



Design & Access Statement

Application 2: Ground Floor Refurbishment,
First-Floor Infill Extension and Garden

Studio Extension

18 Orleans Road

TW1 3BL

January 2021

Hayhurst and Co.

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This Design & Access Statement has been prepared in support of the proposed works to 18 Orleans Road and should be read in conjunction with the application drawings listed below.

Existing Drawings

278 A001 Existing Location Plan
278 A010 Existing Ground Floor Plan
278 A011 Existing First Floor Plan
278 A012 Existing Roof Plan
278 A020 Existing Front and Rear Elevations
278 A030 Existing North and South Elevations

Proposed Drawings

278 App 2 - A110 Proposed Ground Floor Plan
278 App 2 - A111 Proposed First Floor Plan
278 App 2 - A112 Proposed Roof Plan
278 App 2 - A200 Proposed Front and Rear Elevations
278 App 2 - A201 Proposed Elevation from garden of No 16
278 App 2 - A202 Proposed Elevation from garden of No 20
278 App 2 - A300 Proposed Section A-A

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Above: Grain House by Hayhurst and Co. current nominee for an RIBA Award – A remodelled and extended Victorian, semi-detached property in the de Beauvoir Conservation Area in Hackney, north London current nominee for RIBA Award

Below Left : Hairy House by Hayhurst and Co. winner of an RIBA National Award and the RIBA London Small Project Award – an extension to a Victorian House in a conservation area in Hammersmith and Fulham.

Below Right: Hampstead Beach House by Hayhurst and Co. won an NLA 'Don't Move Improve' Award for – a house extension in a conservation area in the LB of Camden.



About the Architect

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Site Boundary



Site Location Plan (Image above), Scale 1:1250



Location

Development Location

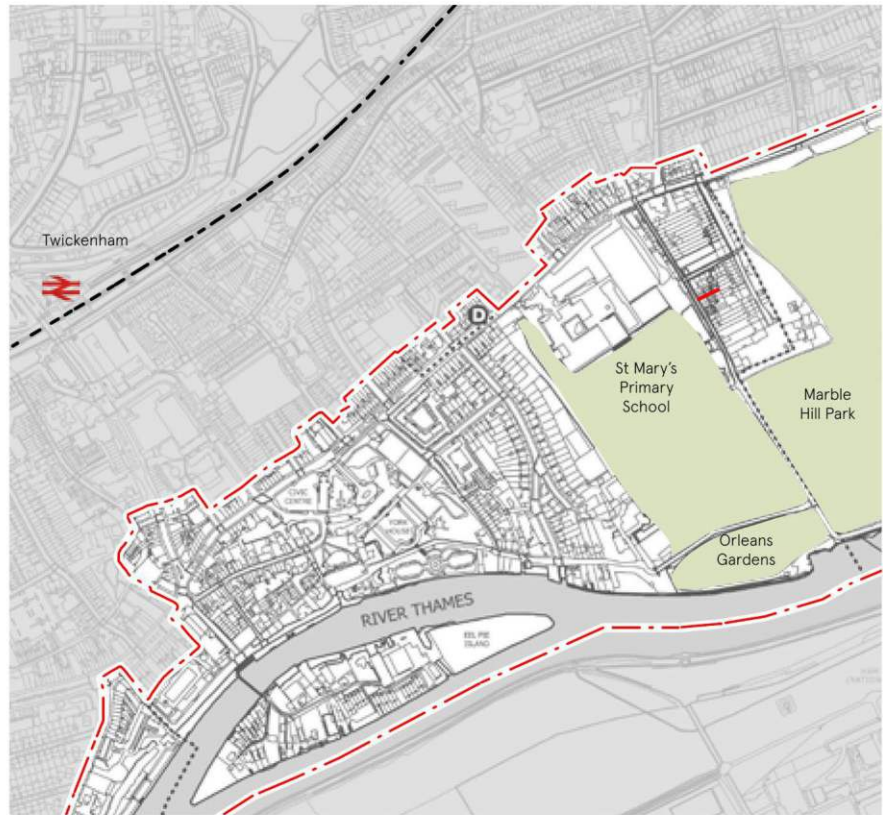
Orleans Road is located within 0.7 miles from Twickenham Station and 0.4 miles from St Margarets Station and runs south from Richmond Road towards the River Thames. No.18 sits on the east side of the road, midway down between St Mary's Primary school and Marble Hill Park.

No.18 Orleans Road is located within the Twickenham Riverside Conservation Area and it is part of a terrace that is noted as a Building of Townscape Merit (BTM).

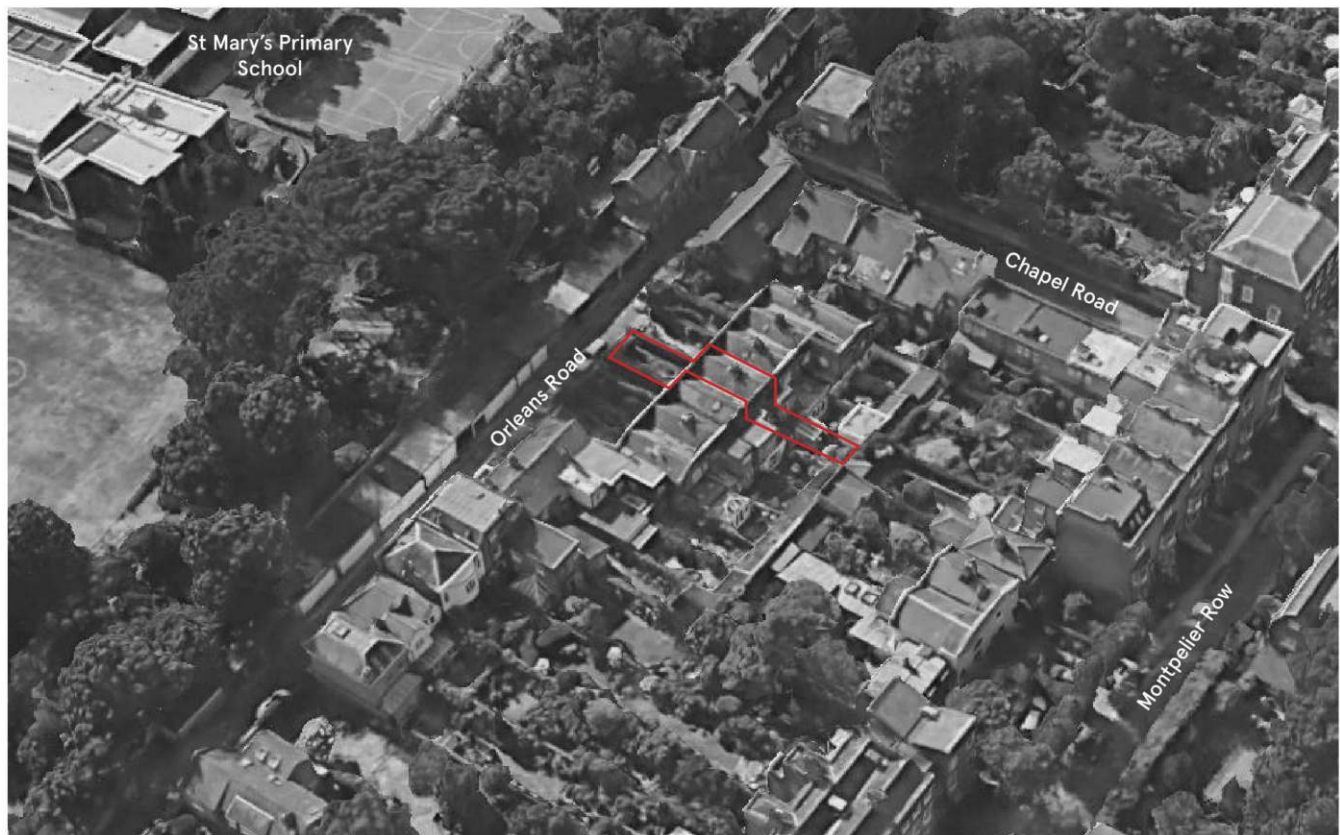
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The terrace houses have long, west-facing, front gardens and smaller gardens to the rear, which back onto large rear gardens of three-storey, Victorian terraced homes on Montpelier Row.

The surrounding context has a diverse mix of residential architectural from a number of periods and styles. It is characterised by narrow streets and alleyways and open expanses of parkland.



Area Location Plan showing Twickenham Riverside Conservation Area 8 not to scale (Image above)



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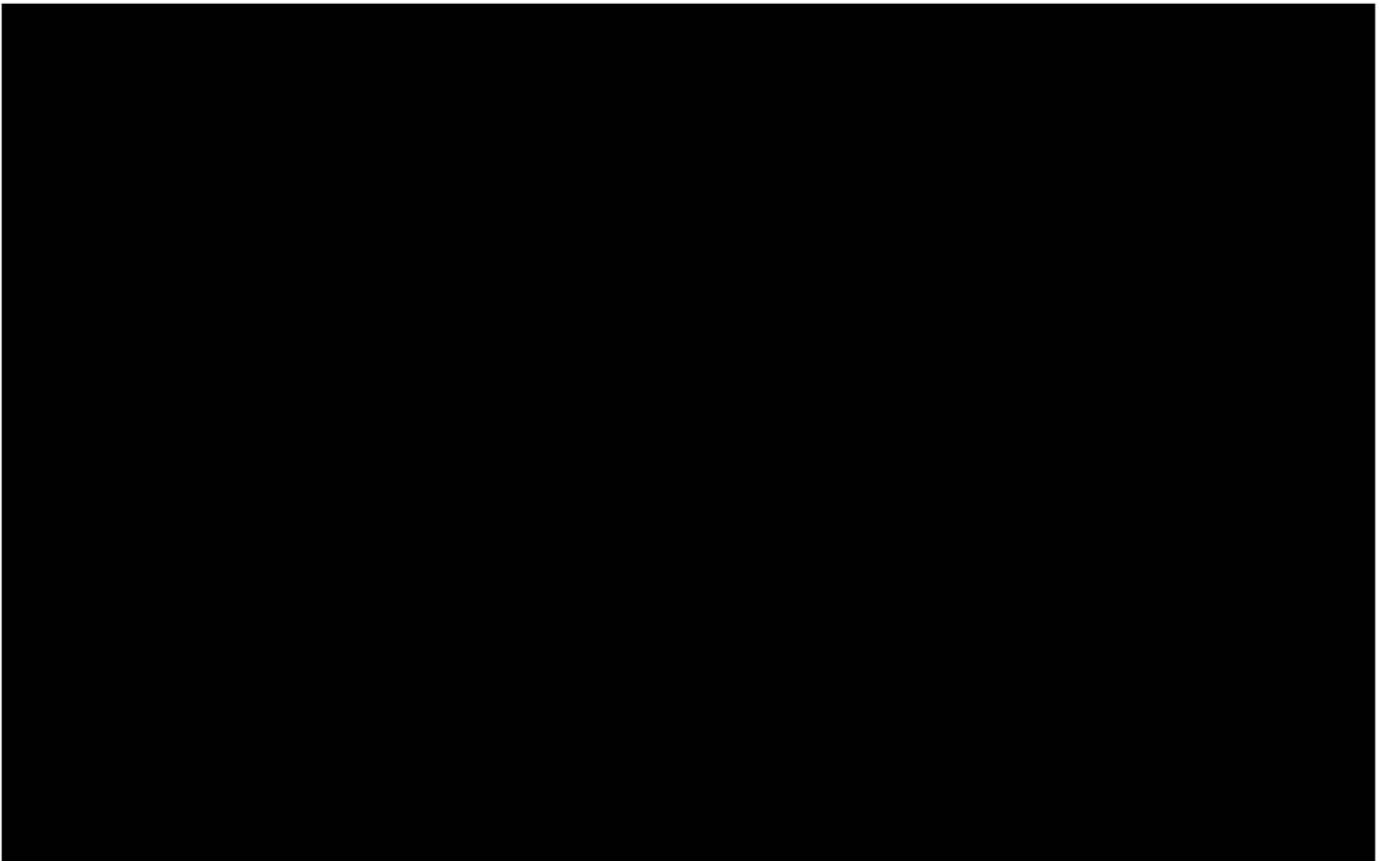
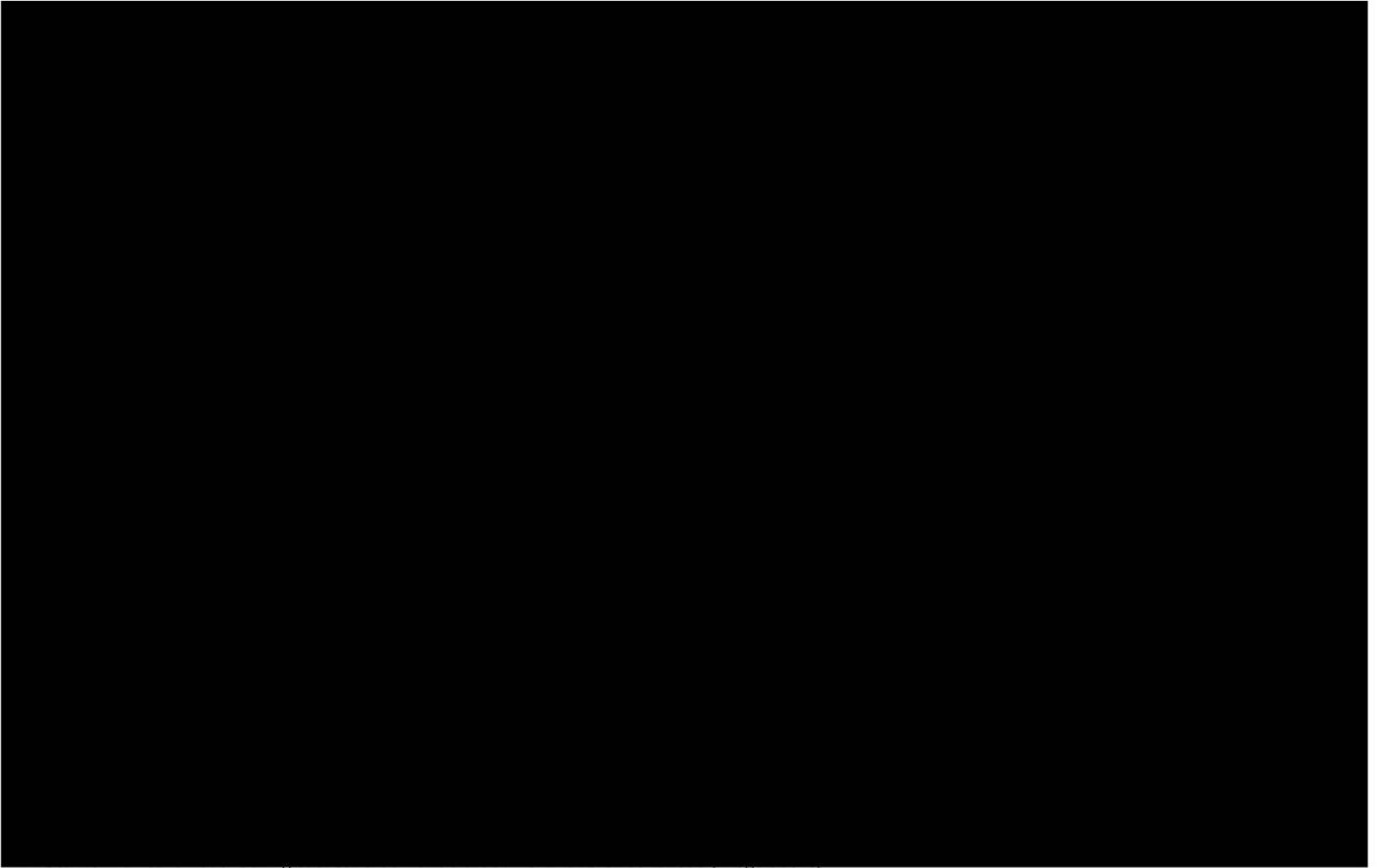


Photo from rear garden looking west towards rear elevation of No 18 Orleans Road (Image above)

Site

Existing Building

The property is a two-storey, single-dwelling, two-bedroom house that sits mid-terrace within a row of Victorian cottages. The front of the terrace is set back from the road, behind a long front garden. The front elevation is consistent with the rest of the terrace, which is believed to be largely original in character with the exception of the entrance porches.

Almost all the properties in the terrace have ornamental shutters to the front windows and five out of the six have a front porch. The porches all vary in style with inconsistent roof and enclosure styles.

The property is a traditional masonry construction with facing London Stock brick and a painted stucco parapet to the front, behind which is a butterfly roof.

The rear of the house has been extended. It has a single-storey extension and a two-storey, half-width rear outrigger (Ref. 82/0478). It also has a glazed-UPVC conservatory (Ref.92/0172/FUL).

Neighbouring buildings in the terrace have been extended to varying degrees and the rear of the terrace displays individual and piece-meal development of different periods, without any defining single character.

To the rear of the property is a small yard garden. All the properties in the terrace have an outbuilding located to the rear of the yard, against the high garden wall to the gardens of the houses to Montpelier Row, with the exception of No.18. It is understood that the outbuilding to No.18 was dismantled in the last 15 years, the concrete floor and part of the front wall of the outbuilding remains. Historic plans show that the footprint of the outbuildings were largely consistent along the terrace, although some have now be extended, rebuilt or modified.

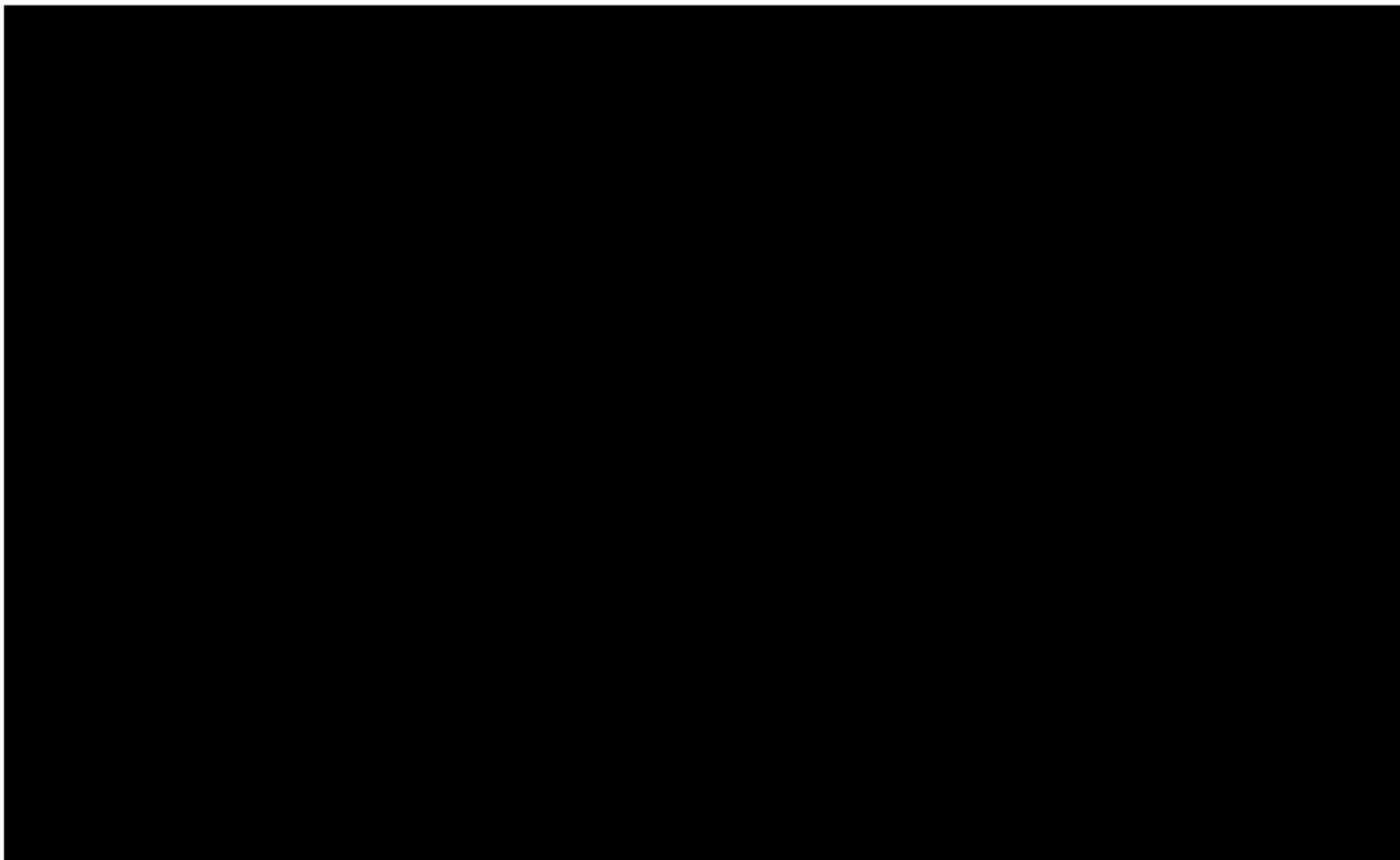


Photo of the rear garden of No 18 Orleans, looking from house (Image above)

Design

Development Proposal

The current owners of 18 Orleans Road purchased the property in 2020 and wish to renovate it and extend it to better suit their needs. The proposal involves:

1. Rebuilding the front porch, which is in a poor condition, with a new porch which is considered to be more traditional and in keeping with the period and character of the property.
2. Remodelling the interior of the ground floor to better incorporate the existing rear extension.
3. Extending the first-floor, to the rear, to form an infill extension between the existing outrigger and the outrigger to No.20 Orleans Road and reconfiguring the accommodation to the first-floor to improve the current arrangement. This will include creating a new rear window to a size and style to match the existing sash-window to the outrigger.
4. Install skylights to the pitches of the butterfly-roof. These will not be visible from the street as they are behind the parapet wall.
5. Demolish the rear conservatory and form a single-storey studio to the location of the former outbuilding with a link connection to the house.

Design Intent

The design proposes to renovate and extend the existing house at first and ground floor levels to make the property better suited to the current owners' requirements. At the core of the proposals is the intent to improve the internal spaces, retaining two first-floor bedrooms but with better bathroom provision and greater quality of space and natural light.

The proposal remodels the ground-floor, removing the glazed-UPVC frame conservatory, which is considered to harm the character of the property. It remodels the ground floor interior to provide a more intuitive relationship to the rear yard garden from the house. The designs reuse the footprint of the conservatory and the former outbuilding to create a home-working studio with a link.

Footprint

The proposed extensions to 18 Orleans Road involve;

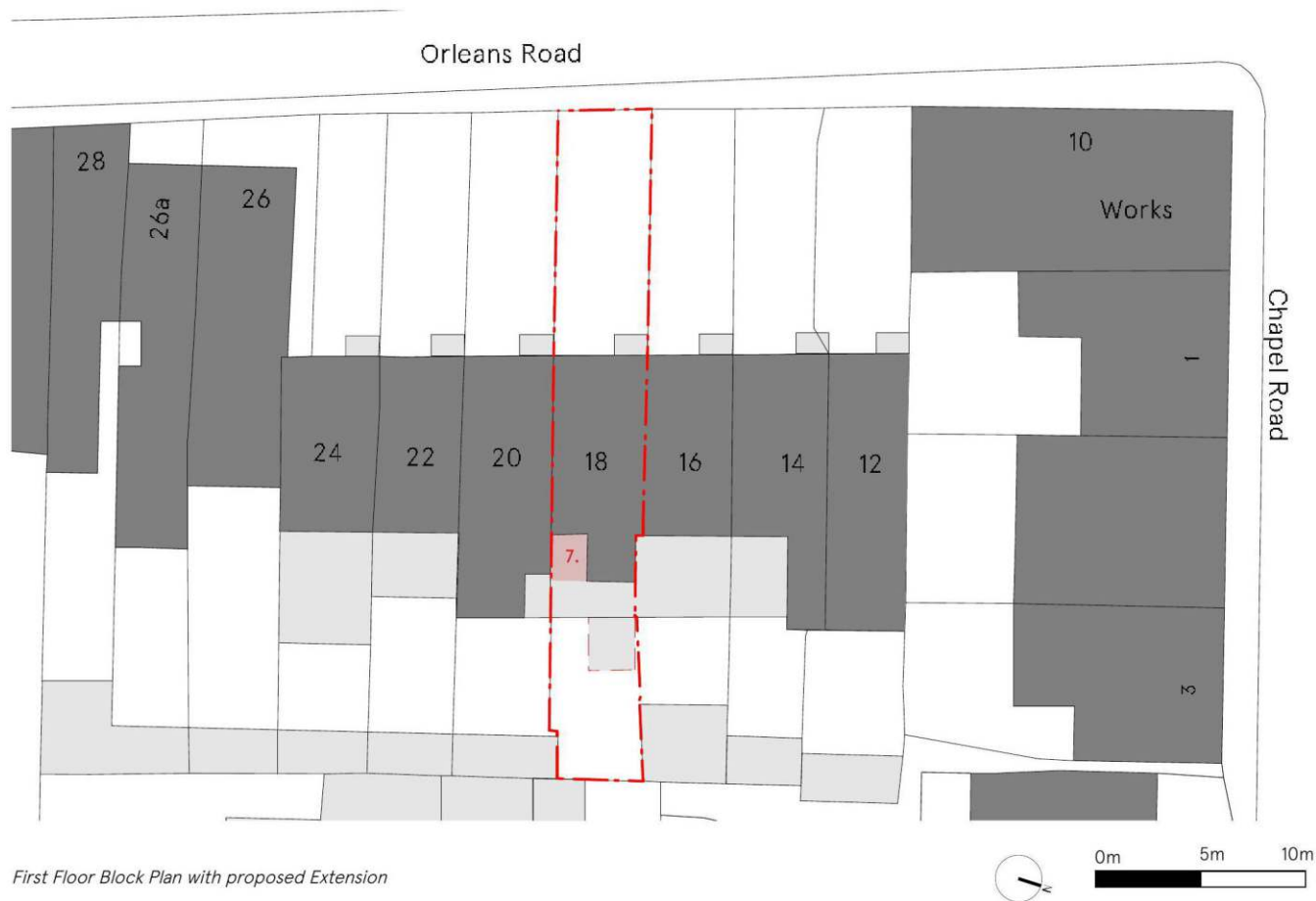
1. Creating a 3.7sq.m infill extension to the first-floor, between the existing rear outrigger and the outrigger to No.20 Orleans Road.
2. Rebuilding the outbuilding to add a 9.3sq.m linked outbuilding to the rear yard garden, at ground-floor level, to the location of the existing conservatory and the former outbuilding. (See diagram)

- Key/ Areas of Diagram below
1. Front Garden - 47.5sq.m
 2. Footprint of Porch - 1.5sq.m
 3. Footprint of Existing Conservatory - 5.5sq.m
 4. Rear patio garden - 8.8sq.m
 5. Link outbuilding - 9.3sq.m
 6. Footprint of Existing Outbuilding - 8.8sq.m



Ground Floor Block Plan with proposed Extension.

Key/ Areas of Diagram below
7. Infill First Floor Extension - 3.7sq.m



First Floor Block Plan with proposed Extension

Massing, Materials and Appearance

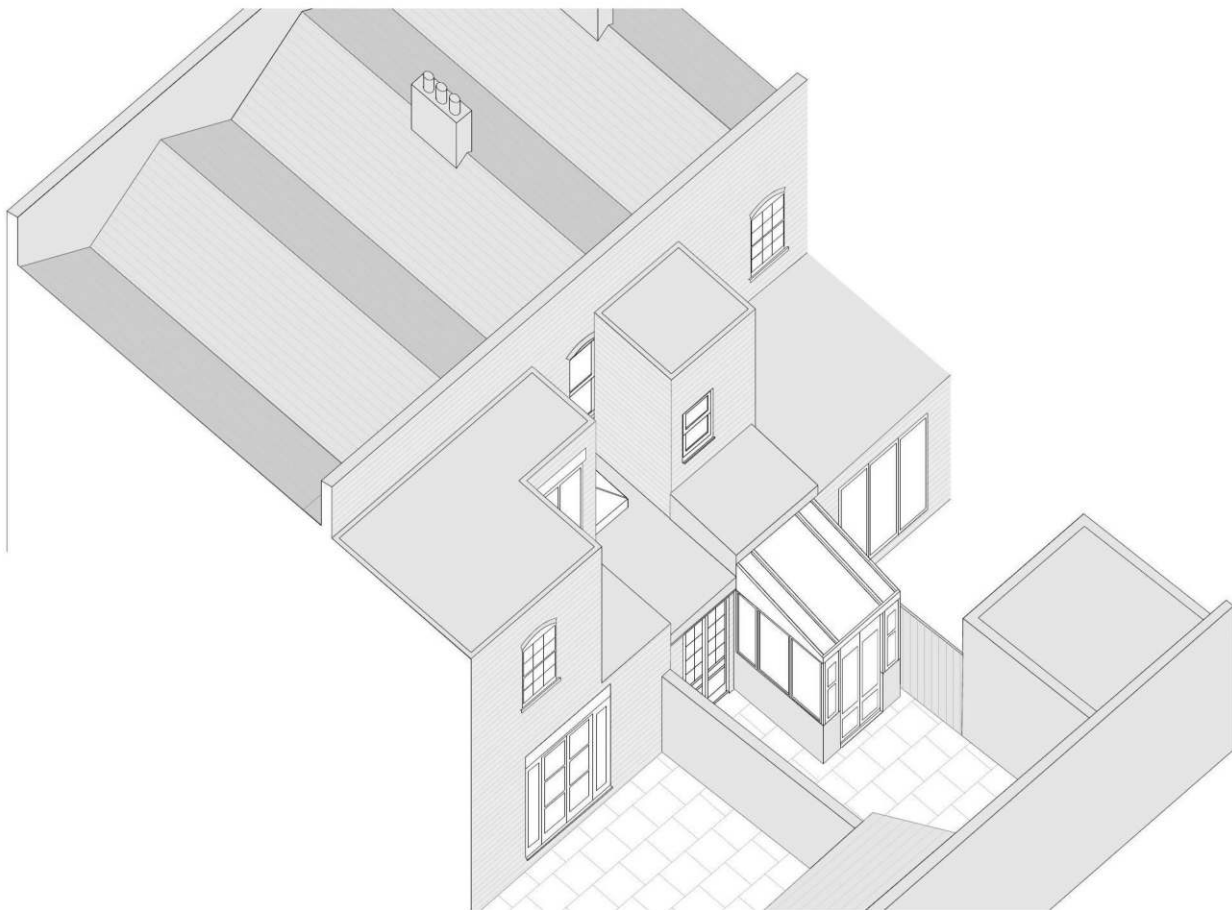
The design has been developed to minimise any impact on the neighbouring properties or local context by;

1. The first-floor extension is set within existing outriggers and to the same height. It is set back by 1.7m from the first-floor extension to No.20 Orleans Road.
2. The first-floor extension will be faced in brick, with a brick stock and bond to match the adjacent brick to the existing outrigger.
3. The first-floor extension will have a timber sash window of the same size and style as the existing, adjacent window.
4. The ground-floor extension is similar to the existing mass of the conservatory and the former outbuilding.

5. The design has been developed to have the roof along the boundary with No. 16 pitched to reduce the mass of the development against this section of the boundary and to be close to the height of the existing boundary fence. This reduces the height of the massing to this location to be lower than the existing conservatory.
6. The finish to the rear studio extension and link connection is clad with timber to be consistent with the character of outbuilding structures and to be visually different in character to the host building so that it is legible as an addition to it.

Amenity

1. The extensions are largely concealed from the neighbours and from the gardens to Montpellier Row as they sit within the context of boundary walls and fences.
2. The first-floor extension is well set back from the outrigger extension to the first-floor of No.20. The new window to the first-floor has been positioned away from the boundary wall and is in the same elevational location as the existing window.
3. The roof to the ground-floor extension pitches down to the boundary with No.16 and is lower than the height of the existing conservatory. It is only marginally higher than the existing fence.
4. The roof to the ground-floor extension and the existing extension over the kitchen will be a green roof with a wildflower lawn, which will provide a pleasant aspect for the neighbours, form a sustainable form of drainage and will create a biodiverse habitat for local wildlife.



Existing Axonometric View from the South-East



Precedent project - an extension to a grade-II listed cottage in Tower Hamlets that employs the principle of forming a garden around a circulation link, Treehouse by 6A Architects (Images Right)

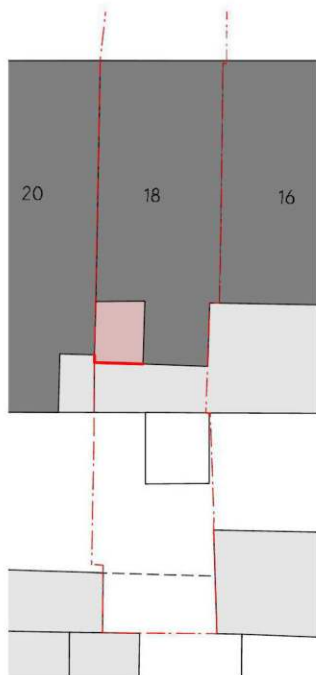


Proposed Axonometric View from the South-East (Above)

Reference Planning Applications

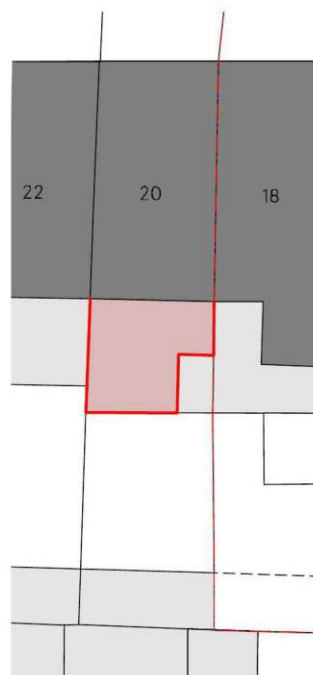
The following approved planning applications are examples of similar developments to neighboring properties that form part of the same BTM and are within the Conservation Area (See below)

Proposed First Floor Extension at No 18 Orleans Road



No 20 Orleans Road: 12/2505/HOT

Take down the existing first floor rear extension and replace with new extension at first floor. Refurbish and enlarge kitchen. Move stair position and add new WC at ground floor. Permission was granted on 26/09/2012. The design, materials and form were deemed acceptable by the council and size not overbearing to neighbouring



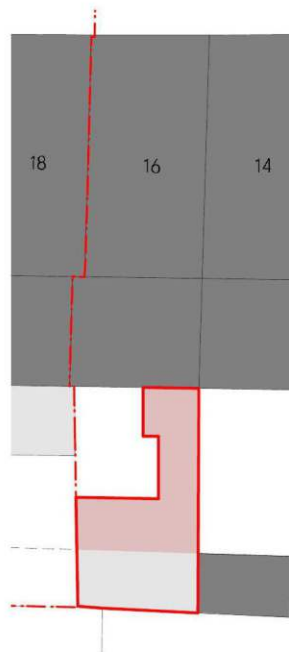
Proposed Ground floor Extension at No 18 Orleans Road

No 16 Orleans Road: 13/1522/HOT
 Link corridor and replacement of outbuilding with studio space. Permission was granted at appeal, the proposal was found to have an acceptable impact on the character and appearance of the host dwelling and surrounding area, and would preserve and enhance the character and appearance of the Twickenham Riverside Conservation Area.

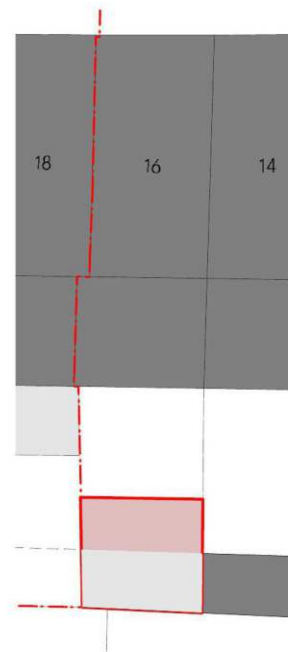
No 16 Orleans Road: 17/0369/HOT
 Demolition of an existing shed. Erection of singlestorey outbuilding for use as studio. This application was initially refused on 27/03/17 by the local planning authority. An Appeal was made (ref: APP/L5810/D/17/3173047) and permission was granted on 31/08/2017 based on a revised scheme. The overall design of this scheme was not deemed to harm the character and appearance of the host property or Conservation Area. The height of the single storey was acceptable with the Appeal Notice stating that visual dominance is retained and would not harm the living conditions of neighbouring residents.



13.8m² - Existing or previously developed footprint
 23.4m² - Total proposed area
 8.6m² - Remaining rear garden area
 47.5m² - Garden area to front



8.7m² - Existing or previously developed footprint
 23.5m² - Total proposed area
 10.5m² - Remaining rear garden area
 44m² - Garden area to front



8.7m² - Existing or previously developed footprint
 16.8m² - Total proposed area
 17.1m² - Remaining rear garden area
 44m² - Garden area to front

Planning Policy Review

The following documents/ policies have been considered as part of the development of the design proposal:

National Planning Policy Framework (NPPF)

The Richmond Local Plan.

The Local Plan adopted July 2018, which has superseded the Core Strategy (adopted 2009) and the Development Management Plan (adopted November 2011). Relevant policies include:

- LP 1 'Local Character and Design Quality'
- LP 2 'Building Heights';
- LP3 'Designated Heritage Assets'
- LP 4 'Non-Designated Heritage Asset';
- LP 8 'Amenity and Living Conditions'
- LP 15 'Biodiversity'
- LP 17 'Green Roofs'

Local Plan; Supplementary Planning Document – House Extensions and External Alterations, May 2015

Development Management Plan DM DC1, DM DC5, DM HD1 and DM HD3

The London Plan 2016;

Policies

- 3.14 Existing housing,
- 7.4 Local Character,
- 7.6 Architecture,
- 7.8 Heritage assets



Aerial Photo of Orleans from East (Image above)

Planning Statement – Rear Extension

The principle of development of an outbuilding structure with link connection to the rear of the house is established by the planning consent granted to the neighbouring property No.16 Orleans Road (Appeal Ref: APP/L5810/D/13/2206187)

Property Nos 18 and 16 are identical in their setting, form and context and therefore the proposal for No.18 has been developed to replicate the consented design for No.16. However, the detail of the proposal is considered to be better and more sympathetic to its setting, because;

- It is smaller than the scheme granted consent and built-out at No.16; the footprint of the studio is closer to the original footprint of the outbuilding, it is set back from the front of the outbuilding and does not develop over the full extent of the shared drain to the rear of the terrace.
- The link is designed to have a pitched roof, facing the boundary to No.16, that improves the outlook from the neighbour's garden and avoids any loss of amenity. It should be noted that the pitched roof to this location reduces the height of the existing mass along the boundary – making it lower than the existing conservatory.
- The highest point of the roof to the extension is no higher than the roof to the outbuilding of No.16
- The quality of private amenity to the rear yard, will be enhanced by the development and the space created is larger than granted consent at No.16.
- As identified by SPD – House Extension; more than 50% of the private garden of the original dwelling should be retained. The total area of the private garden (front and rear) is currently 73m² (this includes the area of the former outbuilding, which was in place in 1949), the remaining area of garden in the proposal is 56m² – 76.7% of the garden has been retained and therefore the proposal complies with this guidance.
- The proposed materials are considered to be high-quality and fitting to the context of an outbuilding and to the character of the property.

The following statements from the Planning Inspector, for the Appeal for No.16 (Ref. Appeal Ref: APP/L5810/D/13/2206187), are considered to be relevant and should be taken into account in determining this application:

Effect on the host dwelling and surrounding area

I conclude that the proposed development, by reason of its scale, form and plot coverage, would not harm the character and appearance of the host dwelling or the surrounding area, and as such would accord with policy DM DC 1 of the London Borough of Richmond upon Thames Local Development Framework Development Management Plan (LP), which seeks to ensure that development respects the pattern, scale and form of existing development and its surroundings, DM DC 5 which seeks to prevent new development that is visually obtrusive and overbearing, and the Design Guidelines for House Extensions and External Alterations SPG.

Effect on Twickenham Riverside Conservation Area

I am satisfied that the proposal leaves the character and appearance of the conservation area unharmed. It would maintain or preserve the character and appearance of the Twickenham Riverside Conservation Area and would be in accordance with the heritage aims of LP policies HD 1 and HD 3 and Policy CP 7 of the Core Strategy, which requires development affecting heritage assets to be protected from inappropriate development and enhanced sensitively.

Conclusion

I have found that the proposal would have an acceptable impact on the character and appearance of the host dwelling and surrounding area, and would preserve and enhance the character and appearance of the Twickenham Riverside Conservation Area. I have considered all other matters raised, including drainage, and the potential for additional traffic arising from the development, but the Council have raised no objections in this respect and I see no reason to disagree. The proposal therefore accords with the relevant provisions of the development plan and the Framework. For the reasons set out above I conclude that the appeal should succeed.

The following statements from the Planning Inspector, for the Appeal for No.16 (Ref. Appeal Ref: APP/L5810/D/17/3173047), are considered to be relevant and should be taken into account in determining this application:

Effect on host property and conservation area

I therefore conclude that the proposed scheme would not harm the character and appearance of the host property or the CA. Accordingly, no material conflict arises with those provisions of policy CP7 of the Council's adopted Core Strategy (CS) and policies DM DC1 & DM HD3 of the Council's Development Management Plan (DMP) that, in combination, require development to be well designed so as to connect positively with their surroundings, to be compatible with local character, and for the setting of BTM to be protected and enhanced.

Living conditions

I conclude that the development would not harm the living conditions of neighbouring residents by reason of visual impact or loss of outlook. Accordingly I find no conflict with those provisions of DMP policy DM DC 5 relating to the neighbourliness of development.

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Access

Access to the development is to ensure equal and convenient access to the property and access for the emergency services where relevant. This application is for the extension of a residential unit. As a residential unit, the space will not be accessible to the public, but should however cater for people with varying levels of access ability. The entrance remains unaltered.

Heritage Statement

No.18 Orleans Road is within the Twickenham Riverside Conservation Area. The conservation area was designated in 1969 and extended in 1982 and in 1991. The area appraisal does not make any specific reference to Orleans Road but it is understood that its principle concerns relate the historic and architectural value of the original village core, river frontage and street frontages.

It is part of a terrace that is noted as a Building of Townscape Merit (BTM). The Supplementary Planning Documentation sets out the criteria for selection, but no specific assessment has been provided as to what the Council regards as significant.

As has been determined by planning consents to neighbouring properties, the proposals are not considered to harm the character of the property, the conservation area or the BTM.

Conclusion

In conclusion, the proposed development to No.18 Orleans Road is a well-considered and high-quality extension to the existing dwelling. The proposals are a sustainable form of development that responds to the context of the site and to the demand for larger family-sized accommodation with space for home working.

The design is subordinate to the original house; creating a legible distinction between old and new and makes reference in its design to the host building's proportions, materials and tone. The extension is not visible from Orleans Road or any of the neighbouring streets, it will therefore have no impact on the Twickenham's Riverside Conservation Area of the character of the BTM.

The proposal has been developed in careful consideration of planning policy and guidance and with regard to consented schemes to neighbouring properties – in particular No.16 Orleans Road.



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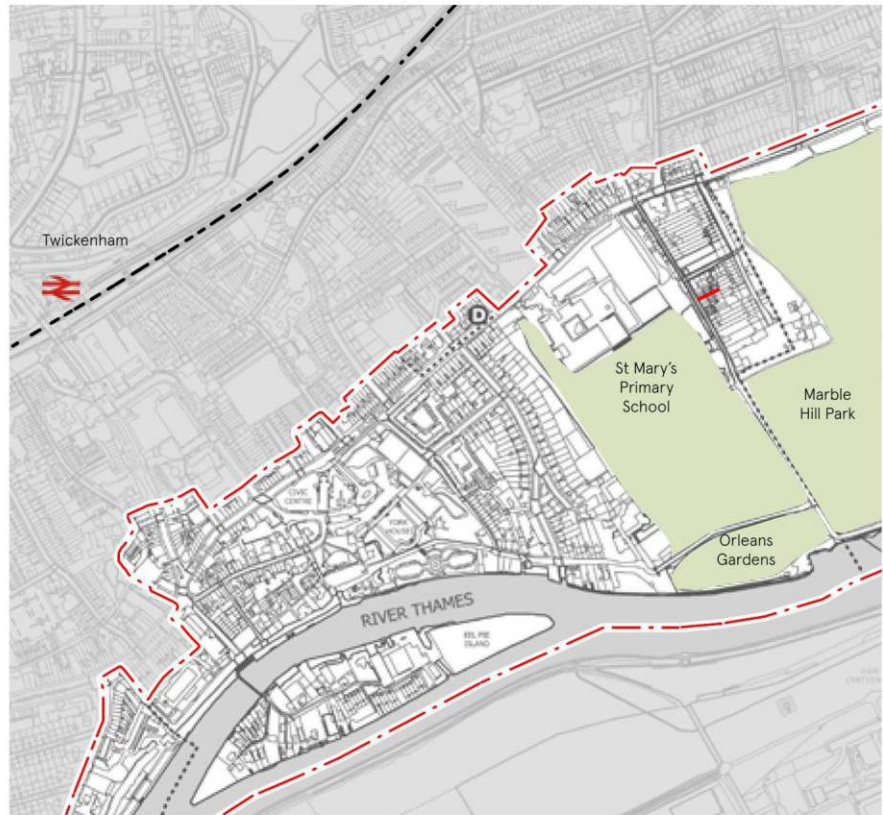
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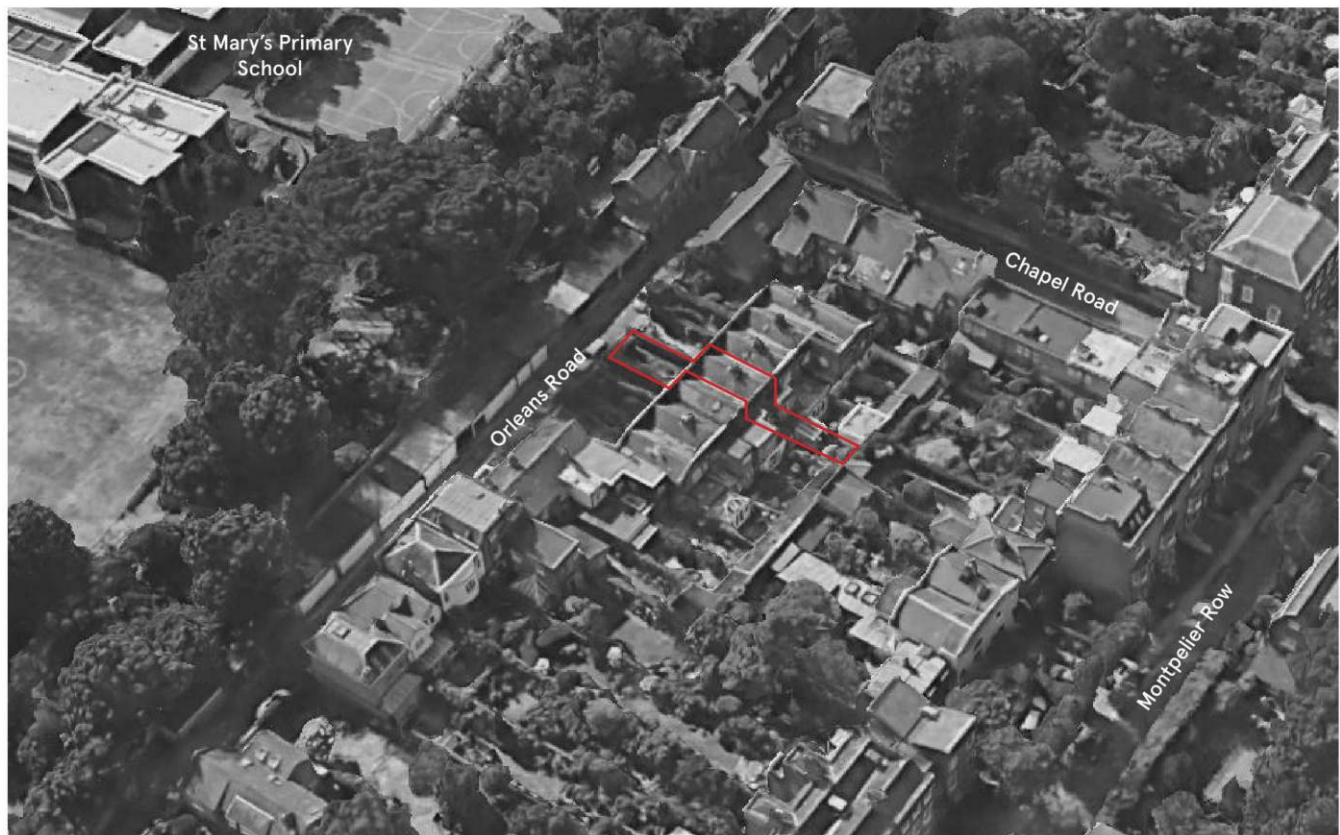
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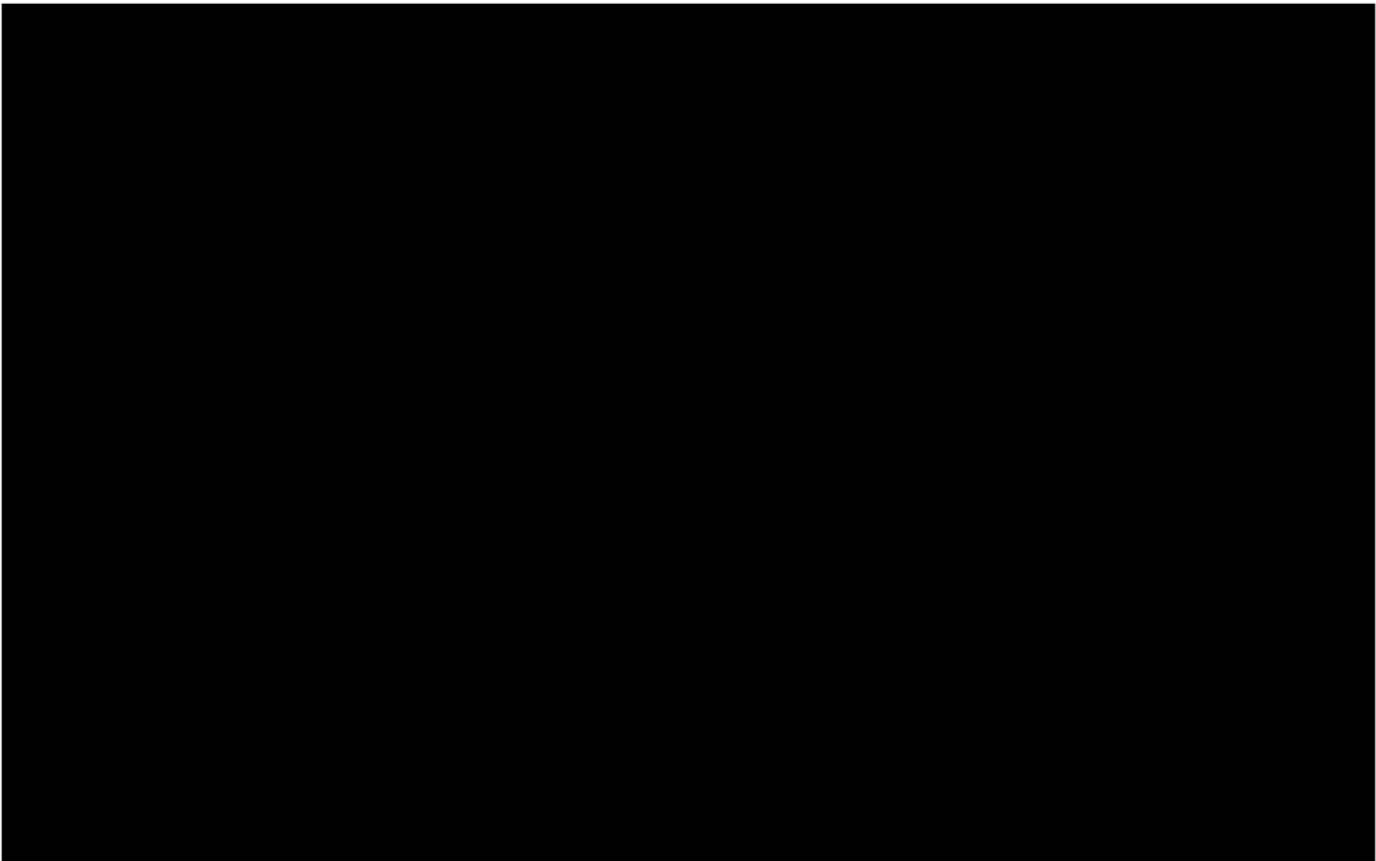
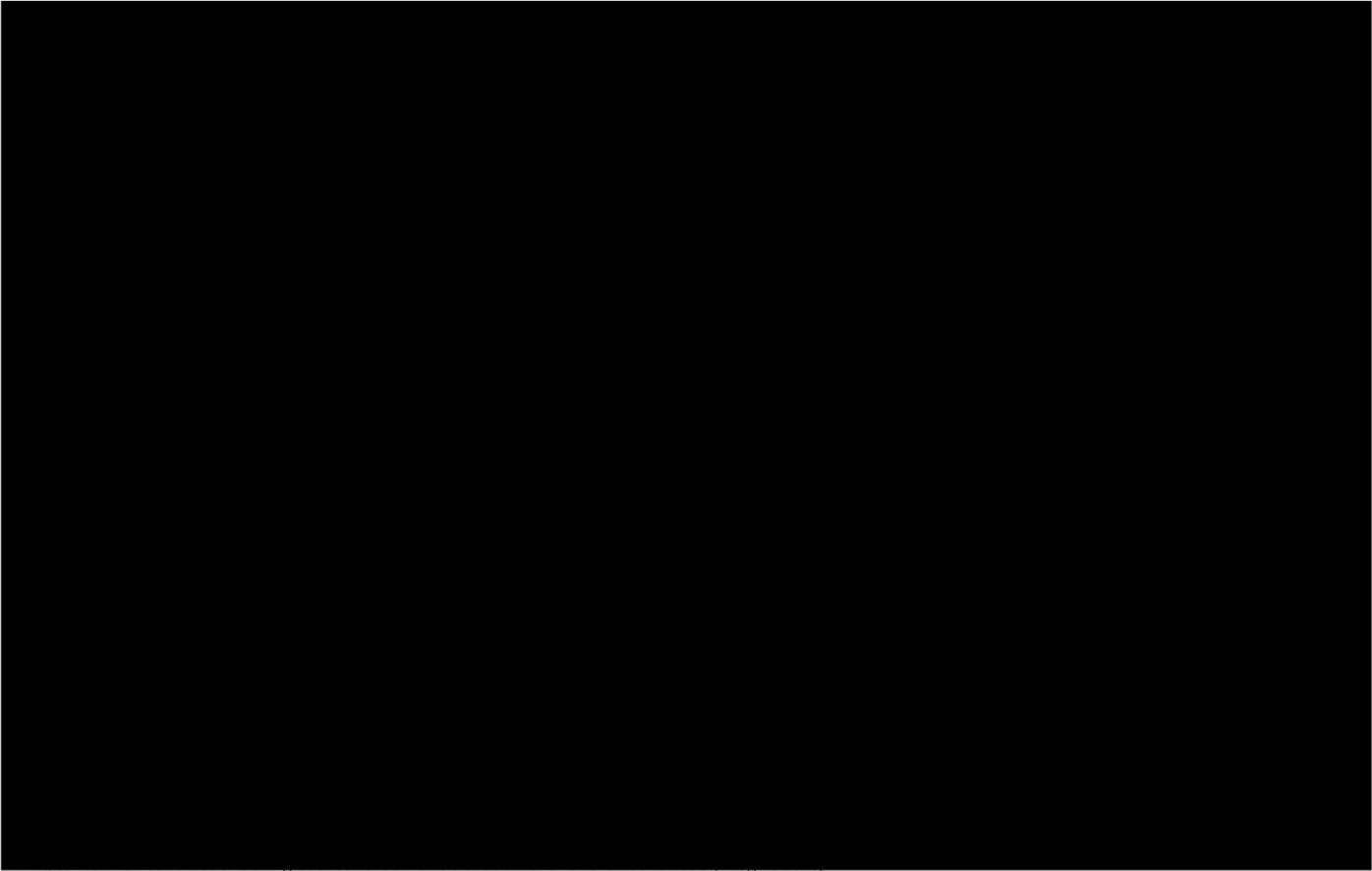


Photo from rear garden looking west towards rear elevation of No 18 Orleans Road (Image above)

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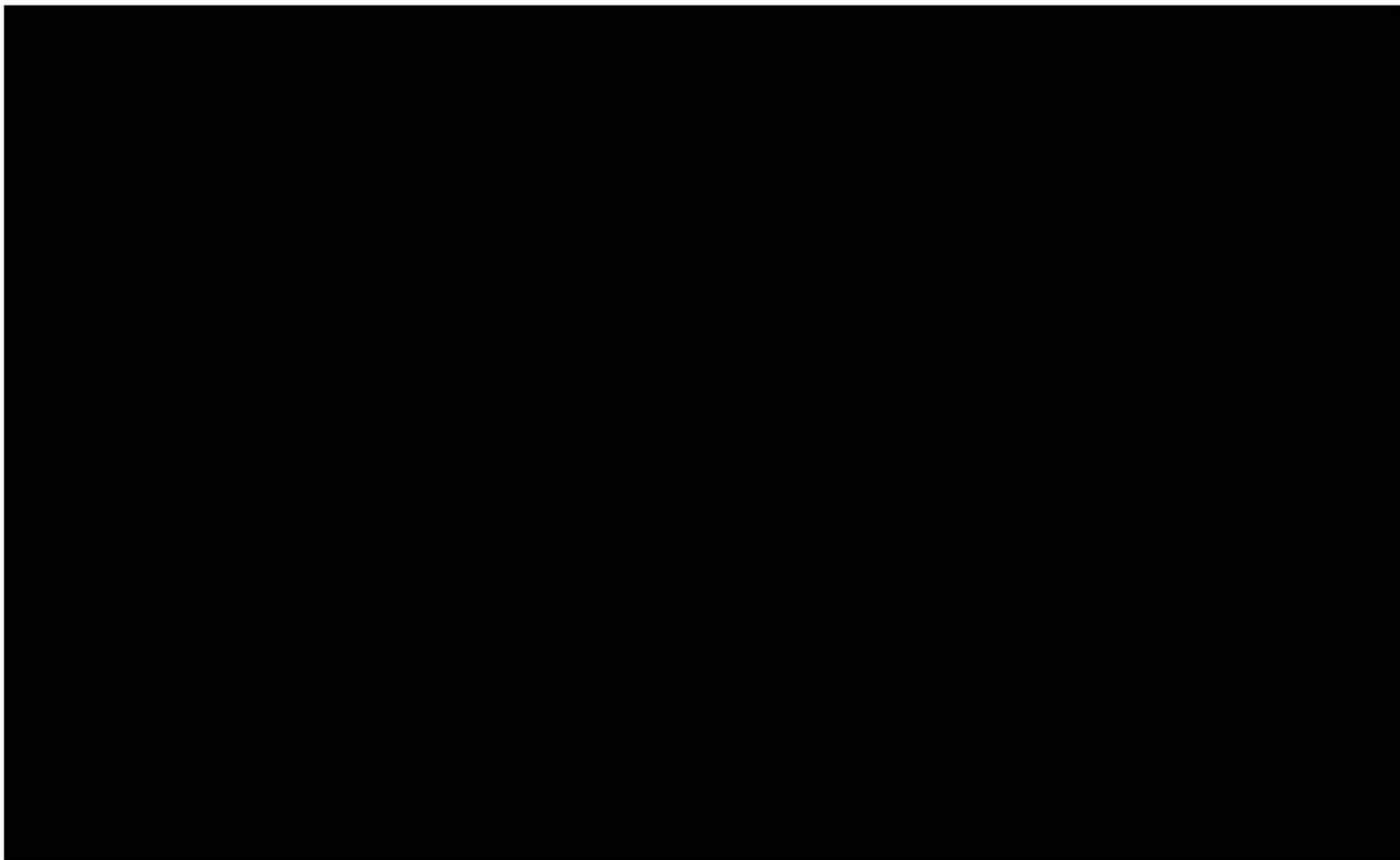


Photo of the rear garden of No 18 Orleans, looking from house (Image above)

Design

Development Proposal

The current owners of 18 Orleans Road purchased the property in 2020 and wish to renovate it and extend it to better suit their needs. The proposal involves:

1. Rebuilding the front porch, which is in a poor condition, with a new porch which is considered to be more traditional and in keeping with the period and character of the property.
2. Remodelling the interior of the ground floor to better incorporate the existing rear extension.
3. Extending the first-floor, to the rear, to form an infill extension between the existing outrigger and the outrigger to No.20 Orleans Road and reconfiguring the accommodation to the first-floor to improve the current arrangement. This will include creating a new rear window to a size and style to match the existing sash-window to the outrigger.
4. Install skylights to the pitches of the butterfly-roof. These will not be visible from the street as they are behind the parapet wall.
5. Demolish the rear conservatory and form a single-storey studio to the location of the former outbuilding with a link connection to the house.

Design Intent

The design proposes to renovate and extend the existing house at first and ground floor levels to make the property better suited to the current owners' requirements. At the core of the proposals is the intent to improve the internal spaces, retaining two first-floor bedrooms but with better bathroom provision and greater quality of space and natural light.

The proposal remodels the ground-floor, removing the glazed-UPVC frame conservatory, which is considered to harm the character of the property. It remodels the ground floor interior to provide a more intuitive relationship to the rear yard garden from the house. The designs reuse the footprint of the conservatory and the former outbuilding to create a home-working studio with a link.

Footprint

The proposed extensions to 18 Orleans Road involve;

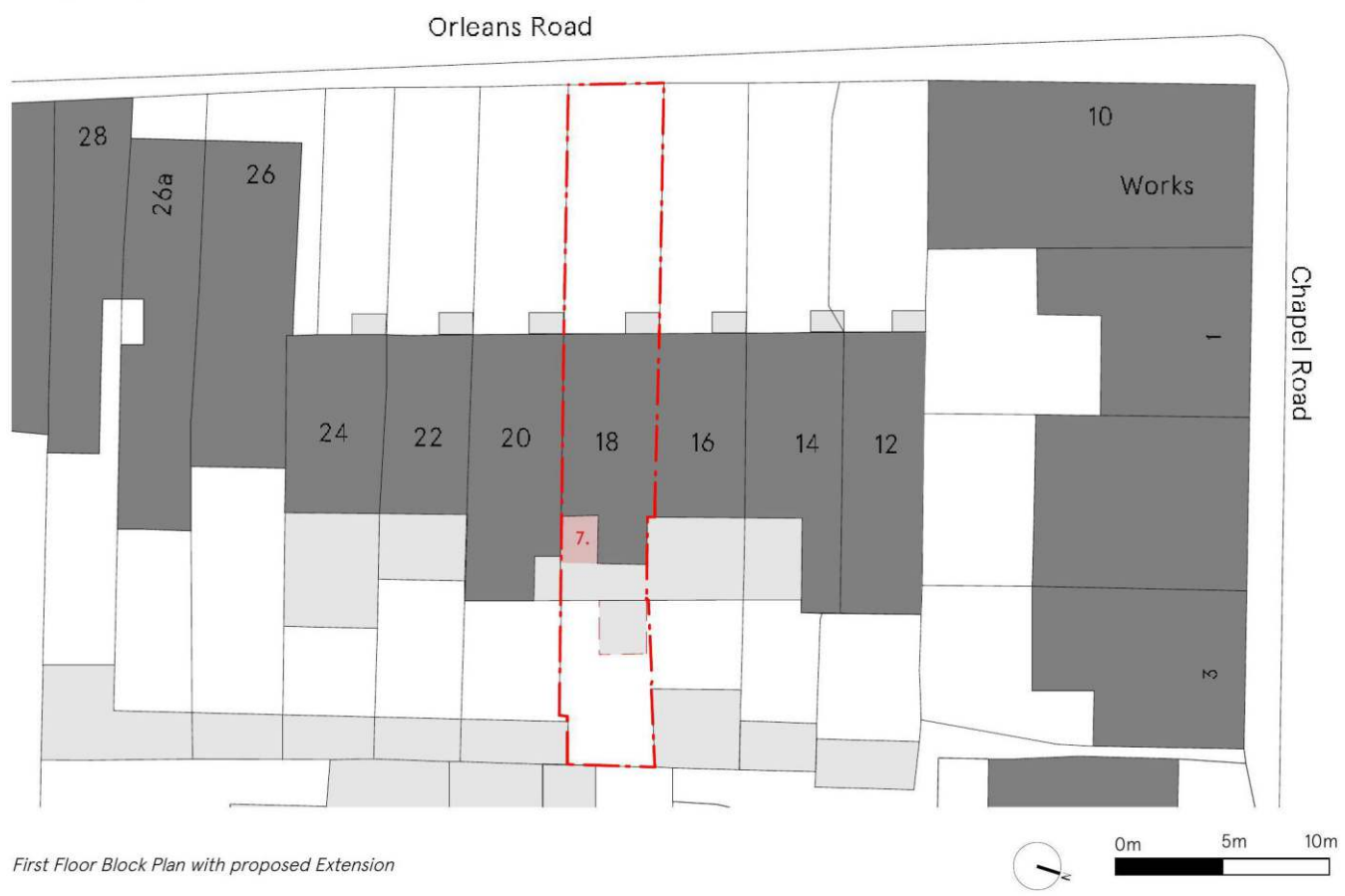
1. Creating a 3.7sq.m infill extension to the first-floor, between the existing rear outrigger and the outrigger to No.20 Orleans Road.
2. Rebuilding the outbuilding to add a 9.3sq.m linked outbuilding to the rear yard garden, at ground-floor level, to the location of the existing conservatory and the former outbuilding. (See diagram)

- Key/ Areas of Diagram below
1. Front Garden - 47.5sq.m
 2. Footprint of Porch - 1.5sq.m
 3. Footprint of Existing Conservatory - 5.5sq.m
 4. Rear patio garden - 8.8sq.m
 5. Link outbuilding - 9.3sq.m
 6. Footprint of Existing Outbuilding - 8.8sq.m



Ground Floor Block Plan with proposed Extension.

Key/ Areas of Diagram below
7. Infill First Floor Extension - 3.7sq.m



First Floor Block Plan with proposed Extension

Massing, Materials and Appearance

The design has been developed to minimise any impact on the neighbouring properties or local context by:

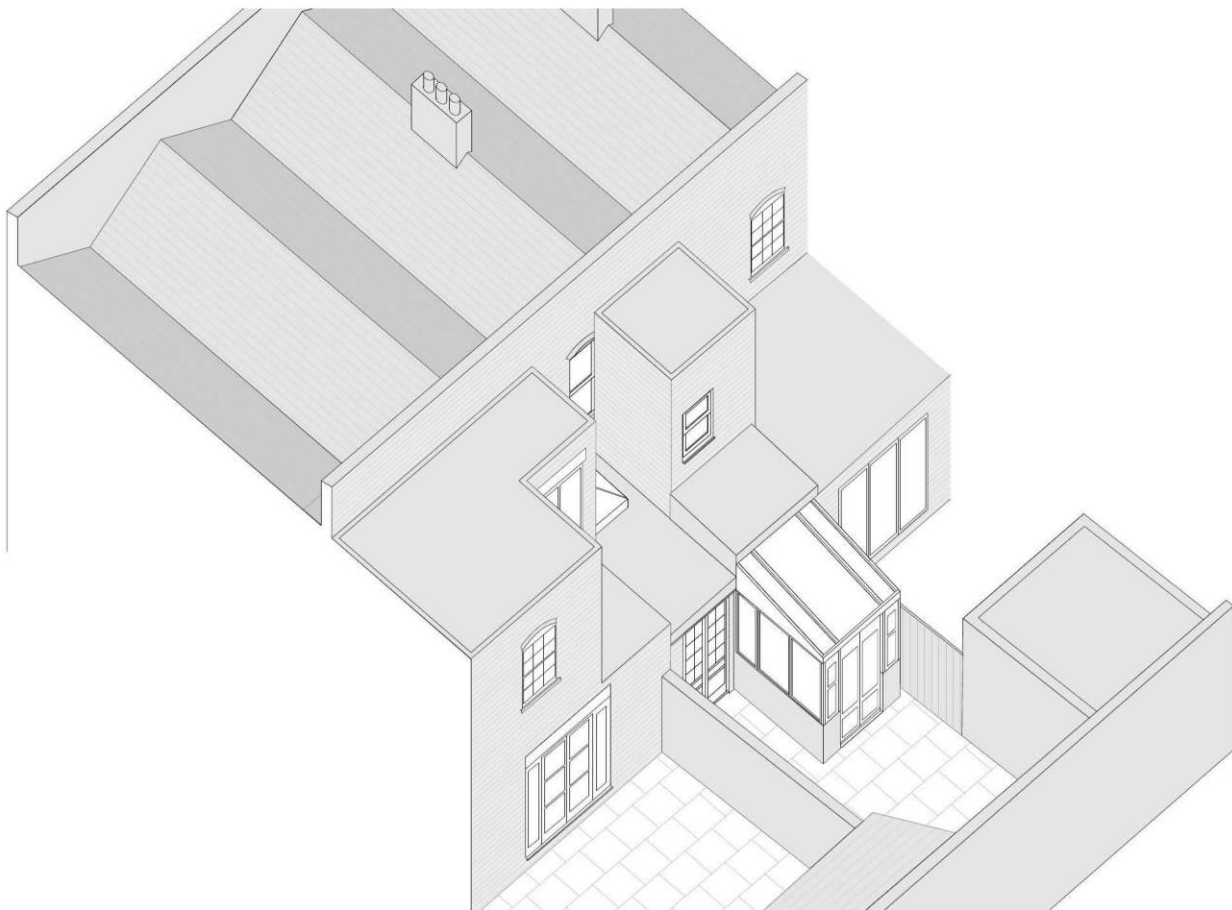
1. The first-floor extension is set within existing outriggers and to the same height. It is set back by 1.7m from the first-floor extension to No.20 Orleans Road.
2. The first-floor extension will be faced in brick, with a brick stock and bond to match the adjacent brick to the existing outrigger.
3. The first-floor extension will have a timber sash window of the same size and style as the existing, adjacent window.
4. The ground-floor extension is similar to the existing mass of the conservatory and the former outbuilding.

5. The design has been developed to have the roof along the boundary with No. 16 pitched to reduce the mass of the development against this section of the boundary and to be close to the height of the existing boundary fence. This reduces the height of the massing to this location to be lower than the existing conservatory.

6. The finish to the rear studio extension and link connection is clad with timber to be consistent with the character of outbuilding structures and to be visually different in character to the host building so that it is legible as an addition to it.

Amenity

1. The extensions are largely concealed from the neighbours and from the gardens to Montpellier Row as they sit within the context of boundary walls and fences.
2. The first-floor extension is well set back from the outrigger extension to the first-floor of No.20. The new window to the first-floor has been positioned away from the boundary wall and is in the same elevational location as the existing window.
3. The roof to the ground-floor extension pitches down to the boundary with No.16 and is lower than the height of the existing conservatory. It is only marginally higher than the existing fence.
4. The roof to the ground-floor extension and the existing extension over the kitchen will be a green roof with a wildflower lawn, which will provide a pleasant aspect for the neighbours, form a sustainable form of drainage and will create a biodiverse habitat for local wildlife.



Existing Axonometric View from the South-East



Precedent project - an extension to a grade-II listed cottage in Tower Hamlets that employs the principle of forming a garden around a circulation link, Treehouse by 6A Architects (Images Right)

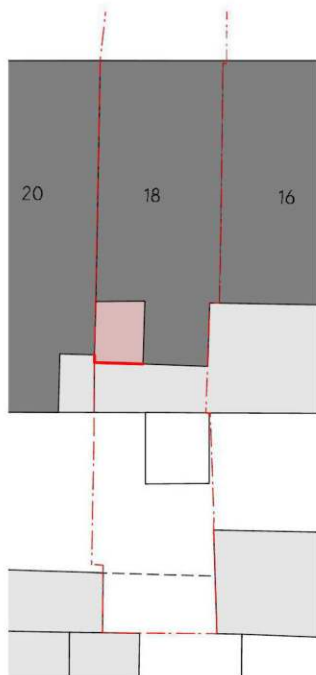


Proposed Axonometric View from the South-East (Above)

Reference Planning Applications

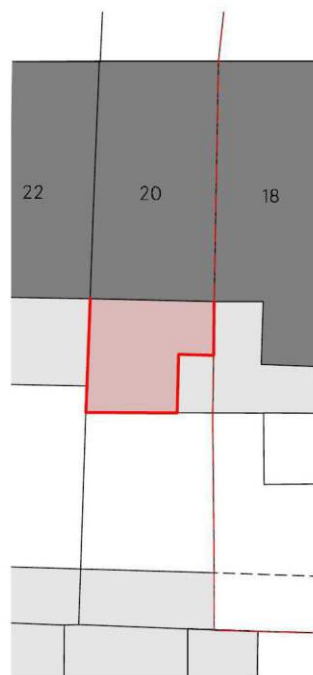
The following approved planning applications are examples of similar developments to neighboring properties that form part of the same BTM and are within the Conservation Area (See below)

Proposed First Floor Extension at No 18 Orleans Road



No 20 Orleans Road: 12/2505/HOT

Take down the existing first floor rear extension and replace with new extension at first floor. Refurbish and enlarge kitchen. Move stair position and add new WC at ground floor. Permission was granted on 26/09/2012. The design, materials and form were deemed acceptable by the council and size not overbearing to neighbouring



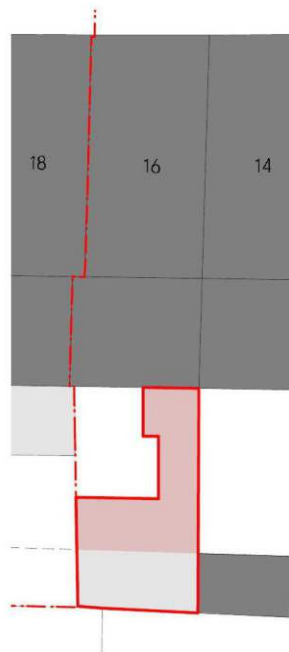
Proposed Ground floor Extension at No 18 Orleans Road

No 16 Orleans Road: 13/1522/HOT
Link corridor and replacement of outbuilding with studio space. Permission was granted at appeal, the proposal was found to have an acceptable impact on the character and appearance of the host dwelling and surrounding area, and would preserve and enhance the character and appearance of the Twickenham Riverside Conservation Area.

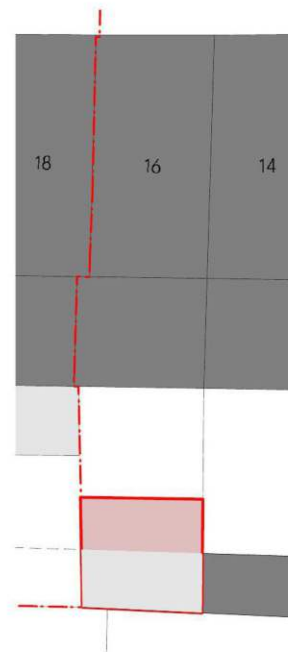
No 16 Orleans Road: 17/0369/HOT
Demolition of an existing shed. Erection of singlestorey outbuilding for use as studio. This application was initially refused on 27/03/17 by the local planning authority. An Appeal was made (ref: APP/L5810/D/17/3173047) and permission was granted on 31/08/2017 based on a revised scheme. The overall design of this scheme was not deemed to harm the character and appearance of the host property or Conservation Area. The height of the single storey was acceptable with the Appeal Notice stating that visual dominance is retained and would not harm the living conditions of neighbouring residents.



13.8m² - Existing or previously developed footprint
23.4m² - Total proposed area
8.6m² - Remaining rear garden area
47.5m² - Garden area to front



8.7m² - Existing or previously developed footprint
23.5m² - Total proposed area
10.5m² - Remaining rear garden area
44m² - Garden area to front



8.7m² - Existing or previously developed footprint
16.8m² - Total proposed area
17.1m² - Remaining rear garden area
44m² - Garden area to front

Planning Policy Review

The following documents/ policies have been considered as part of the development of the design proposal:

National Planning Policy Framework (NPPF)

The Richmond Local Plan.

The Local Plan adopted July 2018, which has superseded the Core Strategy (adopted 2009) and the Development Management Plan (adopted November 2011). Relevant policies include:

- LP 1 'Local Character and Design Quality'
- LP 2 'Building Heights';
- LP3 'Designated Heritage Assets'
- LP 4 'Non-Designated Heritage Asset';
- LP 8 'Amenity and Living Conditions'
- LP 15 'Biodiversity'
- LP 17 'Green Roofs'

Local Plan; Supplementary Planning Document – House Extensions and External Alterations, May 2015

Development Management Plan DM DC1, DM DC5, DM HD1 and DM HD3

The London Plan 2016;

Policies

- 3.14 Existing housing,
- 7.4 Local Character,
- 7.6 Architecture,
- 7.8 Heritage assets



Aerial Photo of Orleans from East (Image above)

Planning Statement – Rear Extension

The principle of development of an outbuilding structure with link connection to the rear of the house is established by the planning consent granted to the neighbouring property No.16 Orleans Road (Appeal Ref: APP/L5810/D/13/2206187)

Property Nos 18 and 16 are identical in their setting, form and context and therefore the proposal for No.18 has been developed to replicate the consented design for No.16. However, the detail of the proposal is considered to be better and more sympathetic to its setting, because;

- It is smaller than the scheme granted consent and built-out at No.16; the footprint of the studio is closer to the original footprint of the outbuilding, it is set back from the front of the outbuilding and does not develop over the full extent of the shared drain to the rear of the terrace.
- The link is designed to have a pitched roof, facing the boundary to No.16, that improves the outlook from the neighbour's garden and avoids any loss of amenity. It should be noted that the pitched roof to this location reduces the height of the existing mass along the boundary – making it lower than the existing conservatory.
- The highest point of the roof to the extension is no higher than the roof to the outbuilding of No.16
- The quality of private amenity to the rear yard, will be enhanced by the development and the space created is larger than granted consent at No.16.
- As identified by SPD – House Extension; more than 50% of the private garden of the original dwelling should be retained. The total area of the private garden (front and rear) is currently 73m² (this includes the area of the former outbuilding, which was in place in 1949), the remaining area of garden in the proposal is 56m² – 76.7% of the garden has been retained and therefore the proposal complies with this guidance.
- The proposed materials are considered to be high-quality and fitting to the context of an outbuilding and to the character of the property.

The following statements from the Planning Inspector, for the Appeal for No.16 (Ref. Appeal Ref: APP/L5810/D/13/2206187), are considered to be relevant and should be taken into account in determining this application:

Effect on the host dwelling and surrounding area

I conclude that the proposed development, by reason of its scale, form and plot coverage, would not harm the character and appearance of the host dwelling or the surrounding area, and as such would accord with policy DM DC 1 of the London Borough of Richmond upon Thames Local Development Framework Development Management Plan (LP), which seeks to ensure that development respects the pattern, scale and form of existing development and its surroundings, DM DC 5 which seeks to prevent new development that is visually obtrusive and overbearing, and the Design Guidelines for House Extensions and External Alterations SPG.

Effect on Twickenham Riverside Conservation Area

I am satisfied that the proposal leaves the character and appearance of the conservation area unharmed. It would maintain or preserve the character and appearance of the Twickenham Riverside Conservation Area and would be in accordance with the heritage aims of LP policies HD 1 and HD 3 and Policy CP 7 of the Core Strategy, which requires development affecting heritage assets to be protected from inappropriate development and enhanced sensitively.

Conclusion

I have found that the proposal would have an acceptable impact on the character and appearance of the host dwelling and surrounding area, and would preserve and enhance the character and appearance of the Twickenham Riverside Conservation Area. I have considered all other matters raised, including drainage, and the potential for additional traffic arising from the development, but the Council have raised no objections in this respect and I see no reason to disagree. The proposal therefore accords with the relevant provisions of the development plan and the Framework. For the reasons set out above I conclude that the appeal should succeed.

The following statements from the Planning Inspector, for the Appeal for No.16 (Ref. Appeal Ref: APP/L5810/D/17/3173047), are considered to be relevant and should be taken into account in determining this application:

Effect on host property and conservation area

I therefore conclude that the proposed scheme would not harm the character and appearance of the host property or the CA. Accordingly, no material conflict arises with those provisions of policy CP7 of the Council's adopted Core Strategy (CS) and policies DM DC1 & DM HD3 of the Council's Development Management Plan (DMP) that, in combination, require development to be well designed so as to connect positively with their surroundings, to be compatible with local character, and for the setting of BTM to be protected and enhanced.

Living conditions

I conclude that the development would not harm the living conditions of neighbouring residents by reason of visual impact or loss of outlook. Accordingly I find no conflict with those provisions of DMP policy DM DC 5 relating to the neighbourliness of development.

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Access

Access to the development is to ensure equal and convenient access to the property and access for the emergency services where relevant. This application is for the extension of a residential unit. As a residential unit, the space will not be accessible to the public, but should however cater for people with varying levels of access ability. The entrance remains unaltered.

Heritage Statement

No.18 Orleans Road is within the Twickenham Riverside Conservation Area. The conservation area was designated in 1969 and extended in 1982 and in 1991. The area appraisal does not make any specific reference to Orleans Road but it is understood that its principle concerns relate the historic and architectural value of the original village core, river frontage and street frontages.

It is part of a terrace that is noted as a Building of Townscape Merit (BTM). The Supplementary Planning Documentation sets out the criteria for selection, but no specific assessment has been provided as to what the Council regards as significant.

As has been determined by planning consents to neighbouring properties, the proposals are not considered to harm the character of the property, the conservation area or the BTM.

Conclusion

In conclusion, the proposed development to No.18 Orleans Road is a well-considered and high-quality extension to the existing dwelling. The proposals are a sustainable form of development that responds to the context of the site and to the demand for larger family-sized accommodation with space for home working.

The design is subordinate to the original house; creating a legible distinction between old and new and makes reference in its design to the host building's proportions, materials and tone. The extension is not visible from Orleans Road or any of the neighbouring streets, it will therefore have no impact on the Twickenham's Riverside Conservation Area of the character of the BTM.

The proposal has been developed in careful consideration of planning policy and guidance and with regard to consented schemes to neighbouring properties – in particular No.16 Orleans Road.