

Mass planting: typical mixes

SHADE PLANTING



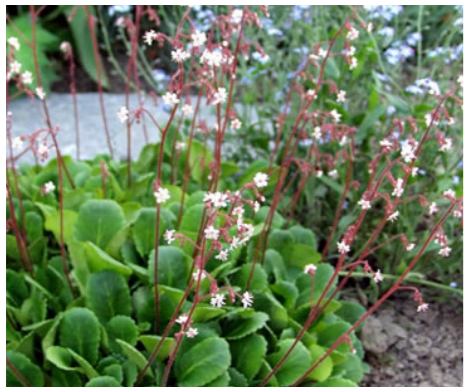
Aconitum spp.



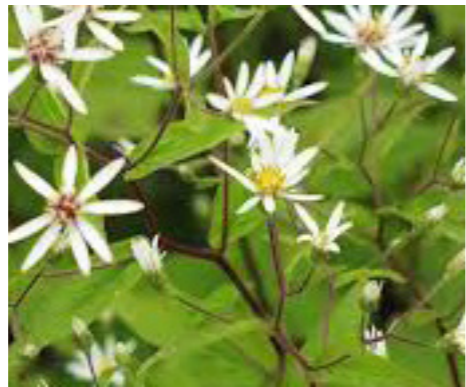
Lunaria



Vinca difformis



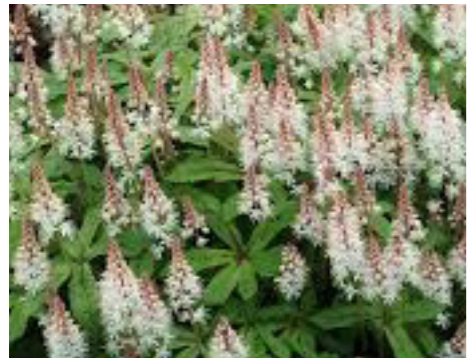
Saxifraga umbrosa



Aster divaricatus



Helleborus niger



Tiarella spp.



Persicaria affinis



Digitalis



Blechnum orientale



Polypodium



Polystichum

SUN PLANTING



Allium



Eremurus



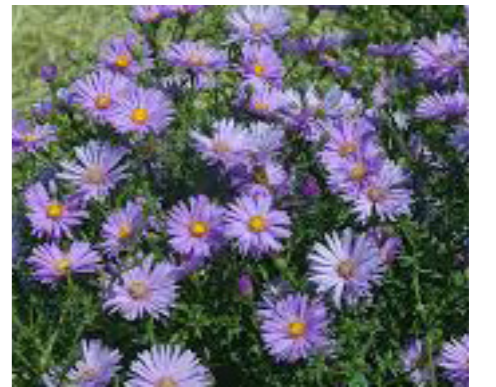
Agastache



Osteospermum



Armeria maritima



Aster



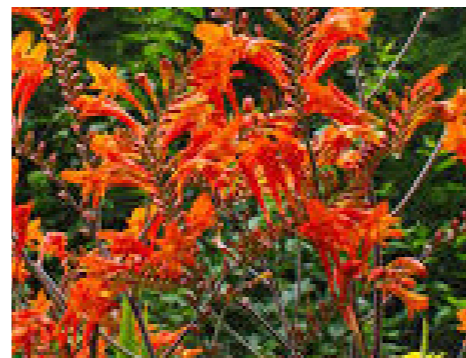
Lupinus



Digitalis purpurea



Perovskia



Crocsmia



Helianthemum



Thymus vulgaris

UNDERSTORY / GROUNDCOVERS



Cyperus Involucratus



Galium Odoratum



Zantedeschia Aethiopica



Francoa Sonchifolia



Dianella Tasmanica



Heuchera Cylindrica



Luzula Nivea



Arum Pictum



Crinum Asiaticum



Asarum Europaeum



Asplenium scolopendrium



Adiantum Aleuticum

5.10 Fencing

The school grounds will be fenced as indicated and include a full size all weather (3G) football pitch, a Multi-use Games Area (MUGA) and Habitat Area – as designated by Department for Education and Education Funding Agency’s recommendations, as well as circulation and open space for children during breaks and outdoor activity times. These facilities, along with the second Play Space on the roof of the school building, and the indoor gymnasium, will be accessible to the residents of the site development and the wider community of Mortlake under a Community Agreement (a draft has been submitted with this application). This is covered in more detail elsewhere in this submission.

Fencing Detail

Fencing to Sports Pitch and MUGA, as well as school grounds and Habitat Area is based on industry standards and is in accordance with ESFA requirements and Sport England recommendations.

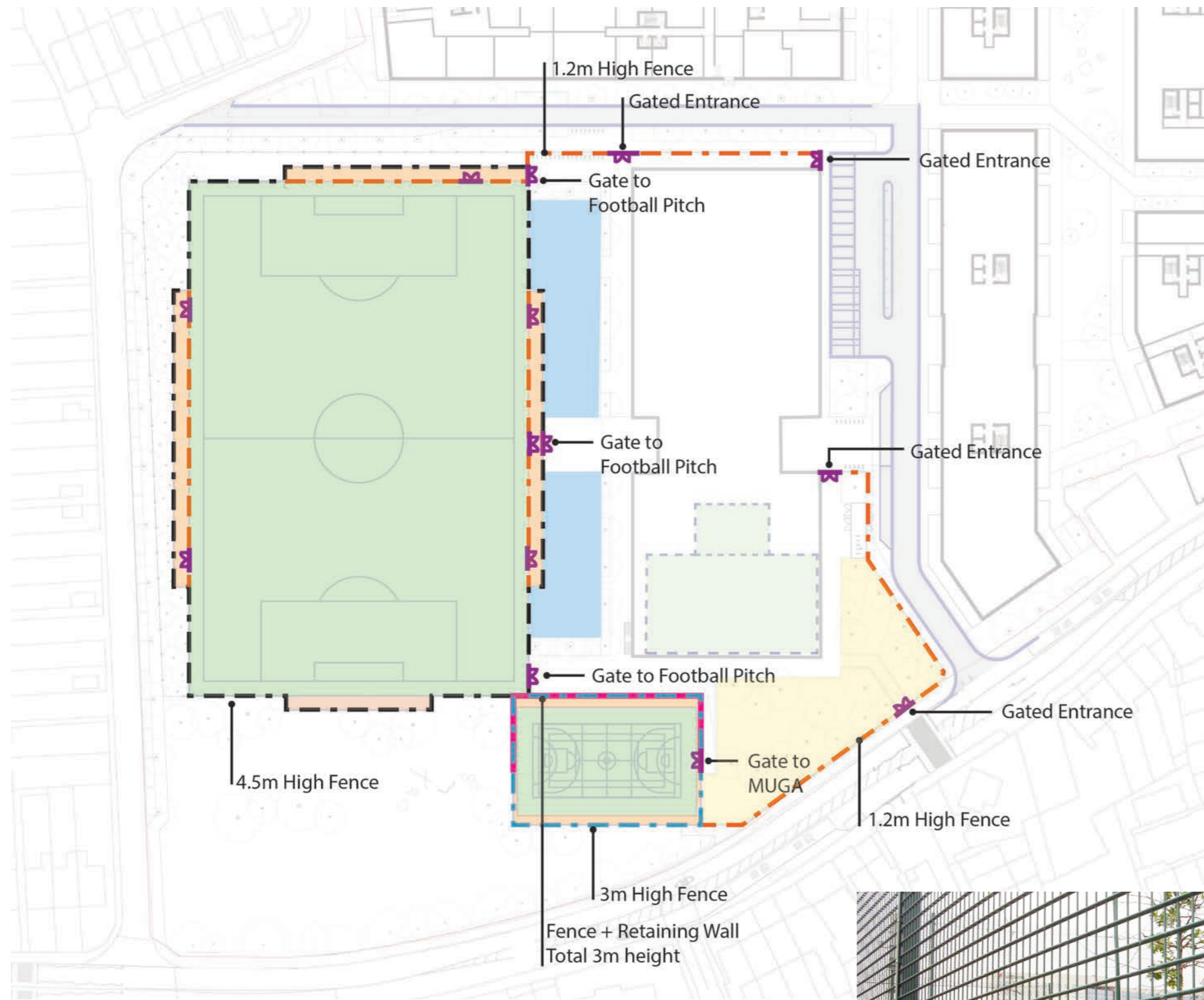
Lighting has been designed for the sports pitch to designated FA levels (Category 2&3) – refer to Sports Pitch Lighting Assessment 547-(010)-RP-EX-LA.

Fencing heights of 4.5m, 3m and 1.2m is in accordance with height requirements under SAPCA (Sports and Play Construction Association) Code of Practice for the Construction and Maintenance of Fencing Systems

All fence types are twin bar super rebound and black in colour. Products from manufacturers such as ZAUN and Sports & Safety Surfaces or similar approved will be used.

In respect of noise, there are a number of design solutions that will be incorporated into the design as a minimum to reduce rattle and ball impact noise, including a weld mesh with EPDM rubber inserts and fixings. If required from further subsequent detailed assessment, an acoustic grade timber fence with sufficient mass (15kg/m²) or barrier made from transparent/opaque plastic material where visual amenity is an important consideration will be incorporated. A maintenance scheme will be implemented to prevent deterioration in performance of the sports facilities that could result from damaged panels, loose brackets, worn AV bushing and squeaky gates.

Furthermore, residential building will be designed such that internal noise levels do not exceed 35 dB LAeq,16h during the daytime and 30 dB LAeq,8h & 45 dB LAmax at night from anonymous sources of noise such as road traffic. As noise levels from anonymous sources will be greater than those expected from the 3G Football Pitch and MUGA, the façade will be sufficient to reduce noise to an appropriate level.



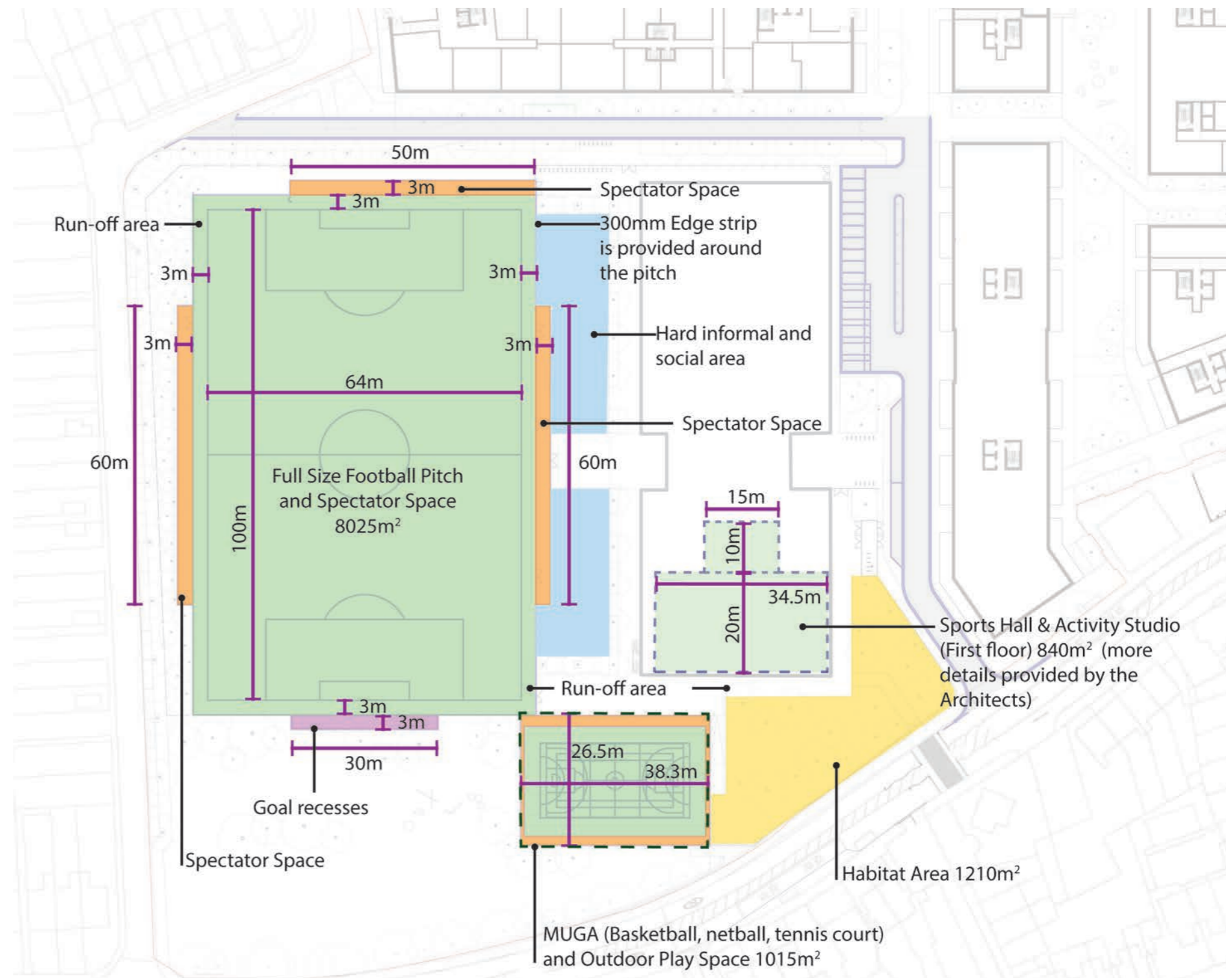
Precedent image from manufacturer ZAUN

- Legend**
- 1.2m high fence
 - 3m high fence
 - Fence with retaining wall (3m)
 - 4.5m high twin bar super rebound fence

5.11 Sports Provision

School Play facilities are considered in the application and have been measured as part of the 12 yr + age group provisions required under LBRuT and GLA Play Space requirements. Sports pitch - full size football pitch with spectator space, MUGA area (Basketball, netball, tennis court) as well as indoor sports hall and rooftop play area are provided for the school development, with total of 12120m².

The football pitch and spectator space dimensions are using FA Guide to 3G Football Turf Pitches and designed for site specific condition.

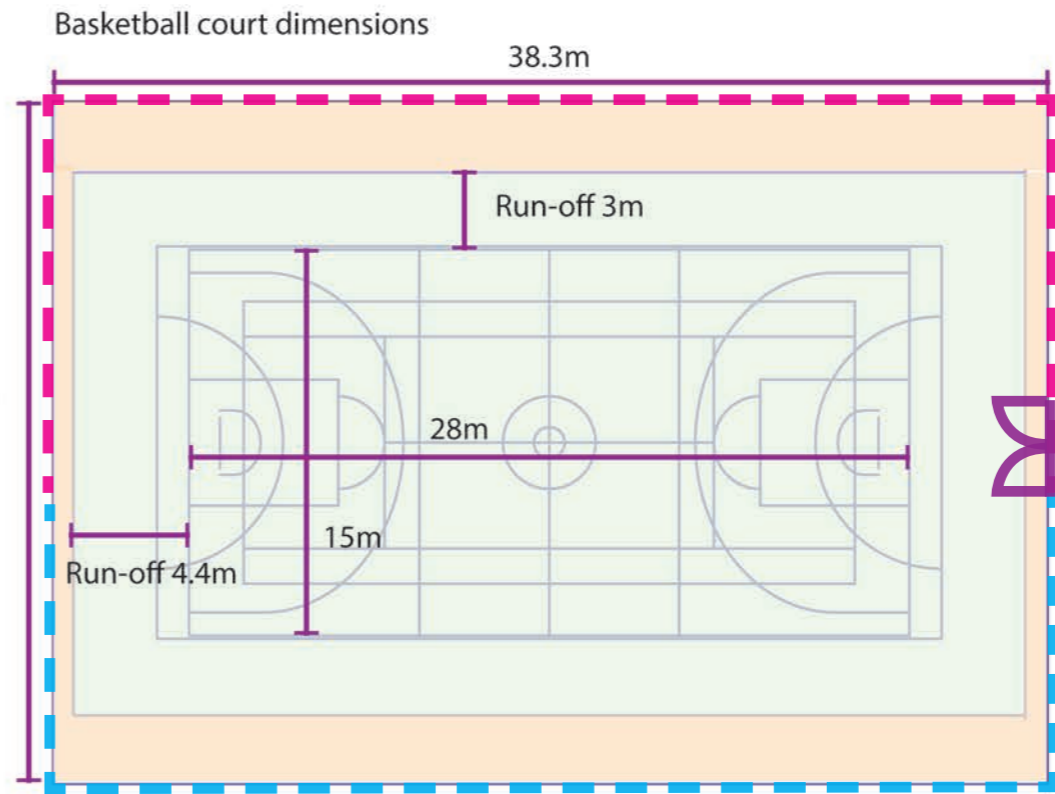
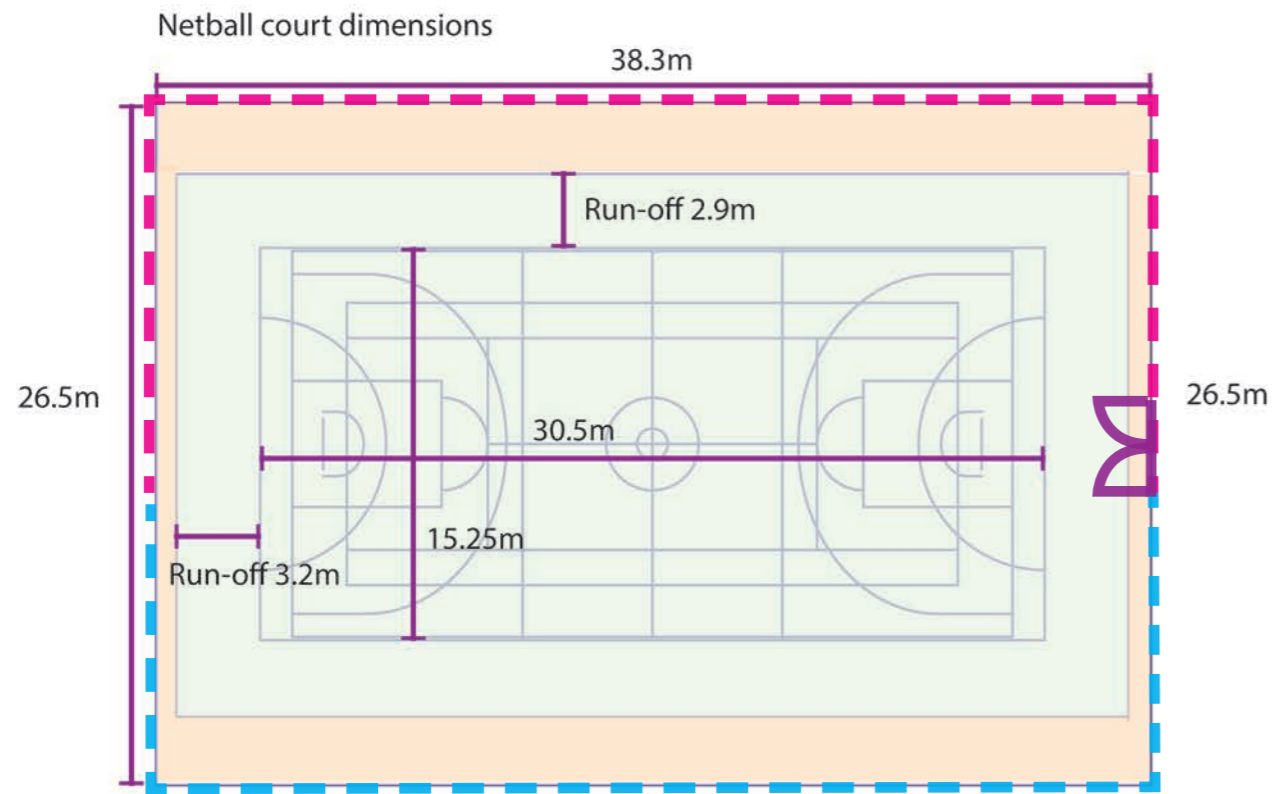


Legend

- Sports field
- Spectator area
- Goal recesses
- Social area
- Habitat area



Outdoor MUGA Sports Court Dimensions



- Legend**
- Sports field
 - Spectator area
 - 3m High fence
 - Fence and retaining wall total of 3m high
 - Gate

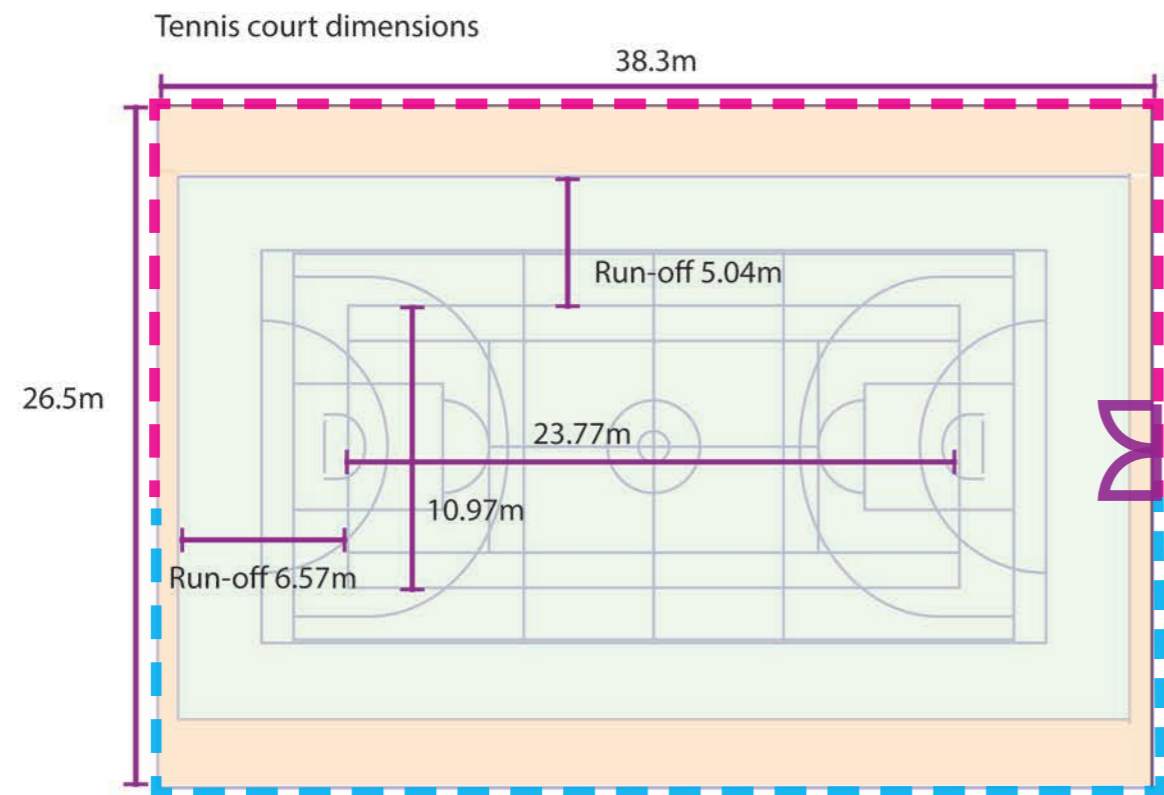
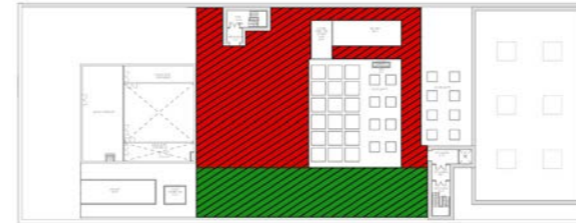


Table 1 indicates targets and provision of play spaces for different age groups in and around school.

Within the calculation of the school playspace facilities (indoor and outdoor) a weighted contribution has been included in figures for 5yrs and above, in line with the intention to arrange a community use agreement with the residential development community. We have calculated these facility areas on the basis of intermittent use outside school hours (during week nights and weekends) as 2/7 of the actual space.



SCHOOL INDOOR MUGA /ACTIVITIES HALL



SCHOOL ROOF PLAYSACE

Legend

- Under 5 Years
- 5 - 11 Years
- 12 + Years
- Proportional use for school
- School Application Boundary
- Site Application Boundary

Table 1: Total playspace required and achieved site wide including Detailed, Outline areas and School

AGE	No. of children	Play Space required GLA (Sqm)	Actual playspace provided (Excluding school)	Actual playspace provided (Including school)
0 - 5	134	1,340	1,846	1,846
5 - 11	94	940	1,612	2,553
12 - 18	53	530	626	2,508
TOTAL	281	2,810	4,084	6,907

Appendix B

Appendix 5



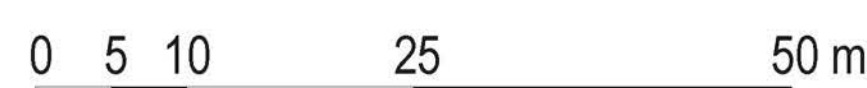
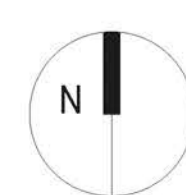
- LEGEND**
- GENERAL**
- Site Planning Application Boundary
 - School Planning Application Boundary
- PAVING**
- Paving Type 1: Stone slabs for forepath
 - Paving Type 2: Stone paving for shared surface
 - Paving Type 5: Stone flag paving for patios and entrances
 - Paving Type 8: Resin bound gravel
 - Paving Type 9: Artificial Stone flag paving
 - Paving Type 10: School road asphalt paving with 300mm granite kerb
 - Paving Type 11: Macadam 60/80 surfacing
 - Paving Type 12: 30 artificial grass
 - Paving Type 13: Rubber surfacing
- STRUCTURES**
- Fence Type 1: 1.2m high fence for school
 - Fence Type 2: 2.0m high fence for school
 - Fence Type 3: 4.0m high steel bar super rebound fence for school
 - Gate Type 1: Double door gate for school
- FURNITURE**
- Seat Type 1: Concrete bench
 - Cycle Stand Type 1: Galvalume cycle rack - galvanneal steel
 - Two Tier Cycle Shelter: 20 spaces per module
 - Retaining Wall: Retaining wall with fence
 - Tree Surround Type 1: Resin bound gravel
- PLANTING**
- Short Mown Grass
 - Existing Grass
 - Planting Mix: Mixed perennials and evergreen planting
 - Hedge: 1.8m high hedge
 - Existing Hedge
 - Meadow Planting: Mixed meadow planting
 - Existing Trees to be Retained: Protected during works
 - Proposed Trees
- LIGHTING**
- Lighting Column: To lighting designer's details
 - Lighting Column: To lighting designer's details
 - Sports Lighting Column: To lighting designer's details
 - Sports Lighting Column: To lighting designer's details

rev	details	by	date
D00	Issue for Planning	RJ	02.02.2018
D01	Issue for Planning	RJ	09.02.2018
D02	Issue for Planning	RJ	14.02.2018
D03	Planning Substitution	RJ	11.04.2019
D04	Updated for Planning	GP	26.04.2019
D05	Updated for Planning	CL	24.09.2019

rev	details	by	date

Notes

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Project title
STAG BREWERY

Drawing title
School Rendered Masterplan (Interim)

Drawing number
P10736-00-001-130

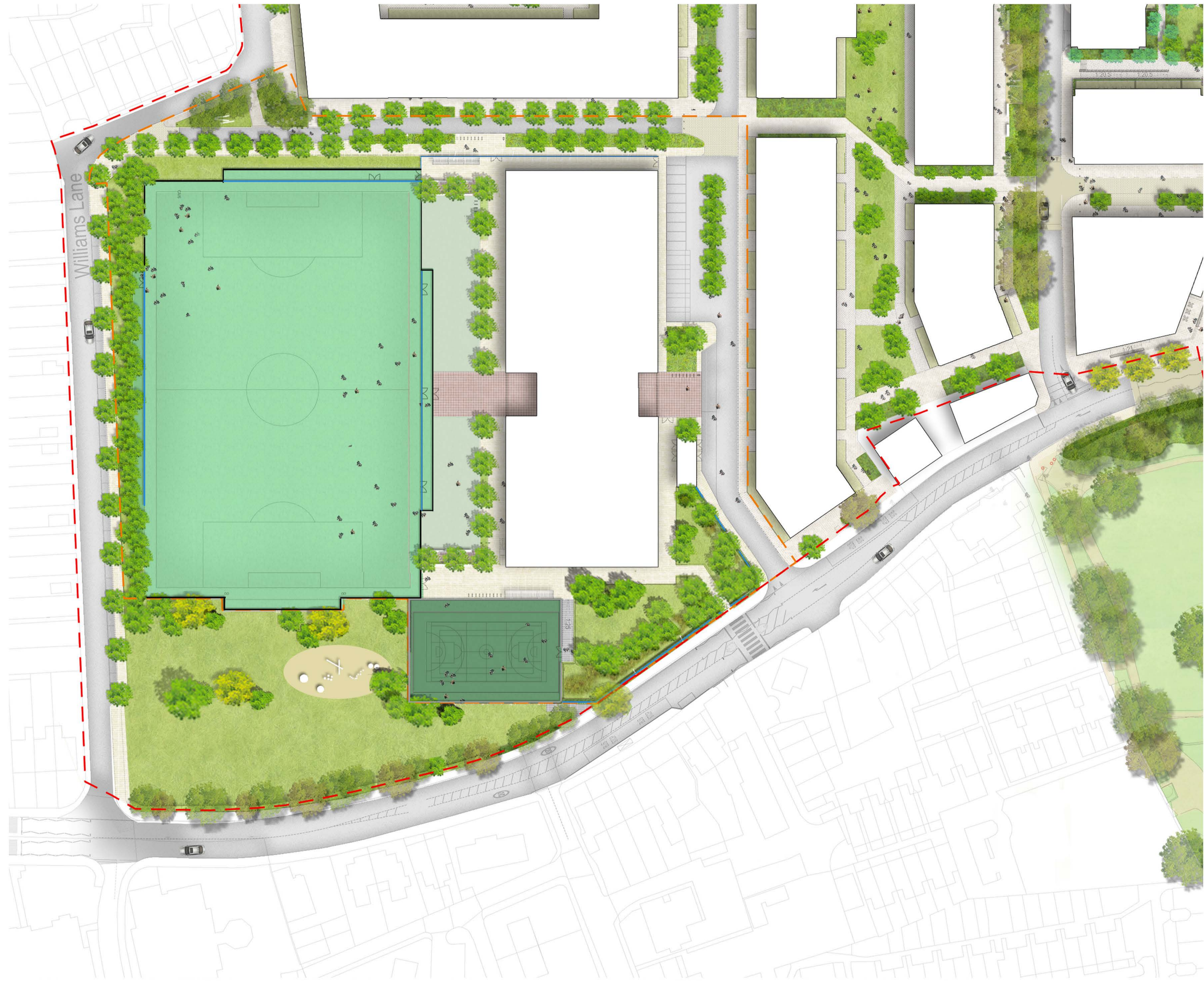
Drawing Status: **DESIGN** Revision: **D05**

Date: 02.02.18 Scale: 1:500 @ A1 Drawn: RJ Checked: RC

Client
DARTMOUTH CAPITAL
Alameda House, 90-100 Sydney Street, London SW2 0NU
P: 0207 629 6296

GILLESPIES
1 St John's Square, London EC1M 4DH
P: 020 7253 2929 F: 020 7253 3900 E: design@gilispies.com

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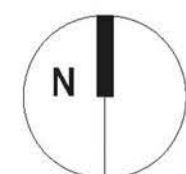
- LEGEND**
- GENERAL**
- Site Planning Application Boundary
 - School Planning Application Boundary
- PAVING**
- Paving Type 1: Stone slabs for footpath
 - Paving Type 2: Stone paving for shared surface
 - Paving Type 5: Stone flag paving for patios and entrances
 - Paving Type 8: Rees bound grass
 - Paving Type 9: Artificial 50mm flag paving
 - Paving Type 10: School road asphalt paving with 300mm granite kerb
 - Paving Type 11: Macadam surface with 300mm granite kerb
 - Paving Type 12: 30 artificial grass
 - Paving Type 13: Rees bound grass
 - Paving Type 14: Macadam surface
- STRUCTURES**
- Fence Type 1: 2.1m high fence for school
 - Fence Type 2: 3.0m high fence for school
 - Fence Type 3: 4.5m high steel bar super rebound fence for school
 - Gate Type 1: Double door gate for school
- FURNITURE**
- Seat Type 1: Concrete bench
 - Cycle Stand Type 1: Sheffield cycle loop - galvanneal steel
 - Two Tier Cycle Shelter: 20 spaces per school
 - Retaining Wall: Retaining wall with fence
 - Tree Surround Type 1: Rees bound grass
- PLANTING**
- Short Mown Grass
 - Planting Mix: Mixed perennial and evergreen planting
 - Hedge Type 1: 1.5m high hedge
 - Hedge Type 2: 1m high hedge
 - Existing Hedge
 - Meadow Planting: Mixed meadow planting
 - Existing Trees to be Retained: Protected during all works
 - Proposed Trees
- LIGHTING**
- Lighting Column: To lighting designer's details
 - Sports Lighting Column: To lighting designer's details

rev	details	by	date
D00	Issue for Planning	RJ	02.02.2018
D01	Issue for Planning	RJ	09.02.2018
D02	Issue for Planning	RJ	14.02.2019
D03	Design Update	RJ	13.03.2019
D04	Updated for Planning	GP	26.04.2019
D05	Updated for Planning	CL	23.09.2019

rev	details	by	date

Notes

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Project title
STAG BREWERY

Drawing title
School Rendered Masterplan (Final)

Drawing number
P10736-00-001-131

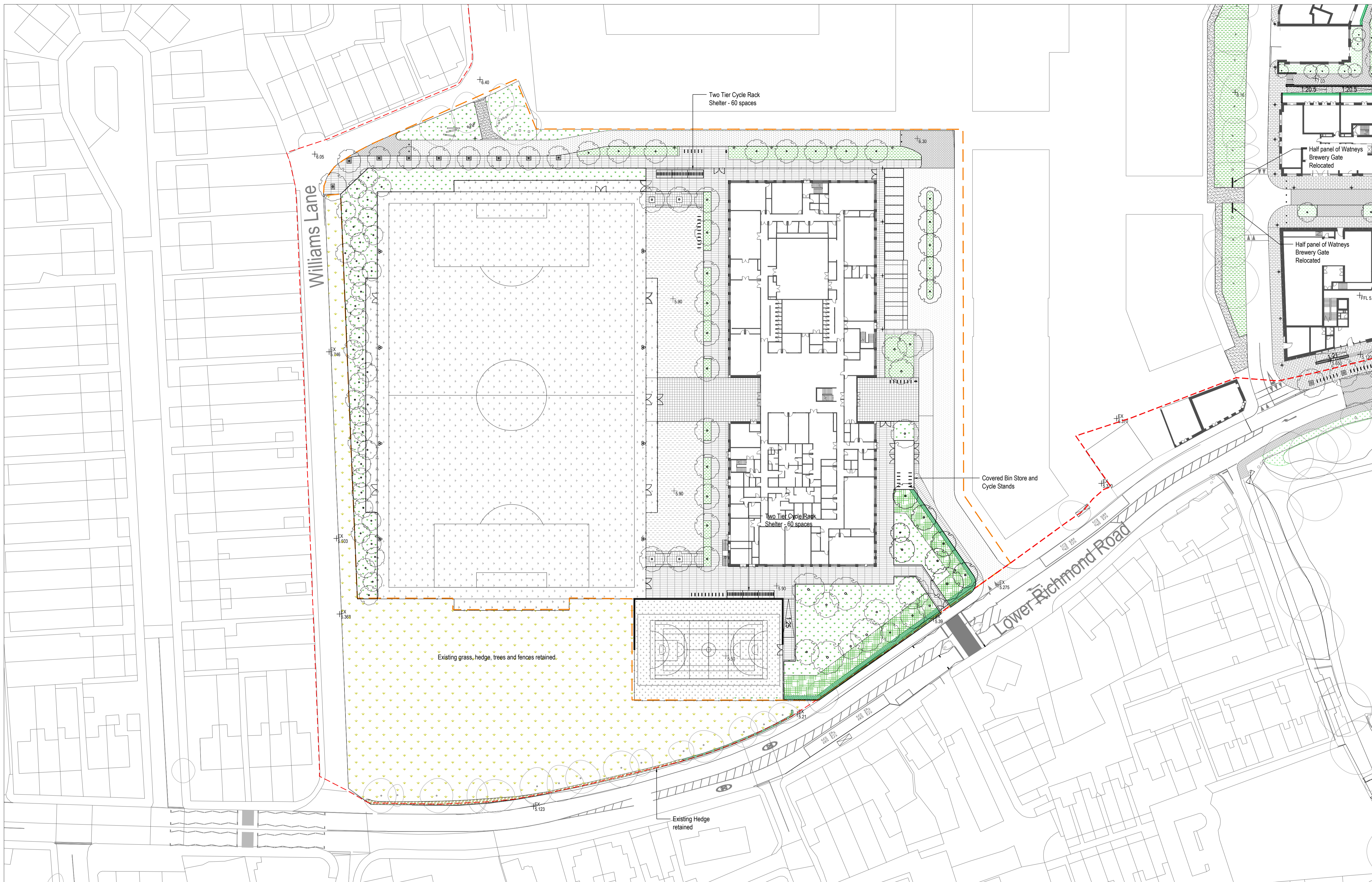
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DESIGN	D05

Date	Scale	Drawn	Checked
02.02.18	1:500 @ A1	RJ	RC

Client
DARTMOUTH CAPITAL
Alameda House, 90-100 Sydney Street, London SW1S 8NU
P: 0207 629 0298

GILLESPIES
1 St. John's Square, London EC1M 4DH
P: 020 7263 2329 F: 020 7263 3000 E: design.london@gillespies.co.uk

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LEGEND

GENERAL

- Site Planning Application Boundary
- School Planning Application Boundary
- Existing Surface Level
- Proposed Surface Level
- Top of Wall Level
- Finished Floor Level (Internal)

PAVING

- Paving Type 1
Stone flags for footpaths
- Paving Type 2
Stone paving for shared surface
- Paving Type 5
Stone flag paving for plazas and entrances
- Paving Type 8
Recessed stone flag paving
- Paving Type 9
Artistic stone flag paving
- Paving Type 10
School rated asphalt paving with 300mm granite kerb
- Paving Type 11
Porous Macadam MCCA surfacing
- Paving Type 12
30 artifice grass
- Paving Type 14
Resilient surfacing
Colour light green

STRUCTURES

- Fence Type 1
1.2m high fence for school
- Fence Type 2
2.1m high fence for school
- Fence Type 3
4.2m high steel tube super rebound fence for school
- Gate Type 1
Double door gate for school

FURNITURE

- Seat Type 1
Concrete bench
- Cycle Stand Type 1
360° fixed cycle hoop - galvanneal steel
- Two Tier Cycle Shelter
20 spaces per module
- Retaining Wall
Retaining wall with fence
- Tree Surround Type 1
Recess bound gravel

PLANTING

- Short Mown Grass
- Existing Grass
- Planting Mix
Mixed perennial and evergreen planting
- Hedge Type 1
1.5m high hedge
- Hedge Type 2
1m high hedge
- Existing Hedge
Non-retained
- Meadow Planting
Mixed meadow planting
- Existing Trees to be Retained
Protected during all works
- Proposed Trees

LIGHTING

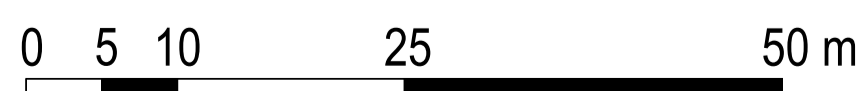
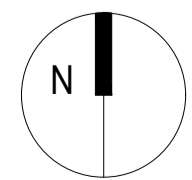
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To lighting designer's details
- Lighting Column
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- Sports Lighting Column
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To lighting designer's details

01 SCHOOL INTERIM DESIGN - PLAN
Scale 1: 500 @A1

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D01	Issue for Information	RJ	17.01.2018				
D02	Issue for Planning	RJ	09.02.2018				
D03	Issue for Planning	RJ	13.02.2018				
D04	Updated for Planning	RJ	19.03.2019				
D05	Updated for Planning	GP	26.04.2019				
D06	Updated for Planning	CL	24.09.2019				
D07	Updated for Planning	RM	30.09.2019				

Notes

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- 1.1 All dimensions to be checked onsite
- 1.2 This drawing to be read in conjunction with all other Gillespies drawings and specifications



Project title
STAG BREWERY

Drawing title
School Landscape GA Plan (Interim)

Drawing number
P10736-00-001-132

Drawing Status
DESIGN

Date
16.01.18

Scale
1:500 @A1

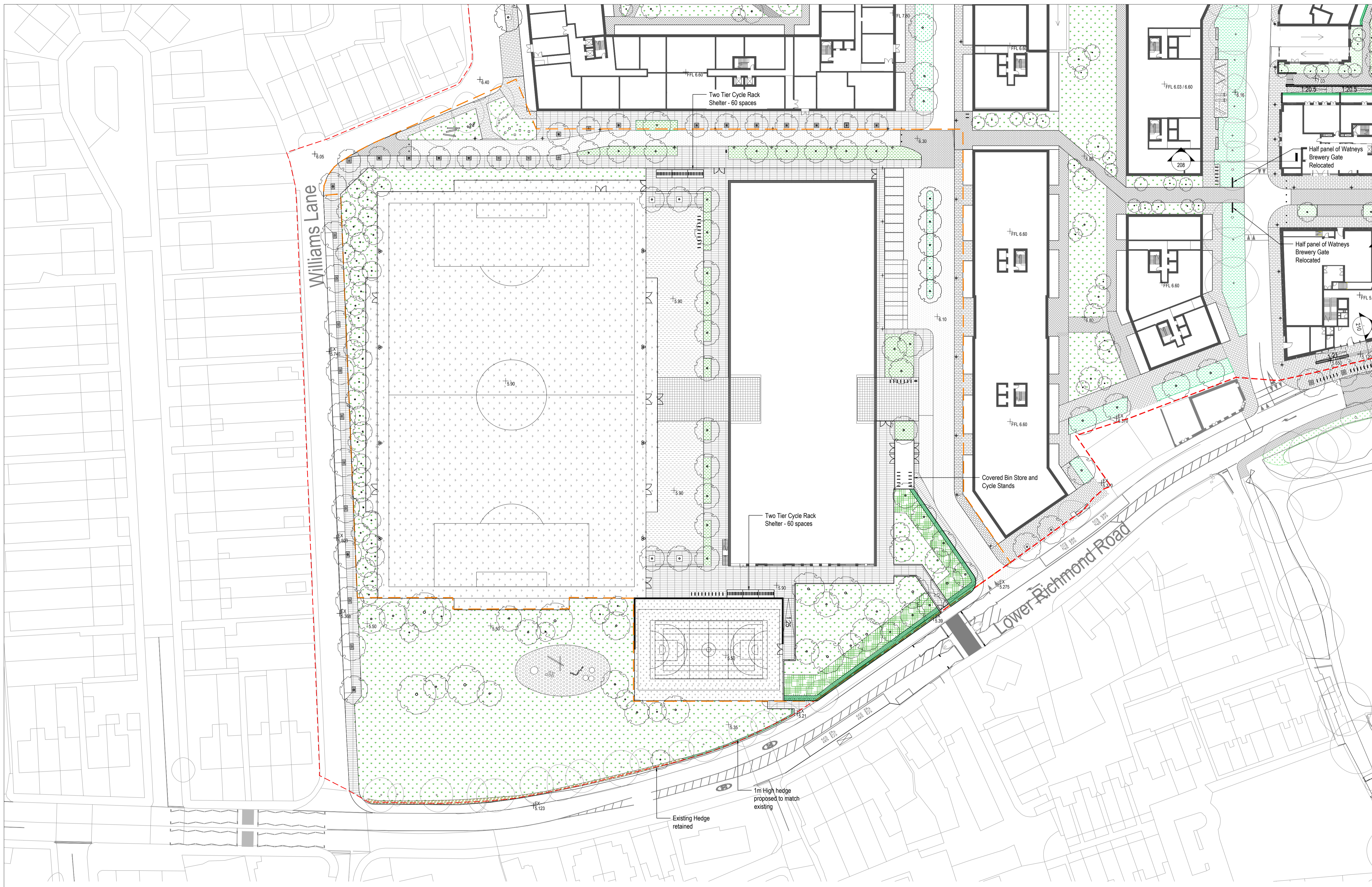
Revision
D07

Drawn
RJ

Checked
RC

Client
DARTMOUTH CAPITAL
Alameda House, 90-100 Sydney Street, London E9 3JX

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1 St John's Square, London EC1M 4JH
P: 020 7533 2629 F: 020 7533 3990 E: design@gilispies.co.uk



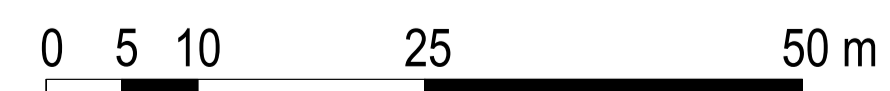
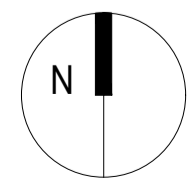
- LEGEND**
- GENERAL**
- Site Planning Application Boundary
 - School Planning Application Boundary
 - Existing Surface Level
 - Proposed Surface Level
 - Top of Wall Level
 - Finished Floor Level (Internal)
- PAVING**
- Paving Type 1: Stone rubble for footpaths
 - Paving Type 2: Stone paving for shared surface
 - Paving Type 5: Stone flag paving for patios and entrances
 - Paving Type 8: Artificial stone flag paving
 - Paving Type 9: Artificial stone flag paving
 - Paving Type 10: School rated asphalt paving with 300mm granite base
 - Paving Type 11: Macadam 40/10 surface, Colour dark green
 - Paving Type 12: 30 artificial grass
 - Paving Type 13: Rubber surfacing for playground
 - Paving Type 14: Macadam 40/10 surface, Colour light green
- STRUCTURES**
- Fence Type 1: 1.2m high fence for school
 - Fence Type 2: 3.0m high fence for school
 - Fence Type 3: 4.5m high steel tube super rebound fence for school
 - Gate Type 1: Double door gate for school
- FURNITURE**
- Seat Type 1: Concrete bench
 - Cycle Stand Type 1: Steel fixed frame galvanneal steel
 - Two Tier Cycle Shelter: 20 spaces per module
 - Retaining Wall: Retaining wall with fence
 - Tree Surround Type 1: Round board gravel
- PLANTING**
- Short Mown Grass
 - Planting Mix: Mixed perennial and evergreen planting
 - Hedge Type 1: 1.5m high hedge
 - Hedge Type 2: 1.8m high hedge
 - Existing Hedge: Maintained
 - Meadow Planting: Mixed meadow planting
 - Existing Trees to be Retained: Protected during works
 - Proposed Trees
- LIGHTING**
- Lighting Column: To lighting designer's details
 - Lighting Column: To lighting designer's details
 - Sports Lighting Column: To lighting designer's details
 - Sports Lighting Column: To lighting designer's details

01 SCHOOL FINAL DESIGN - PLAN
Scale 1: 500 @A1

rev	details	by	date	rev	details	by	date
D00	Issue for Planning Draft	RJ	16.01.2018	D08	Planning Substitution	RM	30.09.2019
D01	Issue for Planning	RJ	02.02.2018				
D02	Issue for Planning	RJ	09.02.2018				
D03	Issue for Planning	RJ	14.02.2018				
D04	Planning Substitution	RJ	11.04.2019				
D05	Planning Substitution	GP	26.04.2019				
D06	Planning Substitution	YA	13.09.2019				
D07	Planning Substitution	CL	23.09.2019				

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Project title
STAG BREWERY

Drawing title
School Landscape GA Plan (Final)

Drawing number
P10736-00-001-133

Drawing Status: **DESIGN** Revision: **D08**

Date: 16.01.18 Scale: 1:500 @ A1 Drawn: RJ Checked: RC

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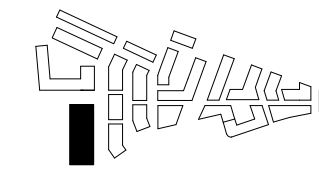
GILLESPIES
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P: 020 7533 2629 F: 020 7533 3990 E: design@gilispies.co.uk

Appendix B

Appendix 6

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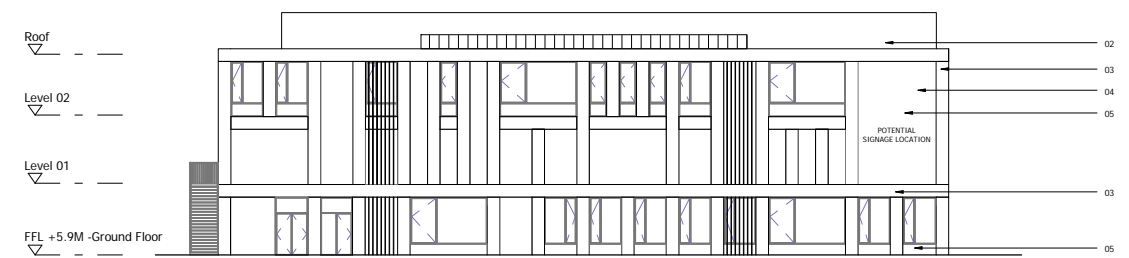


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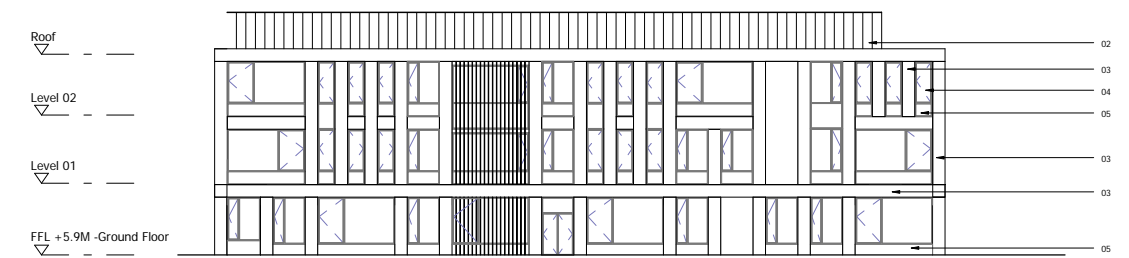
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- 02. PPC METAL CLADDING
- 03. BRICK WALL/PIER
- 04. CLEAR GLAZING WITH PPC ALUMINIUM FRAME
- 05. PPC METAL SPANDREL PANEL
- 06. CONTRASTING BRICK TEXTURE TO PIERS AROUND ENTRANCE



2 PROPOSED EAST ELEVATION
1 : 200



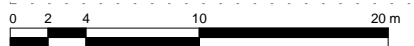
3 PROPOSED SOUTH ELEVATION
1 : 200



4 PROPOSED NORTH ELEVATION
1 : 200



1 PROPOSED WEST ELEVATION
1 : 200



Revision description	Date	Check	Rev
PLANNING SUBSTITUTION DRAWINGS	01/03/19	EmK	A
PLANNING APPLICATION	12/02/18	BJ	-

SQUIRE & PARTNERS

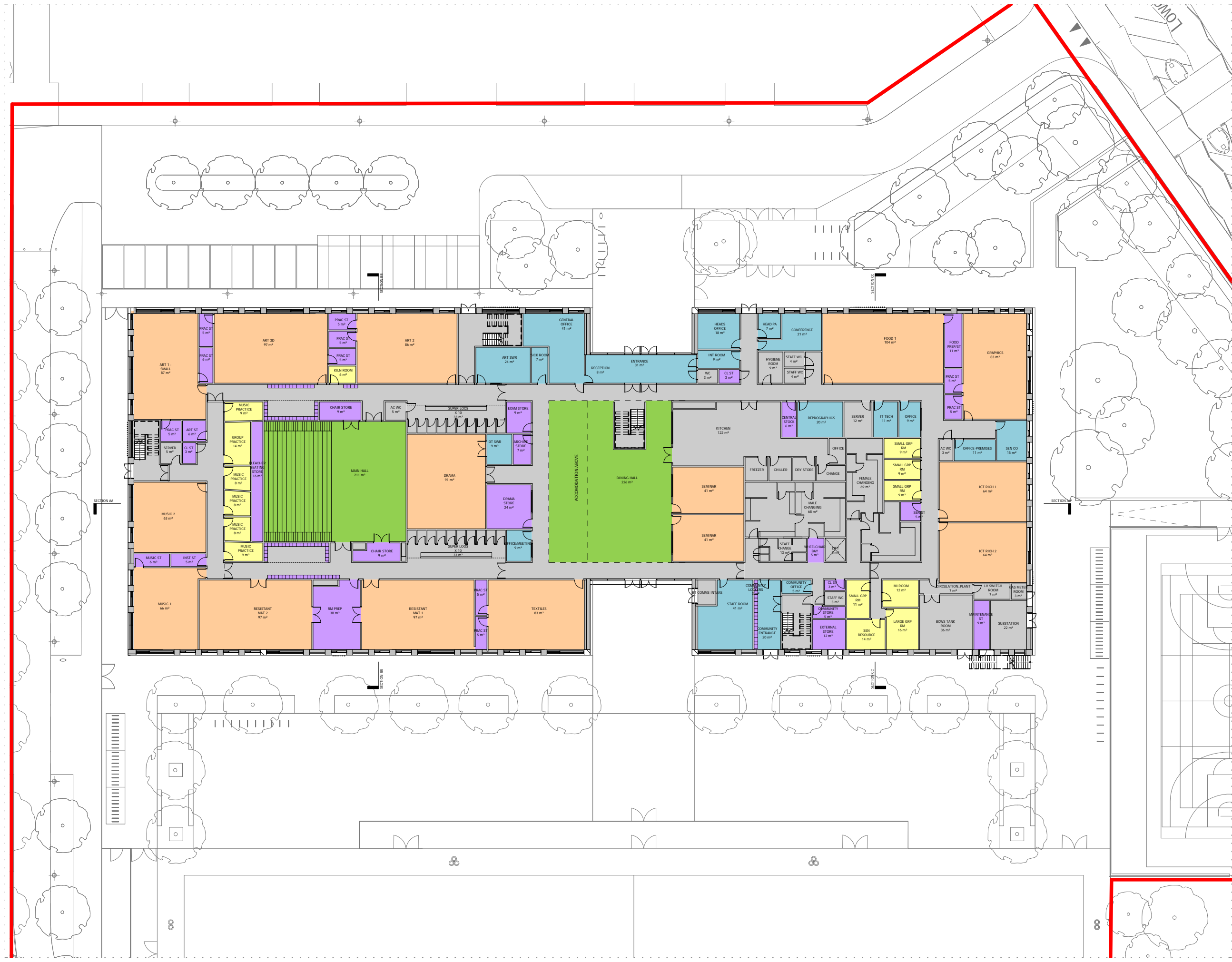
The Department Store
248 Ferndale Road London SW9 8FR
T: 020 7278 5555 F: 020 7239 0495

info@squireandpartners.com
www.squireandpartners.com

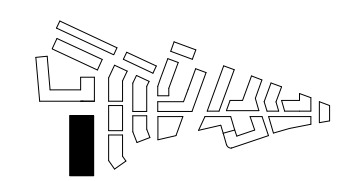
Project
Stag Brewery
Richmond

Drawing
Z3 SCHOOL - PROPOSED ELEVATIONS

Drawn	Date	Scale
NRH	01/17/18	1 : 200 @ A1 1 : 400 @ A3
Job Number	Drawing number	Revision
16019	C645_Z3_E_AL_001	A



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- BASIC TEACHING AREA
- LARGE SPACE
- LEARNING RESOURCE AREA
- NON-NET AREA
- STAFF AND ADMINISTRATION AREA
- STORAGE

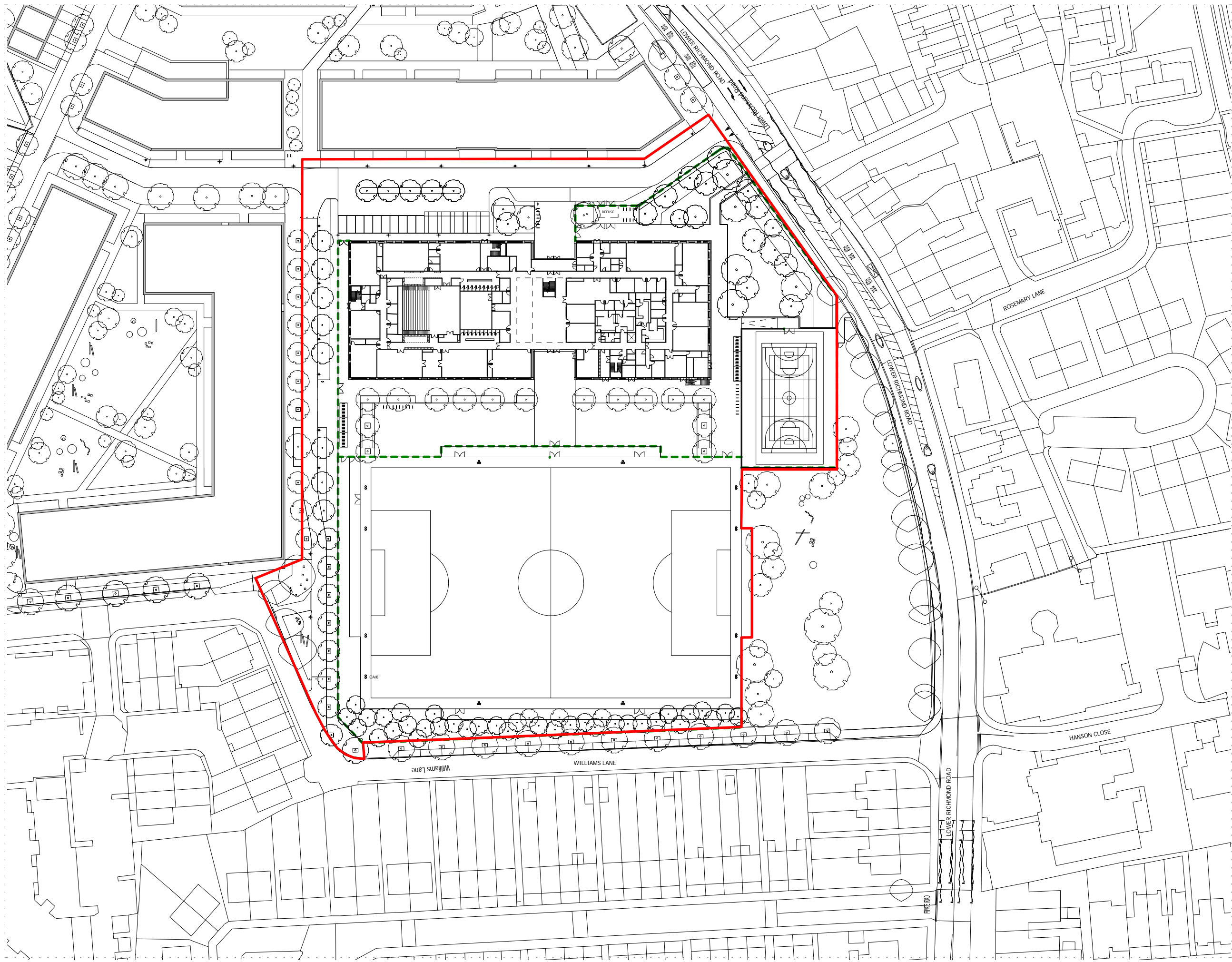


PLANNING SUBSTITUTION DRAWINGS	01/03/19	EmK	A
PLANNING APPLICATION	12/02/18	BJ	-
Revision description	Date	Check	Rev

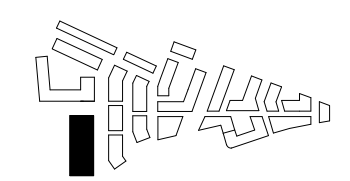
SQUIRE & PARTNERS
The Department Store
248 Ferndale Road London SW9 8FR
T: 020 7278 5555 F: 020 7239 0495
info@squireandpartners.com
www.squireandpartners.com
Project
Stag Brewery
Richmond

Drawing
Z3 SCHOOL - PROPOSED GROUND FLOOR PLAN

Drawn	Date	Scale
RKL	01/17/18	1:200 @ A1 1:400 @ A3
Job Number	Drawing number	Revision
16019	C645_Z3_P_00_001	A



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— SCHOOL APPLICATION BOUNDARY
 - - - SCHOOL FENCE LINES

PLANNING SUBSTITUTION DRAWINGS	01/03/19	EmK	A
PLANNING APPLICATION	12/02/18	BJ	-
Revision description	Date	Check	Rev

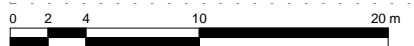
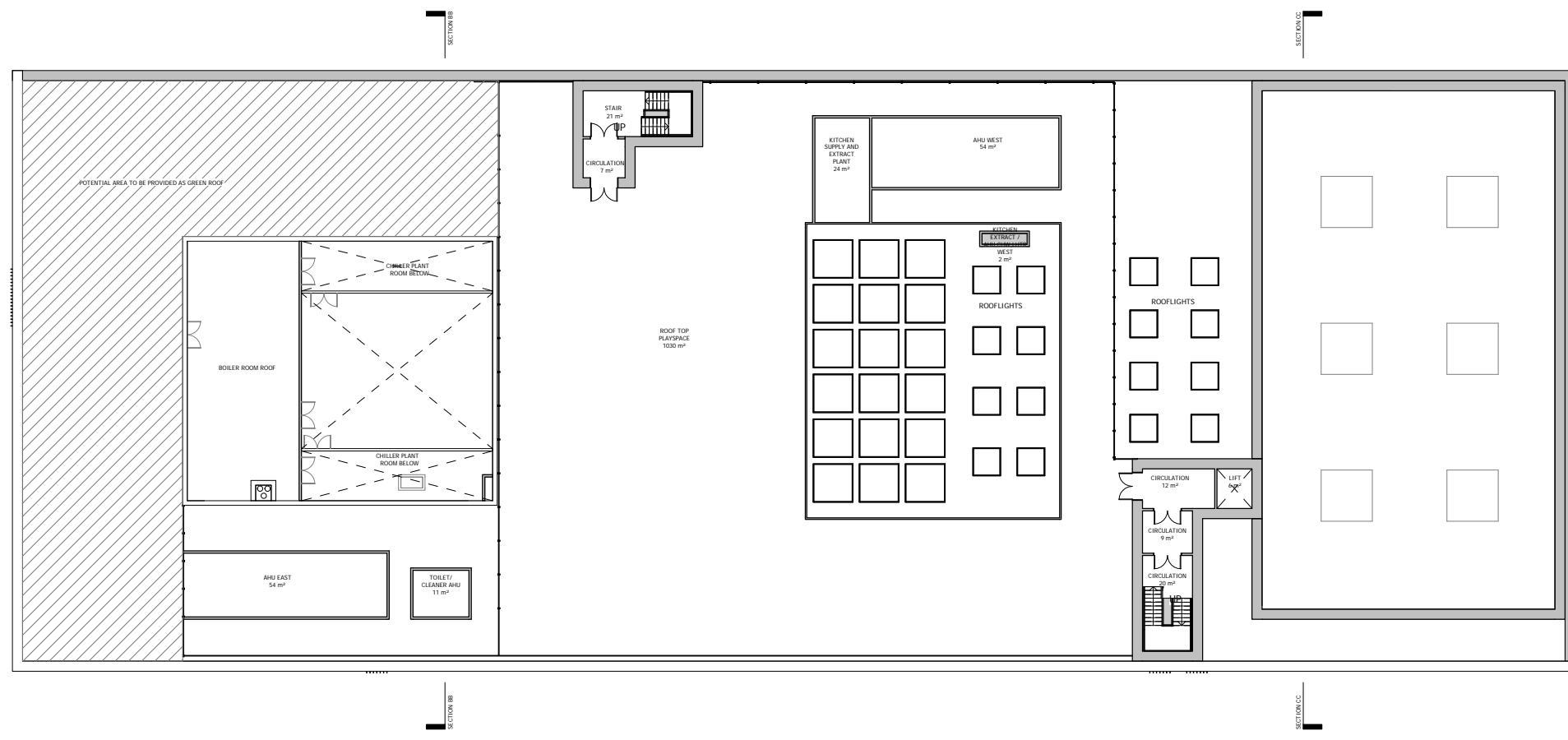
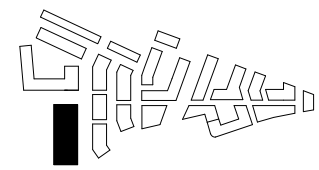
SQUIRE & PARTNERS
 The Department Store
 248 Ferndale Road London SW9 8FR
 T: 020 7278 5555 F: 020 7239 0495
 info@squireandpartners.com
 www.squireandpartners.com
 Project
Stag Brewery
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Drawing
Z3 SCHOOL -PROPOSED SITE PLAN

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16019	C645_Z3_P_AL_001	A

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SQUIRE & PARTNERS

The Department Store
248 Ferndale Road London SW9 8FR
T: 020 7278 5555 F: 020 7239 0495

info@squireandpartners.com
www.squireandpartners.com

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Stag Brewery
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Drawing
Z3 SCHOOL - PROPOSED ROOF PLAN

Drawn	Date	Scale
RKL	01/17/18	1 : 200 @ A1 1 : 400 @ A3
Job Number	Drawing number	Revision
16019	C645_Z3_P_RF_001	A

Appendix B

Appendix 7



BRIEFING PAPER – CONFIDENTIAL

PROJECT:	Reselton Properties Limited – Stag Brewery
SUBJECT:	Sport and Leisure Facilities within Proposed Development
DATE:	April 2019
VERSION:	5.0

1. Introduction

- 1.1 This Sport and Leisure Facilities Briefing Paper has been prepared by The Sport, Leisure and Culture Consultancy on behalf of Reselton Properties Limited ('the Applicant') in support of three linked planning applications for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake ('the Site') within the London Borough of Richmond Upon Thames ('LBRuT').
- 1.2 The former Stag Brewery Site is bounded by Lower Richmond Road to the south, the river Thames and the Thames Bank to the north, Williams Lane to the east and Bulls Alley (off Mortlake High Street) to the west. The Site is bisected by Ship Lane. The Site currently comprises a mixture of large scale industrial brewing structures, large areas of hardstanding and playing fields.
- 1.3 The redevelopment will provide homes (including affordable homes), a Care Village for an older population, complementary commercial uses, community facilities, a new secondary school alongside new open and green spaces throughout. Associated highway improvements are also proposed, which include works at Chalkers Corner junction.
- 1.4 The three planning applications are as follows:
- Application A – hybrid planning application for comprehensive mixed use redevelopment of the former Stag Brewery site consisting of:
 - i. Land to the east of Ship Lane applied for in detail (referred to as 'Development Area 1' throughout); and
 - ii. Land to the west of Ship Lane (excluding the school) applied for in outline detail (referred to as 'Development Area 2' throughout).
 - Application B – detailed planning application for the school (on land to the west of Ship Lane).
 - Application C – detailed planning application for highways and landscape works at Chalkers Corner.
- 1.5 Full details and scope of all three planning applications are described in the submitted Planning Statement, prepared by Gerald Eve LLP.
- 1.6 This report addresses the loss of 2 youth 11v11 football pitches / 1 cricket pitch on the existing Site, and the need for and impact of the community sport and leisure provision included as part of the Application B.

2. Sport and Leisure Provision – Application B

- 2.1 The Application positions the school building in the eastern side of the existing playing field land.
- 2.2 A floodlit 3G football pitch (64m x 100m) with a total area (including run off) of 7,420m² is included west of the school building on the portion of the site bordering with Williams Lane.



- 2.3 The school building includes a 4-court sports hall designed to meet Sport England specifications (34.5m x 20m x 7.5m) and an activity hall / studio (10m x 15m).
- 2.4 A multi-use games area (26.5m x 36.3m) is included to the south of the school.
- 2.5 The school building also includes the following changing room provision:
 - Male changing room – 68m²
 - Female changing room – 69m²
 - Staff changing room – 13m².
- 2.6 The southern portion of the existing playing field land south of the 3G football pitch is comprised of a Community Park bordering with Lower Richmond Road.

Figure 1: Site plan for relevant portion of site

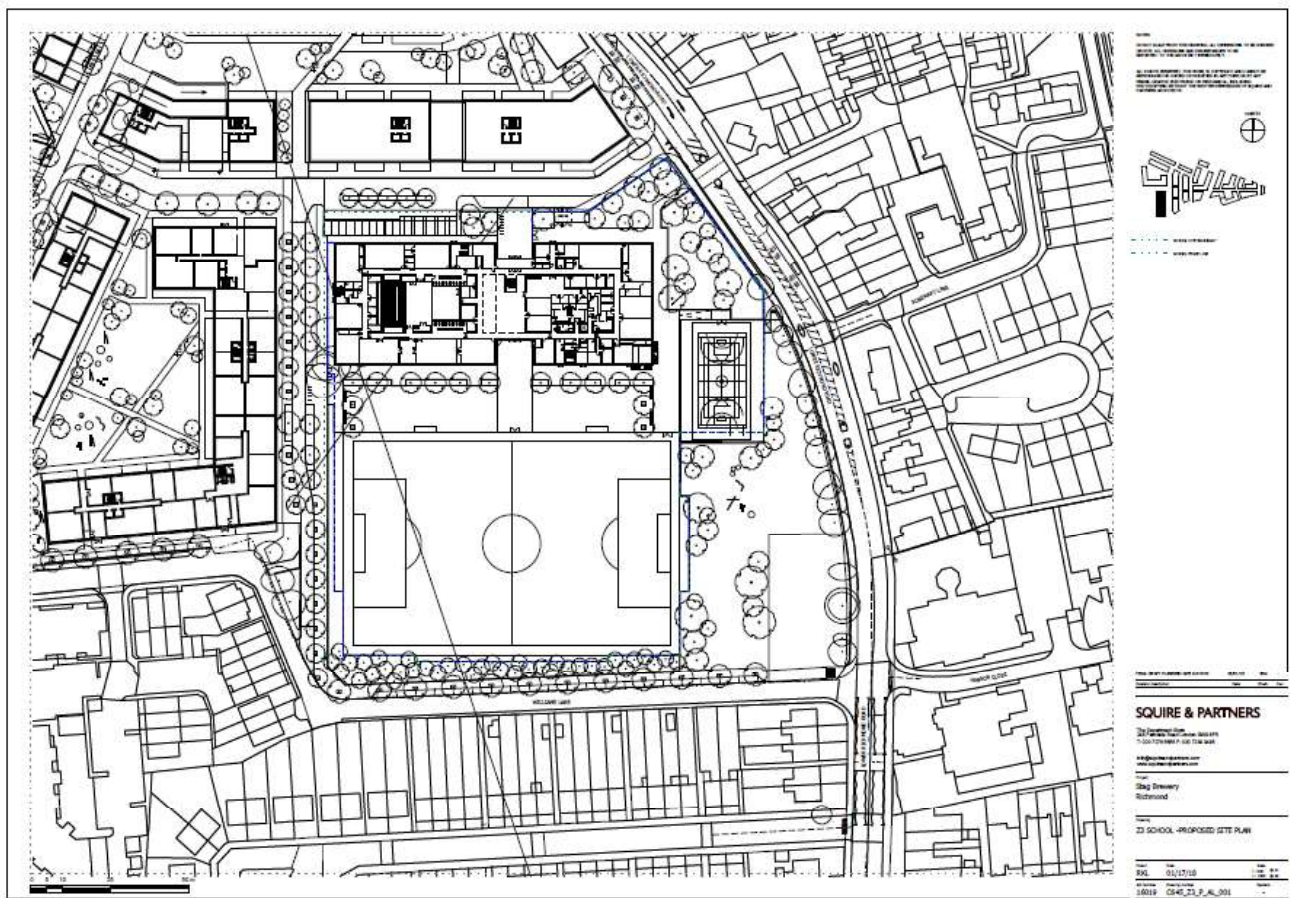


Figure 2: Proposed School Ground Floor Plan



Figure 3: Proposed School First Floor Plan



3. Meeting the Requirements of Sport England Policy Exception E5

- 3.1 In respect of the loss of playing field land, the loss of existing sports facilities and pitches can be considered acceptable from a policy perspective if the conditions of at least one of Sport England’s policy exceptions can be met.
- 3.2 The 2015 Playing Pitch Strategy for LBRuT found there to be a shortfall of youth 11v11 pitches in the borough of 1 match equivalent session in 2015, increasing to 14 match equivalent sessions in 2025. In the Richmond Analysis Area into which the site falls, supply and demand for 11v11 youth pitches is in balance currently, but there will be a shortfall of 6 match equivalent sessions in 2025.
- 3.3 There is also a current shortfall of Adult football pitches and mini pitches (7v7) and a projected future shortfall for all football pitch types with the exception of mini pitches (5v5) in 2025 in the Richmond Analysis Area.
- 3.4 The existing football pitches on the Site were not assessed as part of the 2015 Playing Pitch Strategy and not included in the calculation above. However, assuming the pitches are of



standard quality, each pitch will have a total capacity of 2 match equivalent sessions per week (4 match equivalent sessions per week in total).

- 3.5 If the pitches are of good quality the total capacity would increase to 3 match equivalent sessions per week per pitch – 6 match equivalent sessions in total.
- 3.6 The playing fields are not currently used as a cricket pitch, but there is a suggestion that they may have historically been used for cricket in the summer months. LBRuT's Playing Pitch Strategy did not include the Site in its consideration of the existing cricket supply. The Strategy however, found that the current number of cricket squares in the borough can accommodate demand, and that there is spare capacity of 2 pitches in the Richmond Analysis area into which the site falls.
- 3.7 Although they were not included in the Playing Pitch Strategy calculations and therefore their loss would most likely not exacerbate the existing shortfalls, their loss cannot be justified on the basis that the pitches are surplus to requirements based on the current and future supply and demand balance for football pitches (Policy Exception E1).
- 3.8 Sport England's Policy Exception E5, however, would be applicable in the context of the revised proposal set out above if it can be demonstrated that the development of indoor and / or outdoor sports facilities as part of the proposal would be of sufficient sporting benefit to outweigh the detriment caused by the loss of the playing fields resulting from the development.
- 3.9 In order to understand and demonstrate if this is the case, it is necessary to establish:
- What is the current use and what benefits are derived from that use?
 - What is the proposed use?
 - What sport-related benefits would be derived from the proposed use and how does this compare with the current use?
 - What role will the proposed development have in addressing existing deficiencies?

Current Use

- 3.10 The playing field land at the Site currently includes two grass 11v11 youth football pitches with no floodlighting.
- 3.11 The football pitches are currently in use by Barnes Eagles FC for their U13 to U16 teams. The Club's primary site is Barn Elms Sports Centre, and it only uses the pitches at the Site for 4 matches per week and occasional training during the football season.
- 3.12 The pitches are also used by Thomson House School for sports and games once a week on Tuesdays during term time, and once a year by St Mary Magdalen Catholic Primary School for their annual sports day.
- 3.13 Although the playing field land is described in the Adopted Planning Brief (2011) as consisting of 2 football pitches and 1 cricket pitch, the land has not been used as a cricket pitch for many years.
- 3.14 The total estimated current use of the playing field land in terms of annual participants is summarised in Table 1.



Table 1: Estimated Current Use of Playing Field Land - Annual participants

Use	Estimated Total Participants Per Annum	Assumptions
Thomson School	1,950	Once a week – c. 50 pupils per session
Barnes Eagles FC – Matches	4,200	2 matches per week per pitch during 35-week football season – c. 30 participants (11v11 plus substitutes)
Barnes Eagles FC – Training	1,050	Occasional training during 35-week football season (2 sessions per week – 15 participants per session)
St Mary Magdalen School	250	Annual sports day – whole school
Total	7,450	

- 3.15 Given the limited carrying capacity of grass playing pitches, there is little or no scope to increase the number of participants within the current configuration. Significant additional use would have a detrimental impact on the quality and playability of the pitches.
- 3.16 It is conceivable that if the condition of the pitches is ‘good’ rather than ‘standard’ they would each have a carrying capacity of 3 matches per week which would increase the total annual participants by c. 2,100 to c. 9,550, but this would be the maximum threshold of users that can currently be achieved.

Proposed Use

- 3.17 The Application includes the following in terms of sports facilities:
- 3G youth football pitch (64m x 100m) with floodlights (120lux or 200lux)
 - 4 court sports hall meeting Sport England specifications (34.5m x 20m x 7.5m)
 - Activity hall / studio (150m²)
 - Multi-use games area (26.5m x 36.3m)
 - Changing provision including male, female and staff change.
- 3.18 Table 2 shows an estimate of the potential capacity of the sports facilities included in the proposal in terms of participants per annum using the following assumptions:
- 3G pitch benefits from floodlighting
 - Facilities are available for community use from 5pm to 9pm on weekdays during term time (39 weeks per annum).
 - Facilities would primarily be used for after-school activities between 4pm and 5pm on weekdays during term time. Community use between the hours of 4pm and 5pm on weekdays during term time will be at the discretion of the school
 - Facilities are available for community use from 9am to 9pm on weekdays outside of term time (11 weeks per annum)
 - Facilities are available for community use from 9am to 9pm on Saturdays
 - Facilities are available for community use from 9am to 8pm on Sundays and Public / Bank Holidays



- MUGA does not benefit from floodlighting
- MUGA is available for community use during daylight hours from 5pm to 9pm on weekdays, from 9am to 9pm on Saturdays and from 9am to 8pm on Sundays and Public / Bank Holidays during term time (39 weeks per annum) – an average of c. 28 hours per week across the year
- MUGA is available for community use during daylight hours from 9am to 9pm Monday to Saturday and from 9am to 8pm on Sundays and Public / Bank Holidays outside of term time (11 weeks per annum) – an average of c. 67 hours per week across the year
- All community use sessions are hourly with the exception of the 3G pitch where 2-hour match equivalent sessions have been used, albeit it is common practice for 3G pitches to be hired on an hourly basis
- All students at the secondary school (1,500 pupil capacity) use at least one of the sports facilities on site at least once a week during term time.

3.19 Table 3 also shows the potential capacity of the facilities if the opening hours were extended to a 10pm closure on weekdays and weekends.

3.20 It should be noted that the availability of the facilities for community use outside of school hours would not preclude the secondary school from reserving the use of the facilities during these times for extra-curricular activities. Usage by the school between the hours of 4pm to 9pm or 10pm on weekdays during term time has not been distinguished from usage by the community in the estimated capacity calculations in Tables 2 and 3.

Table 2: Estimated capacity of Application B Sports Facilities - Users per annum. Earlier closing times

Facility	Estimated number of users per session	Term Time capacity	Non-Term Time capacity	Total
Opening Hours	Weekdays (Term Time): 4pm – 9pm Weekdays (Non-Term Time): 9am – 9pm Saturdays: 9am – 9pm Sundays and Public / Bank Holidays: 9am – 8pm			
3G Youth Football Pitch	22	20,592	10,043	30,635
4 Court Sports Hall	10	18,720	9,130	27,850
Activity Hall / Studio	20	37,440	18,260	55,700
MUGA	10	12,480	7,392	19,872
Total Use outside of School Hours	n/a	89,232	45,793	134,057
School Use	n/a	58,500	n/a	58,500
Total Use	n/a	147,732	45,793	192,557



Table 3: Estimated capacity of Application B Sports Facilities - Users per annum. Later closing times

Facility	Estimated number of users per session	Term Time capacity	Non-Term Time capacity	Total
Opening Hours	Weekdays (Term Time): 4pm – 10pm Weekdays (Non-Term Time): 9am – 10pm Weekends: 9am – 10pm			
3G Youth Football Pitch	22	24,024	11,011	35,035
4 Court Sports Hall	10	21,840	10,010	31,850
Activity Hall / Studio	20	43,680	20,020	63,700
MUGA	10	12,480	7,392	19,872
Total Use outside of School Hours	n/a	102,024	48,433	150,457
School Use	n/a	58,500	n/a	58,500
Total Use	n/a	160,524	48,433	208,957

- 3.21 Table 2 shows that the sports facilities included in the Application could accommodate up to **192,557** attendances per annum. The capacity may even be slightly higher as school use would most likely be more frequent than 1 use per student per week. If longer opening hours were to be put in place, this potential capacity would increase to **208,957** attendances per annum.
- 3.22 It should be noted that these calculations show capacity rather than projected use and include some school usage, including after-school sessions between the hours of 4pm and 5pm on weekdays during term time. The facilities would be unlikely to experience full occupancy levels, but in an area of high demand it would be reasonable to expect occupancy levels of c. 65% of community use hours for the MUGA, c. 75% of community use hours for the studio and sports hall and c. 80% of community use hours for the 3G pitch.



Table 4 and Table 5 show the capacity of the facilities if only community use is considered. The same assumptions as provided in 3.18 and 3.19 have been applied but only capacity during the community use hours shown has been considered.



3.23 Table 4 is based on a 9pm closure on Monday – Saturday and 8pm on Sundays, whilst Table 5 shows the capacity if opening hours were extended until 10pm.



Table 4: Estimated Community Use capacity of Application B Sports Facilities - Users per annum. Earlier closing times

Facility	Estimated number of users per session	Term Time capacity	Non-Term Time capacity	Total
Community Use Hours	Weekdays (Term Time): 5pm – 9pm Weekdays (Non-Term Time): 9am – 9pm Saturdays: 9am – 9pm Sundays and Public / Bank Holidays: 9am – 8pm			
3G Youth Football Pitch	22	18,447	10,043	28,490
4 Court Sports Hall	10	16,770	9,130	25,900
Activity Hall / Studio	20	33,540	18,260	51,800
MUGA	10	10,920	7,392	18,312
Total Community Use	n/a	79,677	44,825	124,502

Table 5: Estimated capacity of Application B Sports Facilities - Users per annum. Later closing times

Facility	Estimated number of users per session	Term Time capacity	Non-Term Time capacity	Total
Community Use Hours	Weekdays (Term Time): 5pm – 10pm Weekdays (Non-Term Time): 9am – 10pm Weekends: 9am – 10pm			
3G Youth Football Pitch	22	19,734	11,011	30,745
4 Court Sports Hall	10	17,940	10,010	27,950
Activity Hall / Studio	20	35,880	20,020	55,900
MUGA	10	10,920	7,392	18,312
Total Community Use	n/a	84,474	48,433	132,907



- 3.24 Table 4 shows that the sports facilities included in the Application could accommodate significant community use of up to **124,502** attendances per annum. The capacity may even be slightly higher as additional community use could be accommodated between 4pm and 5pm on weekdays during term time at the school's discretion. If longer opening hours were to be put in place, this potential capacity would increase to **132,907** attendances per annum, as shown in Table 5.
- 3.25 Two options for floodlighting of the 3G pitch have been tested and are acceptable. The applicant's preference is to proceed with 120lux at this stage. This level of lighting would still be suitable for evening use for training purposes and for matches at lower levels of competition. This should not materially affect overall potential capacity levels of the pitch in terms of users as the majority of evening use at a community facility would be for training purposes rather than competitive matches.

Sport-related benefits

- 3.26 There are number of sport-related benefits associated with the development of the sports facilities included in the Application.
- 3.27 The most significant sport-related benefit associated with the Application is the increased user-capacity of the new facilities compared with those currently in place. There is capacity for up to an additional **183,007** users per annum if the 3G pitch has the benefit of floodlighting to facilitate evening use – an increase of **1,916%**. This would increase to up to an additional **199,407** users per annum (**2,088%**) with longer opening hours.
- 3.28 This includes an additional community-use capacity of up to 124,502 users per annum or 132,907 users with longer opening hours.
- 3.29 The proposal also has the benefit of providing facilities for a significantly increased range of sports, including:
- 3G football pitch
 - Football – 11v11, 7v7, 5v5 and training
 - Rugby training
 - 4 court sports hall
 - Badminton
 - Gymnastics
 - Futsal
 - Fencing
 - Table tennis
 - Indoor football (5v5)
 - Volleyball
 - Handball
 - Indoor Basketball
 - Indoor Netball
 - Indoor cricket nets
 - Activity Hall / Studio