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Heritage Statement

**Railshead Road
Richmond
LONDON**

Goldcrest Land

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RAILSHEAD ROAD, RICHMOND

1.0 INTRODUCTION

This report has been prepared by CgMs on behalf of Goldcrest Land relating to the proposed scheme at Railshead Road, Richmond.

The site is located within the St Margaret's Estate Conservation Area and lies within the setting of the Isleworth Riverside Conservation Area which lies over the Borough boundary within Hounslow, and the Old Deer Park Conservation Area which is located across the River Thames. The development can further be considered to lie within the setting of the listed buildings at Gordon House, the formal stable blocks and the listed Railshead Bridge, and lies just to the west of the buffer zone for the World Heritage site at the Royal Botanic Gardens, Kew.

These proposals seek to replace the buildings which currently occupy the site with a mixed use scheme. This would provide commercial elements at the ground floor, and in part, at the first floor level. The proposals have been the subject of two rounds of pre-application consultation, and this final scheme presented as part of this application has been significantly revised in response to the advice given. The appropriateness of this response will be assessed as part of the scheme assessment provided within this report.

By virtue of paragraph 128 of the NPPF, applications for developments which may have an impact upon the historic environment are required to demonstrate the significance of the identified heritage assets in order that the potential impact of the development upon this significance can be understood. This report will fulfil that requirements and has been produced in order to inform those involved in the determination of the application. This report is based upon a site visit that was carried out with special regard to the impact of the development upon the setting of the Conservation Areas and upon the setting of the listed buildings. A review of the relevant legislation and planning policy framework at national and local levels will be undertaken, as well as evaluating the proposals based on an understanding of the character and significance of the identified assets and the historic development of the site. This report should be read alongside other documents submitted as part of the formal application.



Figure 1: An aerial view of the site which illustrates its proximity to the Thames and the World Heritage Site buffer zone.



Figure 3: A view of the nearby development of Bowyers Court, as seen from St Margaret's Road.



Figure 2: A view into the site looking east along Railshead Road.



Figure 4: An indicative sketch of the outdoor play area to be introduced as part of the proposals. The outdoor areas and landscaping measures are an integral part of the scheme.

2.0 LEGISLATIVE AND PLANNING POLICY FRAMEWORK

The current policy regime identifies, through the National Planning Policy Framework (NPPF), that applications should consider the potential impact of development on Heritage Assets. This term includes both designated heritage assets, which possess a statutory designation (for example listed buildings, conservation areas, and registered parks and gardens), as well as undesignated heritage assets.

Legislation

Where any development may affect designated or undesignated heritage assets, there is a legislative framework to ensure the proposals are developed and considered with due regard for their impact on the historic environment. This extends from primary legislation under the Planning (Listed Buildings and Conservation Areas) Act 1990. The relevant legislation in this case extends from Section 66 of the 1990 Act which states that special regard must be given by the authority in the exercise of planning functions to the desirability of preserving or enhancing Listed Buildings and their setting.

Furthermore, Section 72 of the 1990 Act states that in exercising all planning functions, local planning authorities must have special regard to the desirability of preserving or enhancing Conservation Areas and their setting.

National Planning Policy

National Planning Policy Framework (NPPF) (adopted March 2012)

The National Planning Policy Framework (NPPF) was published on 27 March 2012 and is the document which sets out the Government's planning policies for England and how these are expected to be applied. It has purposefully been created to provide a framework within which local people and Local Planning Authorities (LPAs) can produce their own distinctive Local and Neighbourhood Plans which reflect the needs and priorities of their communities. The NPPF should therefore be approached as a piece of guidance in drawing up these plans.

When determining Planning Applications the NPPF directs LPAs to apply the presumption in favour of sustainable development; the 'golden thread' which is expected to run through their plan-making and decision-making. It must be noted however that this is expected

to apply except where this conflicts with other policies contained within the NPPF, including those relating to the protection of designated heritage assets. (Paragraph 14)

Section 7, 'Requiring Good Design' reinforces the importance of good design in achieving sustainable development, by ensuring the creation of inclusive and high quality places. This section of the NPPF affirms, in paragraph 58, the need for new design to function well and add to the quality of the area in which it is built; establish a strong sense of place; and respond to local character and history, reflecting the built identity of the surrounding area.

Section 12, 'Conserving and Enhancing the Historic Environment', Paragraphs 126-141, relate to developments that have an effect upon the historic environment. These policies provide the framework to which local authorities need to refer when setting out a strategy for the conservation and enjoyment of the historic environment in their Local Plans.

The NPPF further provides definitions of terms which relate to the historic environment in order to clarify the policy guidance given. For the purposes of this report, the following are important to note:

- Heritage asset. This is 'a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions'. These include designated heritage assets and assets identified by the local planning authority.
- Setting of a heritage asset. This is defined as the 'surroundings in which a heritage asset is experienced. It is not fixed and may change as the asset and its surroundings evolve.' It is further stated that elements of an asset's setting may make a positive or negative contribution to its significance or affect the ability to appreciate it.

The NPPF advises local authorities to take into account the following points when drawing up strategies for the conservation and enjoyment of the historic environment:

- The desirability of sustaining and enhancing the significance of heritage assets and preserving them in a viable use consistent with their conservation;
- The wider social, cultural, economic and environmental benefits that the conservation of the historic environment can bring;
- The desirability of new development in making a positive contribution to local character and distinctiveness;

- Opportunities to draw on the contribution made by the historic environment to the character of a place.

These considerations should be taken into account when determining planning applications, and in addition, the positive contribution that conservation of heritage assets can make to sustainable communities, including their economic vitality, should be considered.

As stated in Paragraph 128, when determining applications, LPAs should require applicants to describe the significance of the heritage assets affected and the contribution made by their setting. The level of detail provided should be proportionate to the significance of the asset and sufficient to understand the impact of the proposal on this significance.

According to Paragraph 129, LPAs are also obliged to identify and assess the significance of an heritage asset that may be affected by a proposal and should take this assessment into account when considering the impact upon the heritage asset.

Paragraphs 132 to 136 consider the impact of a proposed development upon the significance of a heritage asset. Paragraph 134 states that where less than substantial harm is proposed to a designated heritage asset, the harm should be weighed against the public benefits of the proposal, which include securing the asset's viable optimum use.

The NPPF therefore follows the philosophy of PPS5 in moving away from narrow or prescriptive attitudes towards development within the historic environment, towards intelligent, imaginative and sustainable approaches to managing change. English Heritage has defined this new approach, now reflected in NPPF, as 'constructive conservation': defined as 'a positive and collaborative approach to conservation that focuses on actively managing change...the aim is to recognise and reinforce the historic significance of places, while accommodating the changes necessary to ensure their continued use and enjoyment.' (Constructive Conservation in Practice, English Heritage, 2009).

2.0 LEGISLATIVE AND PLANNING POLICY FRAMEWORK

National Guidance

The Setting of Heritage Assets (English Heritage, published October 2011)

English Heritage's guidance on setting seeks to provide a firm definition for the term itself, as well guidance to allow councils and applicants to assess the impact of developments upon the settings of heritage assets.

The document, it should be noted, defines setting as 'the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve.' Setting is also described as being a separate term to curtilage, character and context; while it is largely a visual term, setting, and thus the way in which an asset is experienced, can also be affected by noise, vibration, odour and other factors.

This document provides guidance on practical and proportionate decision making with regards to the management of proposed developments and the setting of heritage assets. It is stated that the protection of the setting of a heritage asset need not prevent change and that decisions relating to such issues need to be based on the nature, extent and level of the significance of a heritage asset.

Strategic Policy

The London Plan (adopted July 2011)

On 22 July 2011 the Mayor of London published this version of the London Plan which replaced the amended version of 2004. This is the strategic Development Plan for London and those policies relevant to design and heritage considerations have been summarised below.

Policy 3.5 (Quality and Design of Housing Developments) states that new housing developments should be of the highest quality, both internally and externally and in relation to their context and the wider environment. Developments should seek to enhance the quality of local places and to conform with the minimum space standards whilst addressing social and environmental considerations.

Policy 7.4 (Local Character) requires new developments to have regard to the local architectural character in terms of form,

massing, function and orientation. This is supported by Policy 7.8 in its requiring local authorities to seek to maintain and enhance the contribution of built, landscaped and buried heritage to London's environmental quality, cultural identity and economy through their LDF policies, as part of managing London's ability to accommodate change and regeneration.

Policy 7.8 (Heritage Assets and Archaeology) seeks to record, maintain and protect the city's heritage assets in order to utilise their potential within the community. This Policy further provides the relevant policy with regards to development in historic environments. It requires that developments which have an affect upon heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.

The London Plan therefore encourages developments to be of the highest quality of design and, where possible, to enhance the historic environment and maintain the setting of heritage assets.

Local Policy

The London Borough of Richmond Upon Thames is currently in the process of developing the documents as part of its Local Development Framework (LDF). These have recently replaced the previous Policies of the Unitary Development Plan (UDP).

Core Strategy (adopted April 2009)

The Core Strategy is the strategic policy document as part of the LDF, which sets out to determine the future planning policy for the Borough. It outlines the Vision, Spatial Strategy and 20 Core Planning Policies on topics such as climate change, housing, employment and retailing. The Core Strategy was adopted on 21 April 2009, following recommendation by Cabinet on 23 March 2009 and full Council on 21 April 2009. The relevant policies which relate to developments which have an effect on the historic environment are summarised below.

Policy CP7 (Managing and Improving the Local Environment) states that existing buildings and areas of 'recognised high quality and historic interest' should be enhanced sensitively and protected from inappropriate development. It further states that all new development 'should recognise distinctive local character and contribute to creating places of a high architectural and urban design quality that are well used and valued.' It is advised that proposals illustrate that they are based on an analysis and

understanding of the Borough in terms of its development and patterns of living, and that they connect positively with their surroundings to create safe and inclusive places through the employment of good design principles.

Development Management Plan (adopted November 2011)

The Development Management Plan (DMP) builds on the Core Strategy and includes more detailed policies for the management of development and was adopted in November 2011 following recommendation by the Cabinet and Council. The adoption of the DMP has now superseded all of the policies contained within the UDP which had been saved in March 2008.

Policy DM HD1 (Conservation Areas -designation, protection and enhancement) states that buildings, street furniture, trees and other features which make a positive contribution to the appearance of these areas should be retained. Conservation Area Appraisal and Management Plans will be used as a basis to determine new development, whether this is within or within the setting of the Conservation Area. New development, it is stated, should conserve and enhance the appearance and character of these areas.

Policy DM HD2 (Conservation of Listed Buildings and Scheduled Ancient Monuments) states that the Council will require the preservation of Listed Buildings of special architectural or historic interest and Ancient Monuments. The Council will seek to ensure the protection of the setting of these heritage assets as part of this preservation and conservation.

Policy DM DC1 (Design Quality) states that development should take account of existing character, and show a good relationship to existing buildings and prevailing patterns through the use of materials, detailing, massing and scale.

2.0 LEGISLATIVE AND PLANNING POLICY FRAMEWORK

Local Guidance Documents

Supplementary Planning Documents (SPDs) have been produced by the London Borough of Richmond in order to aid interpretation of local planning policy.

Design Quality (published February 2006)

This document promotes the general principle of high quality design throughout the Borough in line with National Policy. The document is structured in order to aid an understanding of design, in guiding the production of quality, and to highlight the importance of the character of the Borough in order to produce developments that reflect a well-designed, informed response to context.

Small and Medium Housing Sites (published February 2006)

This document supports the principles of good design in order to further promote the Borough as a desirable and enjoyable place to live. The document is structured in three parts, with the third dedicated to the development of backland sites. This provides detail on access, layout, building form and public realm in the creation of appropriate backland developments which contribute to the natural and historic environment of the Borough.

Residential Development Standards (published March 2010)

This document is indicative of the general approach taken by the Council on the subject of residential development and is not intended to 'stifle sensitive and imaginative design.' Whilst it is stated that the detail relevant for the development of backland sites is included in *Small and Medium Housing Sites*, the general principles, including amenity, space and sustainability, are covered within this more recent publication and are thus relevant to the current application.

Conservation Areas

At present there are 72 Conservation Areas within the London Borough of Richmond. Each area is accompanied by a Conservation Area Statement, which explains why and when it was designated, plus a short history and a map showing the boundary. The Council is currently in the position of reviewing each of the Conservation Areas in the production of Conservation Area Studies. These studies will clearly define the character and appearance and special interest, assist in development control and identify proposals for enhancement. They also act as background documents to support

the Appraisal Statements which, overtime, will be reviewed and incorporated into one Character Appraisal and Management Plan.

The St Margaret's Estate Conservation Area was designated in 1971 and extended in 1988, 2005 and 2011 and is the subject of a Study that was produced in July 2001.

The Old Deer Park Conservation Area was designated in 1990, with revisions to its boundaries in 2005.

The Isleworth Riverside Conservation Area was designated in November 1971, and underwent extensions in July 1993. A detailed Character Appraisal Statement was published for this Conservation Area in 2006 following discussions with a planning committee. This document explains the rationale behind its designation based on a historical and architectural appraisal of the area as well as providing guidance for its on going management.

3.0 HISTORIC AND ARCHITECTURAL APPRAISAL

3.1 RAILSHEAD ROAD: HISTORIC DEVELOPMENT

Early History

The early history of this small Thameside area, which forms part of the parish of Isleworth in Middlesex, retains links to the medieval lords of Isleworth and their ownership of the weirs along the Thames. This stretch of the Thames had been a popular location for these weirs and their associated business, and the building of Railshead Bridge played an important part in access and transport within the area. Records attest to references being made to this area as 'Railshead' from as early as 1408, and the name relates to the stakes (rails) of the Isleworth Weir, which was variously the subject of dispute.

Weirs were often the subject of rental disputes, as well as being a hindrance to the passage of river craft, due to the yearly driving in of great poles or postes with great hurdells into the ground within the said weirs. At Isleworth, the original weir had broken down by 1538, but in the reign of Edward VI the Duke of Somerset (then Lord Protector of England) set up a later structure. In 1549, local fishermen petitioned the City of London's Court of Aldermen to remove this weir set up by the Duke of Somerset. They were recommended to make their humble suit to Edward himself, whilst Somerset was rebuked for his encroachment within the area.

Ralph Treswell's map of 1607 is a useful early source for the history of the site and shows a semi-circle of stakes which had been built across the river by this time. However, by 1630 the weir had been destroyed again and there were reported to be only a few stakes left. Indeed, in Moses Glover's map of 1635, no weir is shown, whilst the name "Rayles Head" is clearly marked. In the early twentieth century, a few stakes remained embedded in the river which were probably once part of this historic weir.

Railshead Bridge

Railshead Bridge, which is now a Grade II listed structure of nineteenth century origin, is reportedly originally a footbridge and provided access over the Crane estuary at Railshead to Twickenham.

Records attest to the fact that in 1670, Charles II gave £50 to one "Baker, Justice of the Peace for Middlesex" for the erection of a coach bridge of brick "at a place called the Rails Head, Thistleworth,



Figure 5: An image of the Railshead Ferry c. 1890., which shows the ferryman waiting at the steps with his boat at the foot of the steps below Gordon House.



Figure 6: An image of the Promenade at Isleworth along the River, taken at a later date in the early twentieth century.

on the way to Richmond Ferry". This bridge was frequently rebuilt in the eighteenth century and the current structure dates from 1832.

The Railshead Ferry

The Railshead Ferry, the route for which can be seen as labelled upon the map of 1865 included in the progression overleaf, historically operated from the location where Railshead Road met the banks of the Thames. This can be seen in the depiction included in figure 5, which shows the ferryman waiting with his boat at the foot of the steps to the south of Gordon House.

The original ferry operations dated from the reign of George III, when it reportedly "crossed [the Thames] from an ancient landing place", and traditionally ran passengers to and from the Old Deer Park. A seventeenth century map of 1635 shows that these passenger boats were towed by horses, but later, barges were towed by men.

Until 1773-4, the Surrey towpath ended opposite the Railshead ferry, after which the barges were towed on the Middlesex bank up to Twickenham Eyot where the towpath switched again to the Surrey side. By the nineteenth century, the ferry at Railshead was used to divert some of the traffic which used Richmond Bridge.

Eighteenth to Twentieth centuries

The area upon which the application site is now located is identified within the St Margaret's Conservation Area Statement as having been used as a ship building yard since the eighteenth century. Before this it is considered to have been the location of 'The Watercress Gatherers' by Turner, although later formed part of the grounds of Gordon House and then later Maria Grey College, before being used as a site for light industrial works.

The site is appreciated as an area characterised by the remains of industrial buildings, which can be seen on the maps of the twentieth century included overleaf. These buildings can be seen in particular in the maps of 1935 and later in 1960, and the site retains a tight knit and informal nature of development, typical of intense riverside industrial sites in a marked contrast to the rest of the area.

3.2 HISTORIC MAP PROGRESSION

The character and setting of the site at Railshead Road can be discerned from the OS maps of the area which date from 1865. The detail shown in the following extracts reveals the previously rural, isolated location of the Railshead area, with Gordon House depicted to the south, and how this character changed with the development of housing and the industrial and commercial premises which were to build up later within the vicinity.

The detail included within figures 9, 10 and 11, the OS maps of 1915, 1935 and 1960, are perhaps the most indicative of how this part of the Conservation Area has built up, and its prevailing terraced residential character.

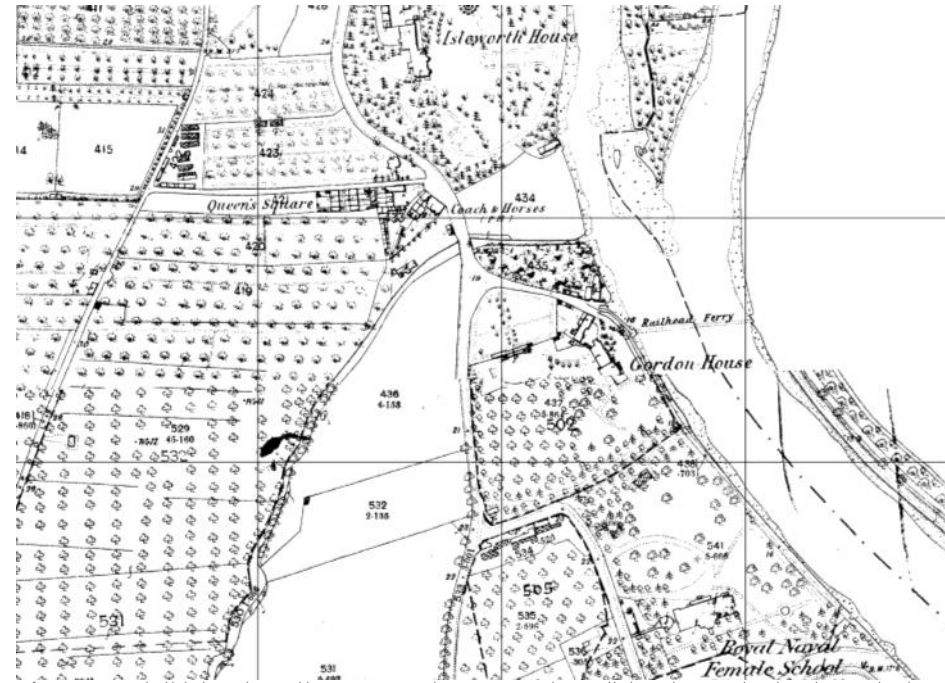


Figure 8: Detail taken from the OS map of 1865-81. The Railshead Ferry is clearly marked on this map, as is the thoroughfare of Queen Street to the north west.

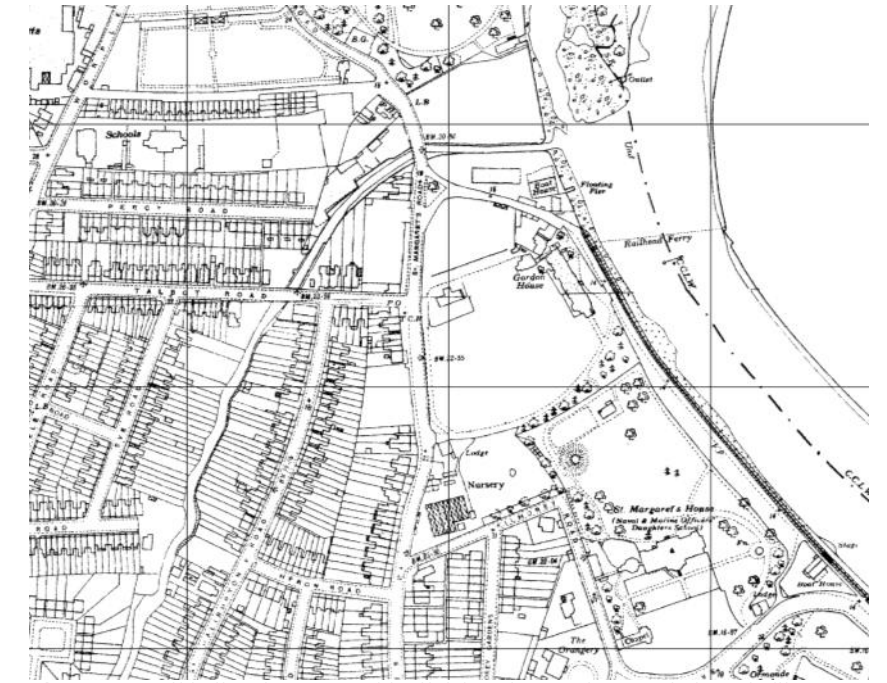


Figure 10: By this time in 1935, residential housing can be seen to have built up immediately to the south of the site. The 'Boat House' remains in its original position, whilst a number of other structures had been located within the site, of a size and form which suggest they were of a light industrial use.



Figure 7: Detail taken from John Rocque's map of 1741-3, showing the development surrounding Isleworth which had been consolidated by the mid eighteenth century. The Isleworth Eyots are shown prominently in this view.

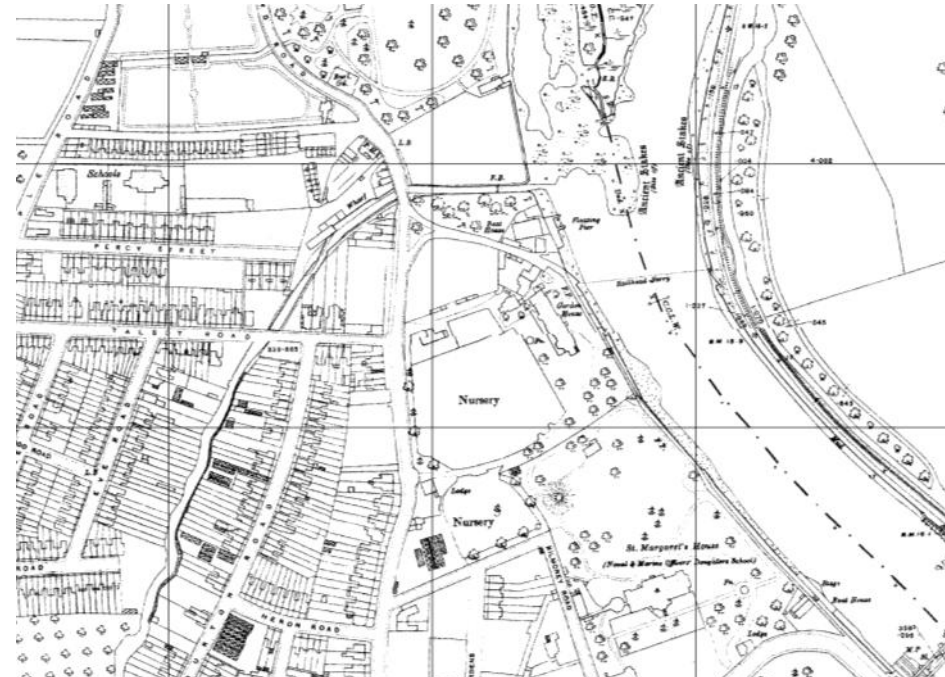


Figure 9: By this time in the early twentieth century, terraced residential development had significantly changed the character of the area to the south west of the site. A 'Boat House' is marked upon the site by this date.

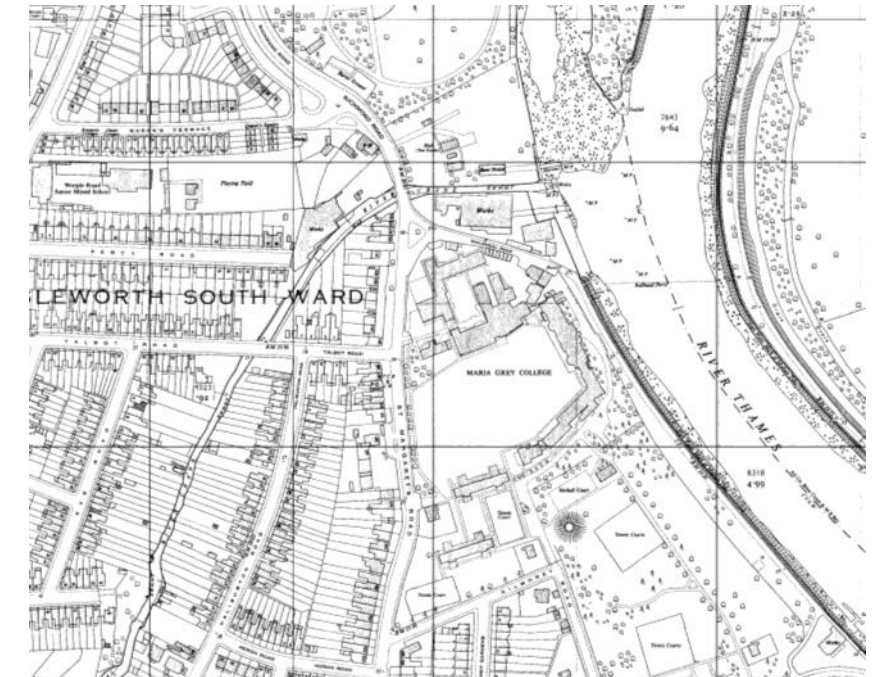


Figure 11: This map of 1960 shows the site in full use, with one of the larger structures labelled as a 'Works' building. Maria Grey College is labelled to the south of the site, and this area has been fully developed for the use of these institutional buildings. Railshead Road is marked for the first time on this map.

3.3 SITE APPRAISAL: DESIGNATED AND UNDESIGNATED ASSETS

The following section will assess the site as it currently exists and the contribution made to the character, appearance and setting of the identified assets where necessary.

St Margaret's Estate Conservation Area

The St Margaret's Estate Conservation Area was designated on the basis of the St Margaret's estate which was originally part of Twickenham Park. This was later divided and the northern part named Ailsa Park, until a house was built in 1805/6 by the Marquis of Ailsa which was subsequently named St Margaret's, the name of which stayed with the area after the demolition of this building. The Area lies between the River Thames and its tributary The River Crane, with the Isleworth Riverside Conservation Area situated directly to the north. The predominant building form in the Conservation Area is that of detached villas in both Gothic and Italianate styles. These are most often of two storeys, with brick as the predominant material. Brick appears in various traditional colours along with stone detailing and features in terracotta. Stucco details are unusual throughout the Conservation Area.

The character of the buildings contained upon the site present as a contrast to the prevailing architectural character of the Conservation Area. As can be seen in figures 12 and 13, the existing buildings on site are a mixture of commercial and residential use, many of which are in need of refurbishment and repair. Figure 13 in particular shows the materials and nature of the workshop buildings, which in most cases consist of concrete breeze blocks and corrugated metal roofs. An internal inspection of the workshop buildings reveal that these are constructed with A-framed steel truss roofs as typical of mid twentieth century light industrial buildings.

The Conservation Area is stated to contain strong boundary definitions, in the form of low brick walls and hedges. The brick boundary wall with wrought iron fencing located to the south of the site, as can be seen in figure 12 and defines the site boundary and is considered an undesignated heritage asset for the purposes of this application.

It is clear from this assessment that the current condition and quality of the buildings upon the site do not make a positive contribution to the character and appearance of the Conservation Area, and indeed detract from its character in places.



Figure 12: The appearance of the site as seen from the entrance to Railshead Road from St Margaret's Road. The historic boundary wall can be seen in this view, whilst the nature of the site and the type of buildings which currently occupy the site.



Figure 13: An example of a corrugated metal workshop which currently lies upon the site.

Old Deer Park and Isleworth Conservation Areas and the Buffer Zone for the Royal Botanic Gardens World Heritage Site

The Old Deer Park Conservation Area was designated in 1990, with revisions to its boundaries in 2005, whilst the Isleworth Riverside Conservation Area was first designated in November 1971. A detailed Character Appraisal Statement was published for the latter Conservation Area in 2006. This document explains the rationale behind its designation based on a historical and architectural appraisal of the area as well as providing guidance for its on going management.

Views towards the site have been considered from within these Conservation Areas which lie close to the site boundary in order to inform an assessment of the proposed development. The view from the north end of St Margaret's Road within the Isleworth Riverside Conservation Area is largely obscured by natural planting, whilst other views towards the site feature the recent developments at Bowyers Court and the upper roof feature of Charleville Mews and Riverside House (the commercial front of this building).

Currently the buildings of Charleville Mews and Riverside House dominate the riverside frontage with the mixture of two and three storey buildings, and thus feature within views from the Old Deer Park.

The site lies a small distance outside of the western boundary of the Royal Botanic Gardens World Heritage Site Buffer Zone. Whilst lying outside this zone, the specific guidance provided within the draft Management Plan for the World Heritage Site (2011) and view lines of the vistas and their visual envelopes have been considered.

3.3 SITE APPRAISAL: DESIGNATED AND UNDESIGNATED ASSETS

Listed Buildings

Railshead Bridge (situated within the Isleworth Riverside Conservation Area)

This structure was listed at Grade II in January 2004. It is a single span bridge built in 1832 of pink and yellow stock brick, with a render parapet sill with cast iron strapping which curves out at either end and terminates in cylindrical piers.

The bridge spans the River Crane and views from this bridge towards the site have been considered in order to inform an assessment of the scheme. It is clear that the site features in a prominent manner in these views, which, in its current condition and low architectural quality, does not contribute to the setting of this listed structure.

Gordon House

Gordon House, previously called Seaton House, was designated at Grade II* in May 1973 and was reviewed in 1995. It was originally built c. 1720 and has since undergone various stages of revision, not least being those made in 1758 by General Bland to the designs of Robert Adam. It was later bought by William IV for his daughter who married Lord Gordon (presumably the origin of the name of the current house) and then by Lord Kilmorey who carried out extensive alterations from 1865.

The house now stands at two storeys in stock brick with lavish rubbed brick dressings in five bays accompanied with sashed windows. The centre of the building is accented by a central Corinthian columned painted stone staircase with full height rusticated pilasters on the outer corners. The house was in residential use from 1718 to 1880 and was then used as a Royal Naval School and then an Institute.

The property stands as a rather isolated asset in this location, its gardens having been built upon as part of the later twentieth century development within the area. The relationship of the site with this listed building, and the level of intervisibility, are largely constrained by the distance of this asset from the site, its orientation, as well as the existing planting and built environment. Views towards the site from outside of the gated area which surrounds the listed building are largely obscured, although the



Figure 14: The view towards the development site taken immediately outside of the grounds of Gordon House, demarcated by the wall and railings. The assessment of these views was limited by the public accessible areas.



Figure 15: A view of the proximity of the former stable block (seen to the left of this photograph) to the existing built environment along Railshead Road.

upper storeys of the development at Bowyers Court and the Charleville Mews and Riverside House development can be seen to a limited extent from the public realm. It should be noted that these developments define the surrounding character of the streetscape within the wider setting of the listed building.

Former stable block to Gordon House

This building was designated at Grade II status in May 1973 and was reviewed in 1995. It is a two storeyed, early eighteenth century construction in red and stock brick, and is considered to have probably originally been a one storey orangery. It retains a nineteenth century pedimented attic in the centre.

The immediate setting of this asset is defined by the recent developments at Charleville Mews and Bowyers Court. The current aspect of the site and the nature of the structures which exist upon the site do not contribute to the setting of this listed building.



Figure 16: The view towards the site as taken from Railshead Bridge. The views of the rear of the existing warehouse buildings present a negative frontage within the Conservation Area.

4.0 PROPOSALS AND ASSESSMENT OF IMPACT

4.1 THE PROPOSALS

Overview

These proposals seek to introduce a mixed use scheme upon the site which will provide commercial use elements at the ground floor, and in part, at the first floor level, and residential accommodation at the first to third floors.

As such, the scheme seeks to provide the following as part of the four storey development (plus basement);

- Commercial units to provide workshop/start up business use;
- High quality residential units with associated outdoor amenity space;
- Screening and greenery along the River Crane;
- Planting and landscaping upon the site;
- Repairs to the existing boundary wall.

The design philosophy

As detailed within the document produced by Goldcrest Architects, a full study of the materials and design details has been undertaken as part of the scheme revision. As such, the elevational treatment has been revised in a more traditional approach to this former industrial yard area, whilst traditional materials are to be used in order to reflect the character and appearance of the surrounding area in an appropriate response to the built context of the site and the identified heritage assets.

The proposed development have no impact on the existing brick boundary wall along Railshead Road, which is to be retained and integrated with the scheme (as shown in Figure 19).

The evolution of the scheme

The scheme has been substantially revised in order to address the comments provided by officers at the initial pre-application stages. As such, the height and width of the proposed building, and the unit numbers provided within it have been reduced, whilst the top floor has been set back in order to reduce the mass of the building. The scheme is also to provide significant outdoor amenity space in the form of play areas, whilst the planting and screening to be introduced will serve to enhance the character of the site and to preserve views towards it from across the river.



Figure 17: The view towards the site as taken from Railshead Bridge. This view should be considered with the proposed sketch below.



Figure 18: The equivalent view of the proposed development from Railshead Bridge. This view, taken in comparison with the above, highlights the enhancements to be made to the public realm and the character and appearance of the St Margarets Estate Conservation Area.

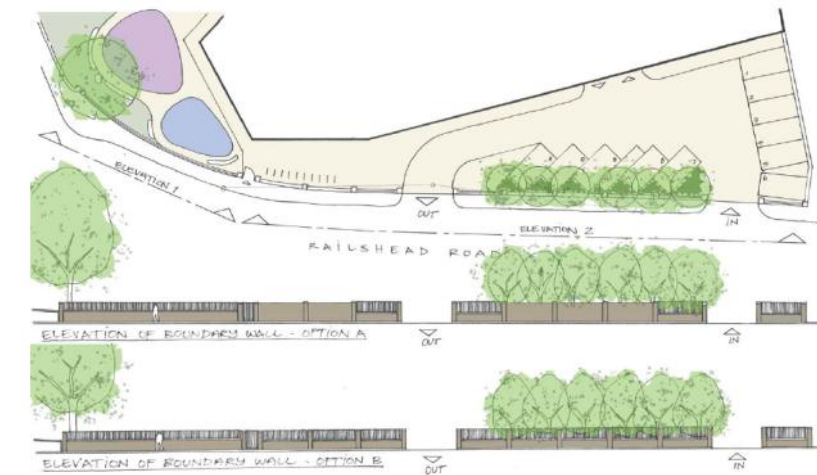


Figure 19: Existing brick wall defining the southern boundary of the site which is to be retained.

4.2 ASSESSMENT OF IMPACT

Assessment of Impact upon identified Heritage Assets

St Margaret's Estate Conservation Area

It is considered that the proposed scheme seeks to retain the identified, historically industrial character upon the site through the introduction of one building of appropriate form and massing, which will greatly enhance this part of the Conservation Area. The replacement of the existing commercial units with workshop/start up business use is an appropriate response to the historical industrial nature of the site.

It is considered that the elevation treatment, in terms of the detail and its materiality, now revised in light of officer comments at the pre-application stage, will present as a suitable reflection of the prevailing architectural character in the vicinity, and thus the character of the Conservation Area.

The measures taken to revise the scheme in terms of height and unit numbers will reduce the appearance of the building in views towards the site from within the Conservation Area, whilst the increased areas of planting and screening measures will enhance the character of this site which is currently lacking in a successful landscaping scheme. The proposed scheme therefore seeks to improve the quality and integrity of the architecture upon the site, in a well considered response to the existing constraints.

The proposed development further incorporates a sympathetic approach to the treatment of the site boundary, in the repairs to be made to the nineteenth century wall and the associated planting to be introduced. The wall has been thoroughly addressed as part of these proposals, which will enhance the relationship between the site, the historic wall and the thoroughfare of Railshead Road. The proposed development will sit away from the wall in order to conserve the significance of this structure, in an appropriate response to the recommendations made within the Conservation Area Statement.

Isleworth Riverside and Old Deer Park Conservation Areas and Buffer Zone for the Royal Botanic Gardens World Heritage Site

It is clear from figure 21 that the proposed development will feature in views from the Old Deer Park Conservation Area, as well as within the buffer zone for the World Heritage Site. The proposed massing and orientation of this new building has deliberately drawn upon the character of the riverside developments, as shown in the

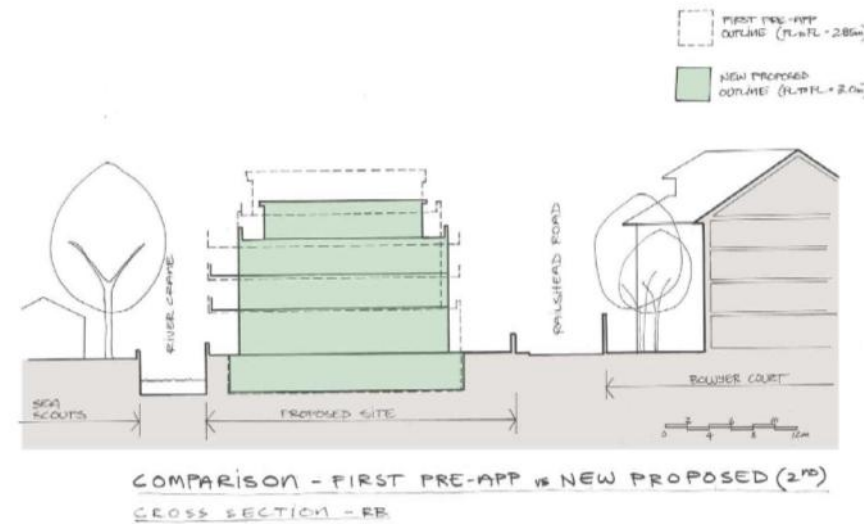


Figure 20: The scale and massing study done as part of the revisions to be made to the scheme following pre-application consultation. As shown in this view, the proposed four storey building will be a subservient structure within the context of the existing buildings at Bowyer Court, and the width and massing will be reduced from that presented at the pre-application



Figure 21: The proposed development as seen from the Old Deer Park and from within the buffer of the World Heritage Site.

undulating roof structure shown in figure 20. This design approach, coupled with the proposed screening and planting to be introduced as part of the scheme, would serve to enhance views which are currently dominated by the less well conceived development at Charleville Mews and Riverside House. As discussed, views from the Isleworth Riverside Conservation Area towards the application site are either obscured by the existing planting or feature the recent developments at Bowyers Court. The development will be visible therefore from various points within this Conservation Area, but this will not have a negative effect upon the setting or character of the Conservation Area in this location.

Listed Buildings: Railshead Bridge

It has already been considered that the site lies within the setting of this heritage asset. It is clear that the introduction of an appropriately detailed development and the accompanying landscaping measures, as presented in figure 18, will serve to enhance the setting of the bridge in bringing the site back into active use. As part of the scheme, an area of outdoor play is proposed towards the west of the site, the area closest to this heritage asset. This will therefore serve to reduce appearance of the development within the setting of this heritage asset.

Gordon House

Views from this asset were considered with regards to any impact that the proposed development may have upon the setting of this asset. The setting of this listed building, and views towards the site, already feature the upper storeys of the Charleville Mews and Riverside House development, whilst the orientation of the site and the nature of the planting and extant buildings with proximity to the listed building will largely obscure views of the proposed development. As such, the roof form of the proposed buildings may be visible from the upper storeys of this building. However, it is considered that the development is at a sufficient distance and aspect from this listed building in order to preserve its setting.

Former stable block to Gordon House

The setting of this asset features the recent development at Charleville Mews and Bowyers Court. The current aspect of the site and the nature of the structures which exist upon the site do not contribute to the setting of this listed building, and as such it is considered that the proposed development will enhance the setting of this listed building.

5.0 CONCLUSIONS

This report has been prepared on behalf of Goldcrest Land relating to the proposed scheme at Railshead Road, Richmond.

This report has been prepared to assess the potential impact of the proposed development on the identified heritage assets at the site. The site contains within it no designated heritage assets but lies within the St Margaret's Estate Conservation Area and within the setting of a number of heritage assets.

This report has undertaken an appraisal of the historic development of the site and an architectural appraisal of the identified designated built heritage assets. A summary of the relevant national, strategic and local policy has been undertaken with regard to developments which affect designated assets and particular consideration has been paid to those policies which concern the management of developments which have an impact on Conservation Areas and the setting of listed buildings. This policy summary has informed an assessment of the scheme with regards to the impacts upon the setting of the designated assets which lie in proximity to the site.

It is considered that the proposed scheme presents an opportunity to introduce a development of high quality design and materials within this part of the Conservation Area. The comments made at the pre-application consultation have been taken on board in drawing up a final scheme that responds well to the character of the St Margaret's Estate Conservation Area, as well as the architectural precedent set by the surrounding, more recent, developments at Bowyer Court. It is therefore considered that this development will preserve this character and the settings of the identified assets, whilst returning a currently partially redundant site back to use, and we invite the Council to grant the relevant Permissions.

APPENDICES

APPENDIX A: STATUTORY LIST DESCRIPTIONS

FORMER STABLE BLOCK TO GORDON HOUSE

Grade: II

Date first listed: 21-May-1973

Date of most recent amendment: 03-Nov-1995

Details

TQ 1675 ISLEWORTH ST MARGARET'S ROAD
32/353 Former stable block to Gordon House
21.5.73 II

Early C18. 2 storeys, red and stock brick, probably originally a 1-storey orangery. 3:1:3 round-headed bay windows. Each bay has segmental arched window on the ground floor with a circular window over. Centre recessed, has large round-headed arch, all rusticated. Wood panelled tympanum to arch, formerly the top of double doors; modern window below. Cemented cornice, probably on rubbed brick. C19 pedimented attic in centre.

Listing NGR: TQ1667175312



GORDON HOUSE MARIA GREY TRAINING COLLEGE

Grade: II*

Date first listed: 21-May-1973

Date of most recent amendment: 03-Nov-1995

Details

TQ 1675 ISLEWORTH ST MARGARET'S ROAD
32/352 Gordon House (Maria Grey Training College)
21.5.73 II*

Probably circa 1720, altered circa 1865. 2 storeys stock brick with lavish read rubbed brick dressings. 5 windows, sashes, no glazing bars. Central Corinthian columned painted stone staircase with round-headed window over in elaborate stone surround. Stone cornice over. Full height rusticated pilasters with capitals to outer corners of front. Parapet. Slates. C19 chimneys. 2-storey 2 window extension to right, probably C18. Further extension to right 2-storey large canted brick bay, balustrade parapet. Probably late C18. Nearly matching extensions repeated to left of main front, probably C19. River Front - circa 1720. 2 storeys, yellow brick with red dressings. 5 sashes, no glazing bars. Stone cills on brackets. Central 1st floor round-headed window with key block and coved cornice on consoles going right across. Rusticated pilasters at angles with capitals and bases. Panelled parapet. C19 pediment over C19 lower extensions to right. C19 brick porch. 2-storey stock brick part to left, added in 1758 by Robert Adam. 3 sashes. Architrave surrounds and pediments on consoles. No glazing bars. Greek key band. Upper part C19. C19 chimneys. Slate roof. 6 bay extension to right, round-headed window on ground floor. Segmental arch to windows over. Cornice. Heavy oak dentilled cornice to ceiling of upper floor. Interior - main block ground floor. Front part of house, former entrance hall, now divided up into passage and rooms, remains only of original panelling and ceiling cornice. Staircase hall, overlooking river, with very handsome original oak staircase on grand scale on 2 walls, rising to a broad landing round the other two. 2 balusters to each tread, cut strings with panelled ends and panelled soffit. Opening out of staircase hall on river front South West end is the present conference room, designed by Robert Adam as a drawing room for General Bland in 1758. It is probably Robert Adam's earliest surviving work in England and of the finest quality. Long rectangular room surmounted by modillioned cornice from which springs a ceiling with boldly coved sides all elaborately decorated with scroll work and oval panels. Plain oval centre except for central rose. Greek key pattern to border

moulding of ceiling. Very fine chimney piece, now painted over. Fine consoles supporting blocks with lion masks. Central frieze with floral swags; centre block with military trophy. Carved wood doorcases consisting of bold quarter round mouldings. The Ionic columned and pedimented doorcases in the Adam drawing do not exist; nor does the upper tier of the chimney piece. No dado; modern skirting. History The house dates from about 1720 and was altered in 1758 by General Bland to the designs of Robert Adam. See drawings reproduced in "Robert Adam and his circle" by John Fleming, 1962, and others in Sir John Soane's Museum. Formerly called Seaton House. It was later purchased by William IV for his daughter, Lady Augusta FitzClarence, wife of Hon John Kennedy Erskine. She subsequently married Lord John Frederick Gordon. It was subsequently owned by T.C. Haliburton (1796-1865) - author of "Sam Slick". (See Dictionary of National Biography) and was bought by the then Lord Kilmorey in 1865 who carried out extensive alterations. Used as a school for the daughters of naval officers, when the chapel was built. Setting in garden on bank of River Thames. Modern training college buildings nearby.

Listing NGR: TQ1669375276

Selected Sources

Book Reference - Author: John Fleming - Title: Robert Adam and his Circle - Date: 1962



APPENDIX A: STATUTORY LIST DESCRIPTIONS

RAILSHEAD BRIDGE

Grade: II

Date first listed: 13-Jan-2004

Date of most recent amendment: Not applicable to this List entry.

Details

22/0/10171 ST MARGARET'S ROAD 13-JAN-04

Railshead Bridge

II Railshead Bridge. C1832. Pink-yellow stock brick, stone and render parapet cill with cast iron strapping. Single span with plat-band over a double arch of brick. The parapets curve out at either end, and terminate in cylindrical piers. HISTORY: the bridge was built as a result of the building of Nazareth House, and the ensuing closure of the riverside route connecting Isleworth and Richmond. The bridge, very much in the Georgian tradition, spans the River Crane and is one of a number of historic crossings in this area. The later C19 strapping to the parapet is itself of interest, as are the cast iron Middlesex County Council plaques, warning bill-stickers of prosecution.

Selected Sources

Legacy Record - This information may be included in the List Entry Details



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