLENGE



TOPOLOGY



TOPOLOGY



SCULPTURAL



INCIDENTAL / SAFE ROUTES



FIXED PLAY EQUIPMENT



PLANTING



SEATING



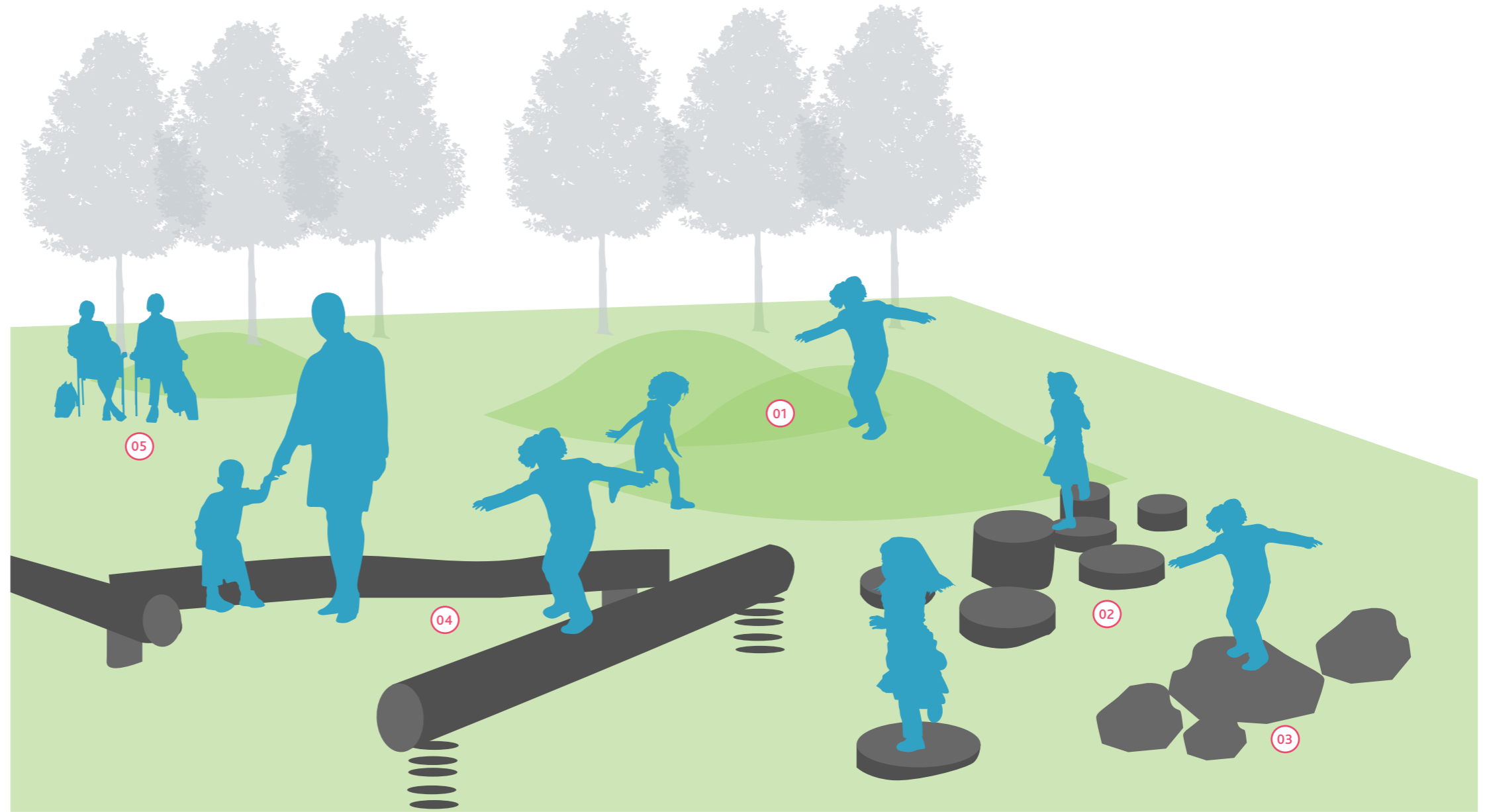
SPORTS EQUIPMENT

PLAY STRATEGY

DOORSTEP PLAY (0-3 YEARS)

Opportunities for informal play including lawn, mounds, and natural features. Play elements would include:

- » Within 100m of each residential apartment
- » Land forms including small hillocks and grassed mounds (1)
- » Climbing, stepping and jumping blocks set within grass areas (2)
- » Small scale play equipment with softfall surface material (3)
- » Stepping stones for balance and clambering (4)
- » Sensory play elements (5)
- » Seating in close proximity for parents and carers



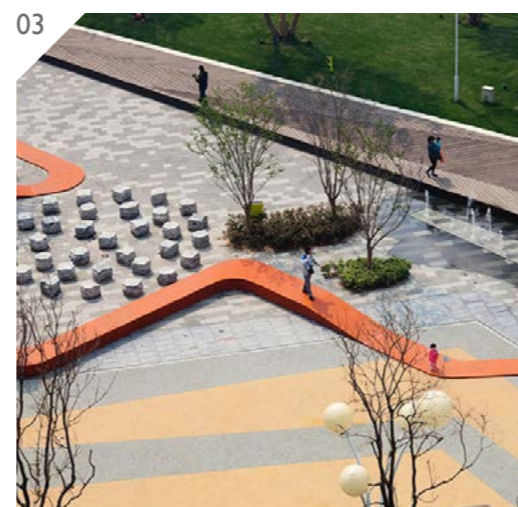
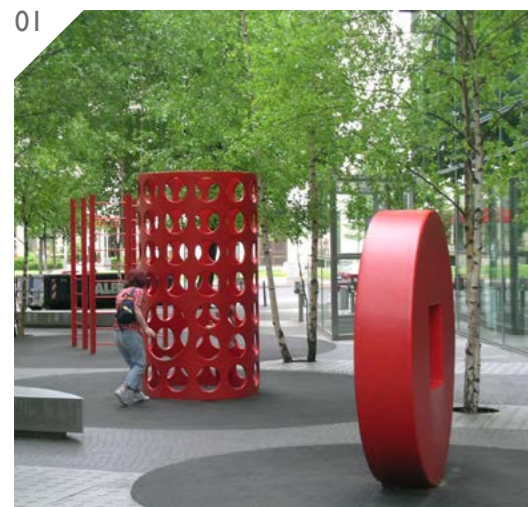
PRECEDENT IMAGES ABOVE SHOWING DESIGN INTENT.

PLAY STRATEGY

LOCAL PLAYSPACE (4-10 YEARS)

Opportunities for informal playable landscape features as well as more formal play elements set within area(s) of soft play surface to cater for older children:

- » Within 300m of doorstep
- » Natural play features as for 0-5 years
- » Low walls, seats and stepping stones for balance and clambering (1)
- » Small climbing structures (2)
- » Landscaping to create natural feel, including changes in level (3)
- » Equipment that allow children to swing, slide and climb (4)
- » Sensory play elements (5)
- » Seating areas adjacent to equipment and play space
- » Water play (if possible)



PRECEDENT IMAGES ABOVE SHOWING DESIGN INTENT.

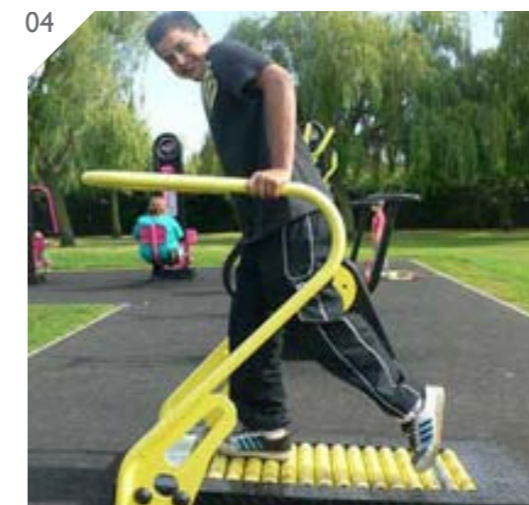
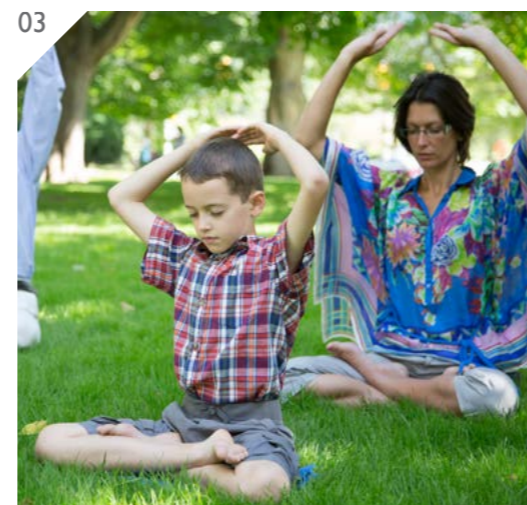
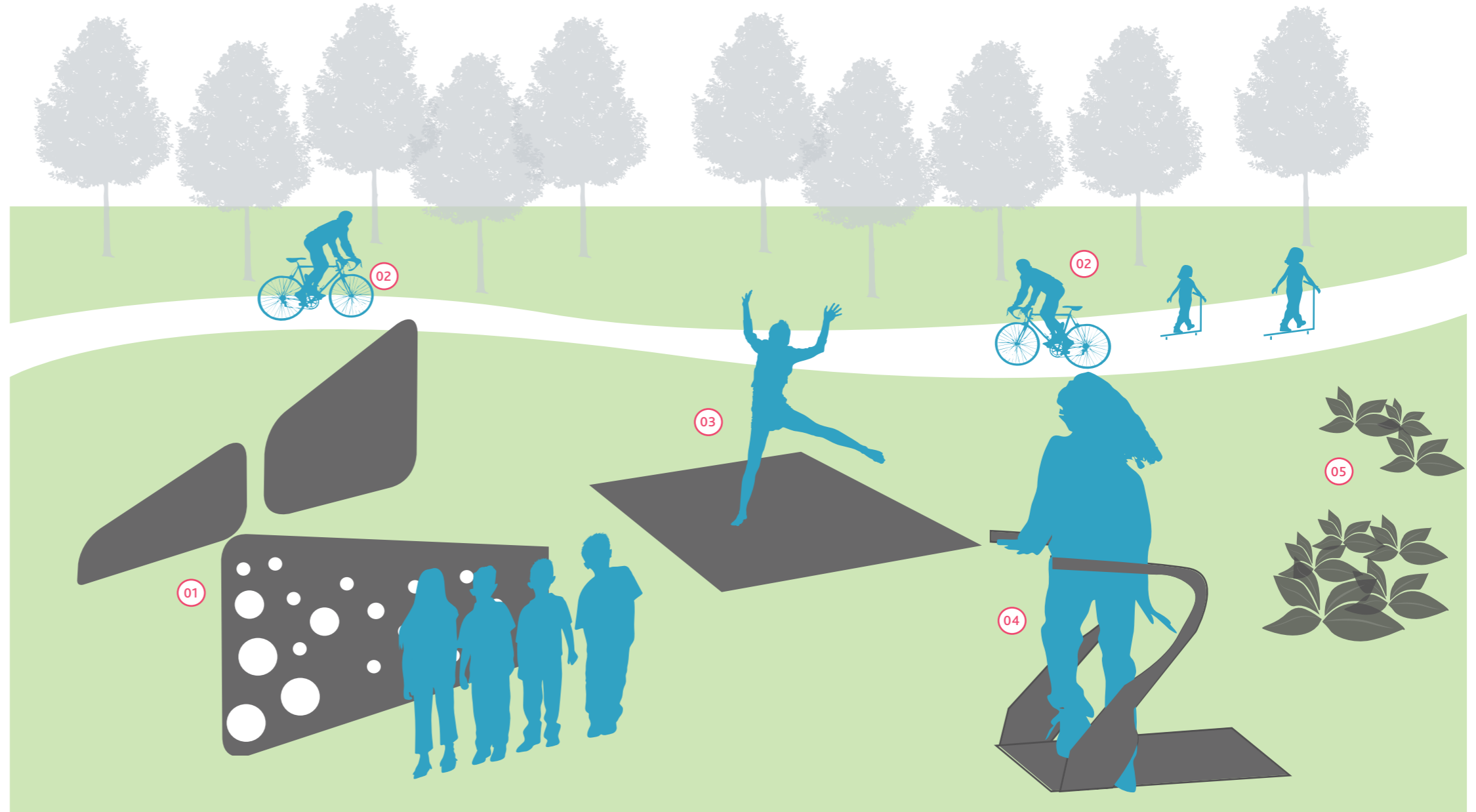
PLAY STRATEGY

11+ YEARS

Opportunities for teenagers to play can be integrated into public realm landscapes of the site such as Malting Plaza, Entrance Plaza and Bottleworks Square.

These facilities can include:

- location preferred within 800m of doorstep
- Table tennis tables (1)
- Outdoor gym facilities / Jogging and cycling trails (2)
- Spaces and facilities for informal sport or recreation activity e.g. climbing walls or boulders, exercise trials, outdoor exercise equipment (3)
- Shared surfaces- suitable for skating, cycling or roller-blading (4)
- Multi-Use Games Area (MUGA) (5)
- Multi-use all weather sports pitch (School)
- Seating areas on the edge of the activity spaces
- Boules, piste and elderly/ family play
- Topographic variation within landscaped areas
- Rowing Club or other organised sporting facilities / groups



PRECEDENT IMAGES ABOVE SHOWING DESIGN INTENT.