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SIMON MERRONY ARCHITECTS

57 King Edwards Grove, Teddington TW11 9LZ

DESIGN & ACCESS STATEMENT

REF: 2020/14/DAS



1.0 Introduction

This Design & Access Statement has been prepared in support of a Full Planning Application for a roof extension to 57 King Edwards Grove TW11 9LZ. The purpose of this statement is to give a brief outline of the existing site, planning history, main planning issues, and finally to demonstrate the appropriateness of such a development in this area.

2.0 Existing Site

The site is located on the north side of King Edwards Grove and is within the King Edwards Grove Conservation Area 80. The existing site is rectangular in shape and covers an area of 422m². The site is relatively flat in nature and contains several trees, none of which are protected, or priority species.

The site contains 1 building, the main house, which is a 2-storey building with a gable fronted face, jettied to the first floor, with existing extensions to the ground & first floor.

In a wider context, the site is set to the west of 4no. 2-storey semi-detached dwellings which form a strong rhythm up to this point, and thereafter the house types vary greatly in terms of period/style, width and mass.

The site is not located within a flood risk zone.

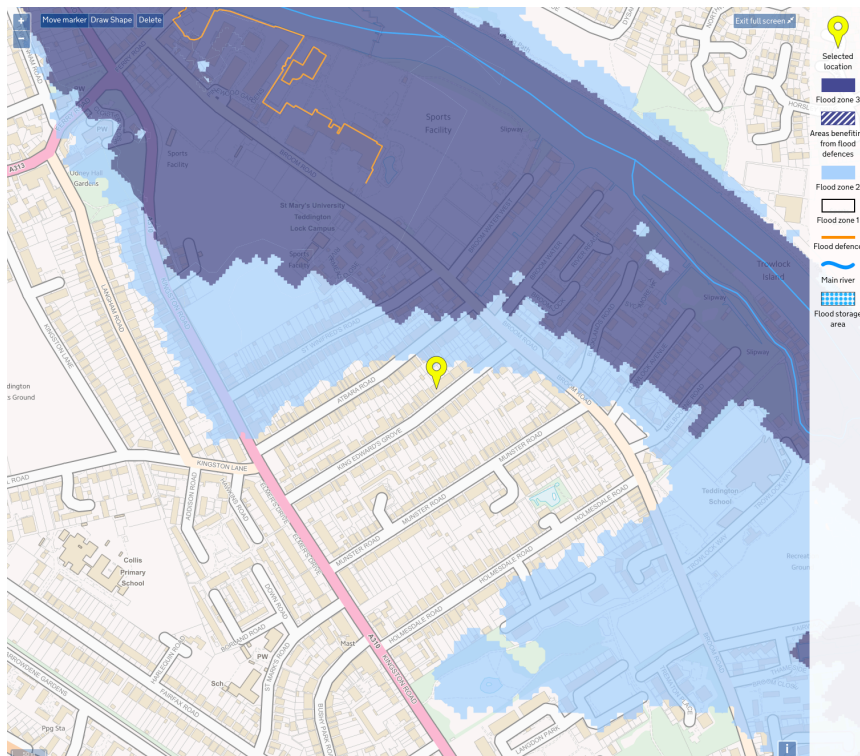


Figure 1 - Flood Map

3.0 Proposal

Overview

The proposal is to extend the main roof on the LHS and extend the rear ridge to form 2 new gable walls. The current roof over the side extension on the RHS will be retained, but we propose to extend the hips up to form a more natural looking roof form.

Mass

To the LHS we are proposing a roof extension which will also form a new flank gable wall. The front plane is set back by 400mm to retain the original front hip to appear subservient on the front elevation. Any further set back would begin to compromise the ceiling heights within the loft. We propose a Dutch hip to reduce the mass of the roof form and mirror the roof form at no.55. The front perspectives below show the existing & proposed relationship.



Figure 2 - Existing



Figure 3 - Proposed

On the RHS we are proposing to extend the existing hips up to form a more natural and harmonious roof form. We will retain the existing cat slides.

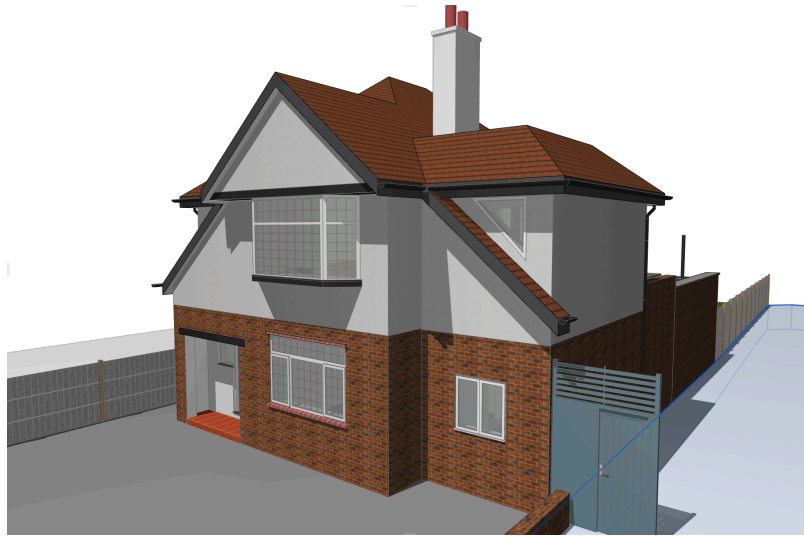


Figure 4 - Existing

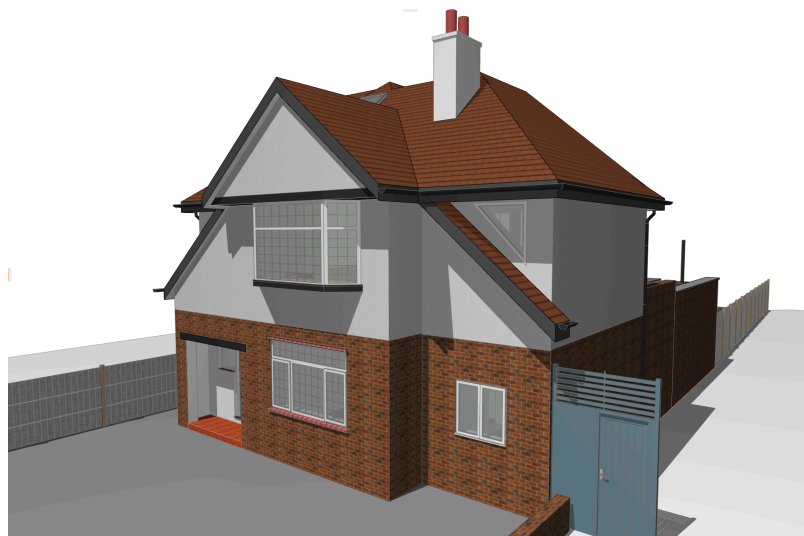


Figure 5 - Proposed

Layout

The GF footprint of the building remains unaltered.

The loft will provide a decent sized master bedroom with en-suite and dressing room. The first floor currently has a poor layout and the removal of the small front bedroom and other minor alterations will result in a more open circulation zone with plenty more natural light. The total number of bedrooms will remain the same at 4.

4.0 Access & Parking

Vehicular access & parking arrangements remain exactly as per the existing.

5.0 Relevant Planning Policies

Richmond Local Plan, 2018.

Policy LP1:

The character of the property has been retained with the proposed extension harmonising with the original building. The proposed fenestration will match the existing in terms of style and scale.

Policy LP3:

The new roof additions are well set back and do not dominate the existing house or its neighbours. New materials to match the existing render and tiled finishes. The extension to the rear roof will not be visible from the street and poses no material harm to the host building.

Policy LP8:

There will be very little impact on neighbour amenity. Due to the orientation of the building no loss of direct sunlight occurs. The footprint of the roof extension is within the main front & rear building lines of the neighbouring houses and will thus not cause any overshadowing. There is only one side window proposed, to the new staircase, and this will not result in any overlooking. The new rear loft window There is no reduction to the garden area.

6.0 Conclusion

The proposed roof extension is sympathetic to the original house and will cause no detrimental harm to neighbouring amenity and we feel that the scheme has successfully dealt with all the relevant planning policies, and provides a high quality, and well-planned addition. The benefits of the scheme, together with its negligible impact, outweigh any potential neighbour concerns, and therefore, we respectfully request that an approval be granted.