



DESIGN AND ACCESS STATEMENT

Flat 8
Homewood Close
Hampton
TW12 3YB

Applicant: Mr & Mrs Kearns

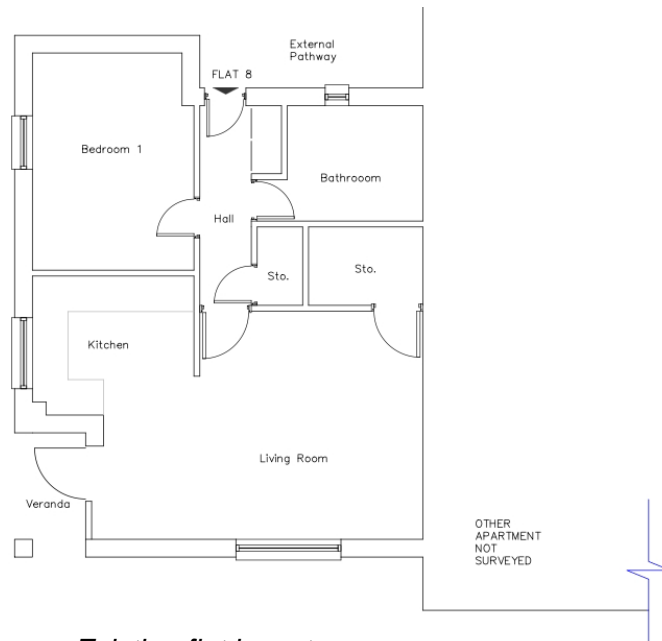
1. Site Description

The proposal site is located at the ground floor of a 3 storey residential building.

The property did previously belong to the RHP Group Housing Association and the leasehold has been purchased from the Housing Association.

2. Proposal

The property is a 1bed flat and is occupied by Mr & Mrs Kearns for a number of years now



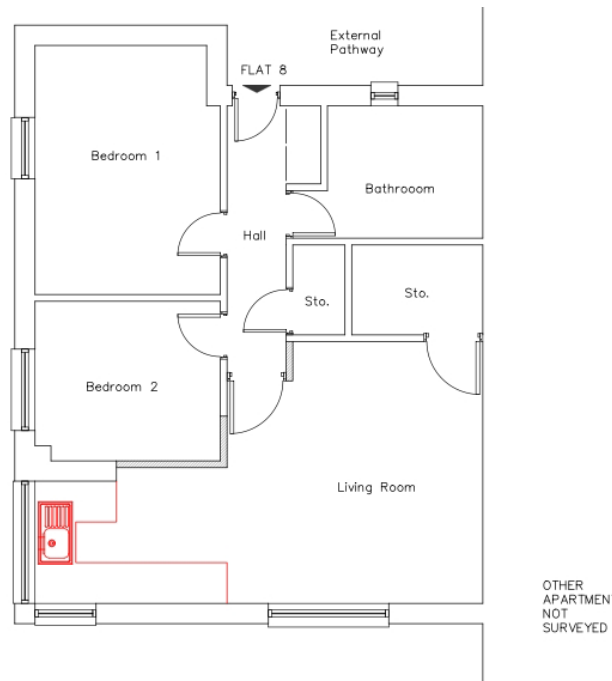
a. Existing flat layout

The flat has an outdoor veranda which is very close to public areas and on a regular basis, waste including cans and bottles of alcohol are found in it making its upkeep an impossible task.



As a properties within their estate have extended their living rooms in their balconies, to enclose the veranda as part of this property, eliminates the issue that Mr & Mrs Kearns have with the waste found in the outside veranda.

The other issue that Mr & Mrs Kearns have is that because they are unable financially to move out and their children are growing up, they are in need of more space.



b. Proposed flat layout

Surveyors of the freeholder have visited the property and are NOT opposed to the proposed changes.

3. Design Considerations

Enclosing the balcony with PVC windows and making it part of the existing apartment, is a feature that can be seen in the vicinity and is not foreign to the area.



c. Neighbourly property 5 Stanborough Close TW12 3YA

4. Assessment

The proposal would preserve the character and appearance of the existing property and would not give rise to harmful amenity impacts. As such, the authority is requested to grant planning permission.

