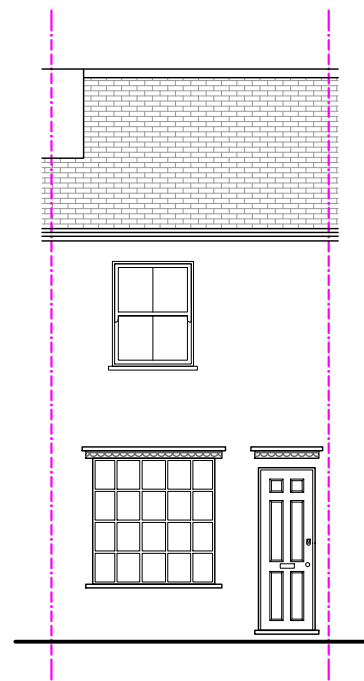
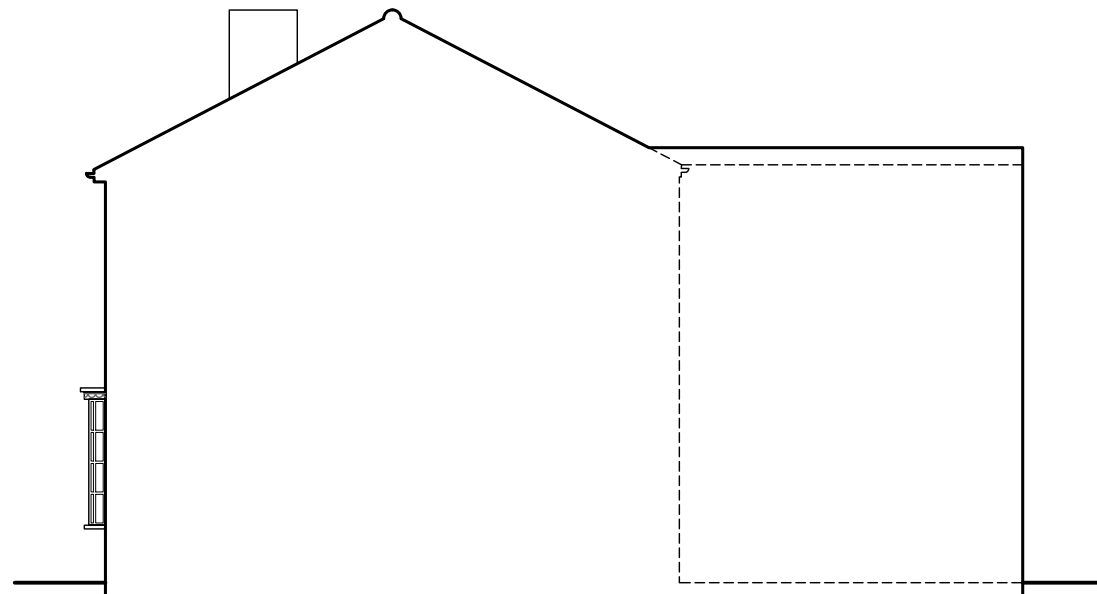


**PRELIMINARY DESIGN. NOT FOR CONSTRUCTION**



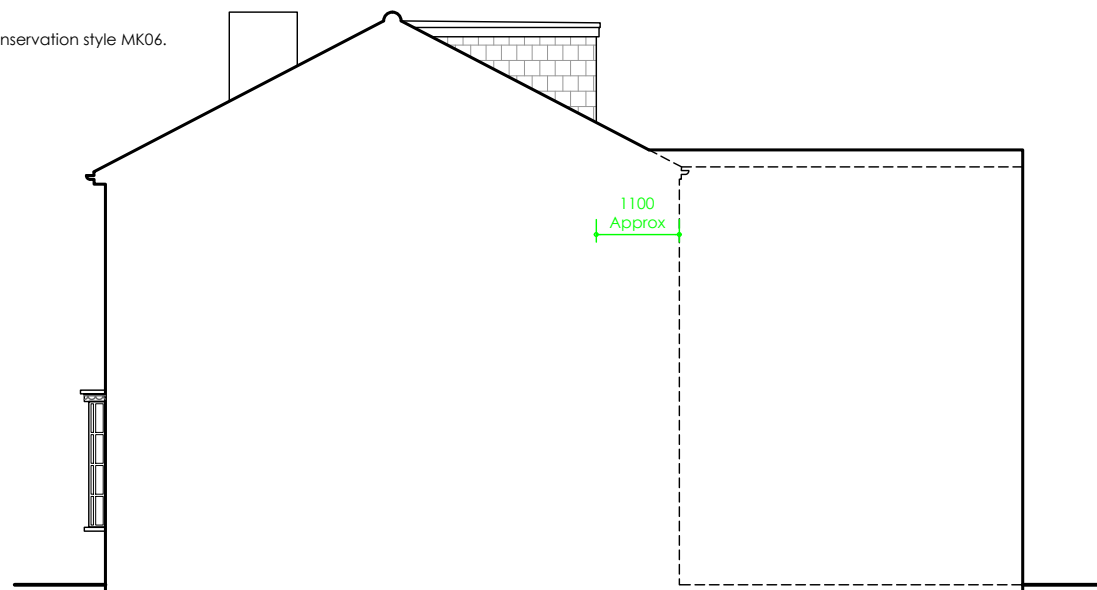
**Existing Front Elevation**  
Scale 1/100@A3



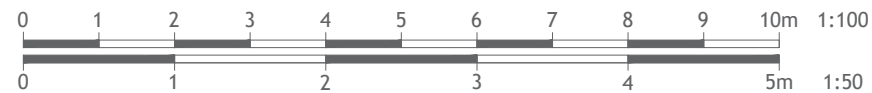
**Existing RHS Elevation**  
Scale 1/100@A3



**Proposed Front Elevation**  
Scale 1/100@A3



**Proposed RHS Elevation**  
Scale 1/100@A3



**General Notes:**

It's the home owners responsibility to obtain all permissions under the Party Wall etc. Act 1996

The contractor is responsible for the verification of all dimensions on site, inform contract administrator of any discrepancies.

Use figure dimension only.

Existing foundations, lintels and walls to be exposed if required by Building Control for assessment upgrade if found inadequate.

The materials used in any exterior work will be of a similar appearance to those used in the construction of the exterior of the existing dwelling house

Proposed roof lights will protrude no more than 0.15m beyond the plane of the slope of the original roof when measured from the perpendicular

Any windows on flank walls to be obscure glazed & fixed shut below 1.7m when measured from floor level

Furniture, sanitary ware & kitchen layouts shown are indicative. To be confirmed on site

All drainage to be confirmed on site

All materials, windows, doors etc used to be fitted as per manufacturers specifications

**Key To Drawings:**

	EXISTING BRICK WALL		PROPOSED CAVITY WALL
	EXISTING TIMBER WALL		PROPOSED STUD WALL
	DEMOLITION		BOUNDARY LINE
	AXIS LINE		PROPOSED FOUNDATIONS
	EXISTING FOUNDATIONS		PROPOSED TIMBER JOISTS
	PROPOSED STEEL BEAMS		

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07528770701

Date	Description	Rev
05.08.21	GF EXTN	B
05.07.21	Dormer size reduced	A
22.01.21	Preliminary Drawings	Prelims

84 Westfield Road  
Ealing,  
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W13 9JA  
[www.smalofts.co.uk](http://www.smalofts.co.uk)

**Project** 35 Princes Road, Richmond  
Loft conversion with rear dormer & Side Return Extn

**Client** Mr & Mrs Baghaei

**Title** Existing & Proposed Elevations

**Scale** 1/100 @ A3

**Drawn by** SK **Checked by** ASE

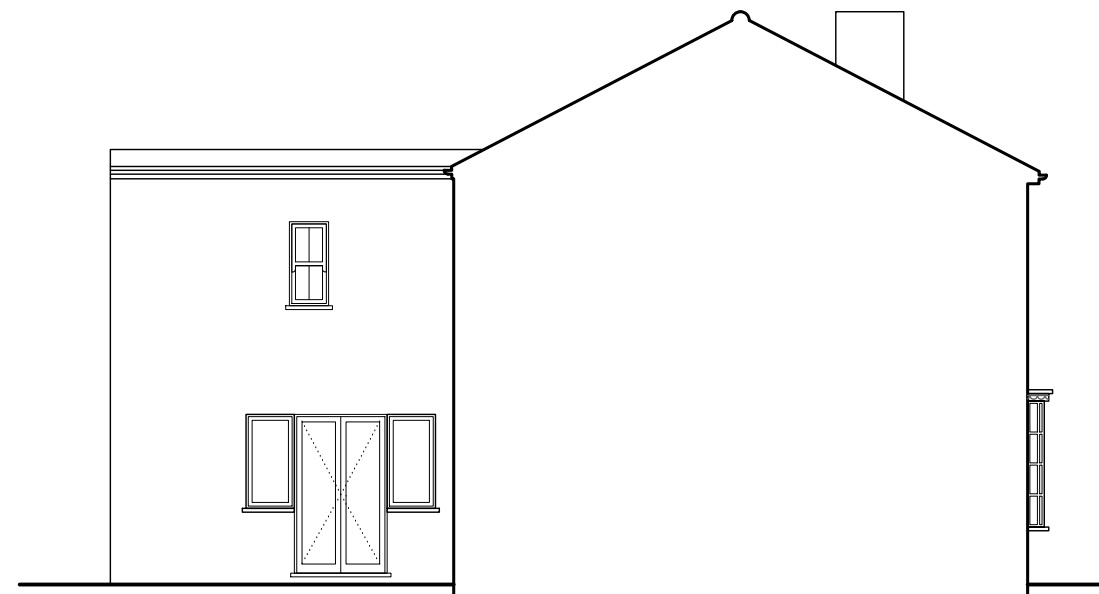
**Job No.**

**Drawing**  
**01**

**PRELIMINARY DESIGN. NOT FOR CONSTRUCTION**



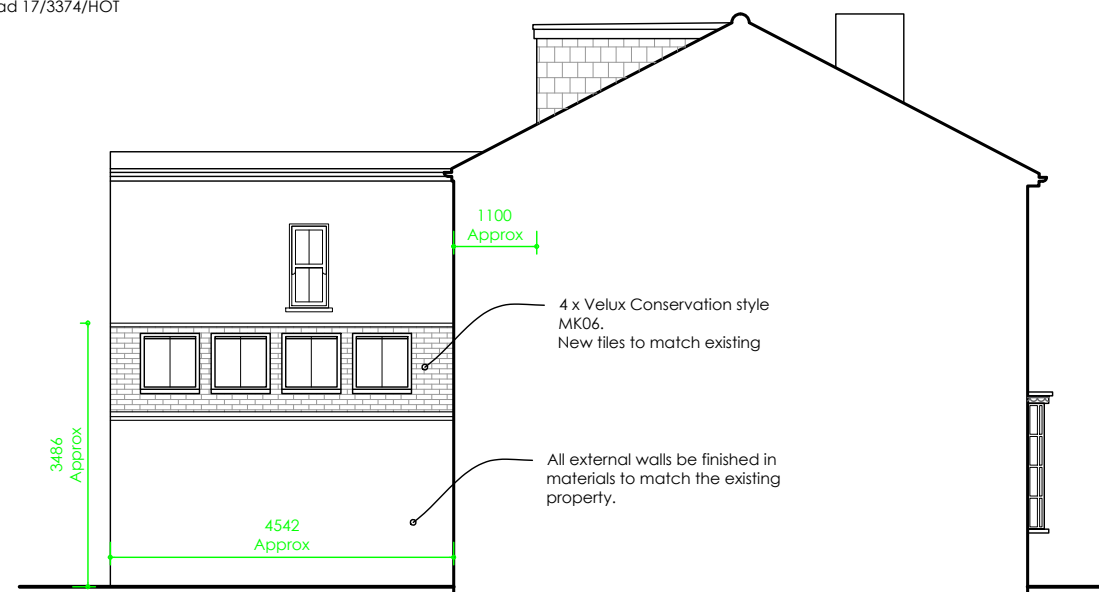
**Existing Rear Elevation**  
Scale 1/100@A3



**Existing LHS Elevation**  
Scale 1/100@A3



**Proposed Rear Elevation**  
Scale 1/100@A3



**Proposed LHS Elevation**  
Scale 1/100@A3

1800 Approx  
Proposed dormer width, dimensions to match the approved application for 19 Princes Road 17/3374/HOT

1100 Approx

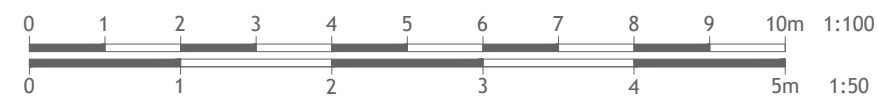
4 x Velux Conservation style MK06. New tiles to match existing

2200 Approx

3486 Approx

4542 Approx

All external walls be finished in materials to match the existing property.



**General Notes:**

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Use figure dimension only.

Existing foundations, lintels and walls to be exposed if required by Building Control for assessment upgrade if found inadequate.

The materials used in any exterior work will be of a similar appearance to those used in the construction of the exterior of the existing dwelling house

Proposed roof lights will protrude no more than 0.15m beyond the plane of the slope of the original roof when measured from the perpendicular

Any windows on flank walls to be obscure glazed & fixed shut below 1.7m when measured from floor level

Furniture, sanitary ware & kitchen layouts shown are indicative. To be confirmed on site

All drainage to be confirmed on site

All materials, windows, doors etc used to be fitted as per manufacturers specifications

**Key To Drawings:**

	EXISTING BRICK WALL		PROPOSED CAVITY WALL
	EXISTING TIMBER WALL		PROPOSED STUD WALL
	DEMOLITION		BOUNDARY LINE
	AXIS LINE		PROPOSED FOUNDATIONS
	PROPOSED STEEL BEAMS		PROPOSED TIMBER JOISTS

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Date	Description	Rev
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05.07.21	Dormer size reduced	A
22.01.21	Preliminary Drawings	Prelims

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London,  
W13 9JA  
[www.smalofts.co.uk](http://www.smalofts.co.uk)

**Project** 35 Princes Road, Richmond  
Loft conversion with rear dormer & Side Return Extn

**Client**  
Mr & Mrs Baghaei

**Title**  
Existing & Proposed Elevations

**Scale**  
1/100 @ A3

**Drawn by** SK  
**Checked by** ASE

**Job No.**

**Drawing**  
**02**

**General Notes:**

It's the home owners responsibility to obtain all permissions under the Party Wall etc. Act 1996

The contractor is responsible for the verification of all dimensions on site, inform contract administrator of any discrepancies.

Use figure dimension only.

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All materials, windows, doors etc used to be fitted as per manufacturers specifications

**Key To Drawings:**

	EXISTING BRICK WALL		PROPOSED CAVITY WALL
	EXISTING TIMBER WALL		PROPOSED STUD WALL
	DEMOLITION		BOUNDARY LINE
	AXIS LINE		PROPOSED FOUNDATIONS
	EXISTING FOUNDATIONS		PROPOSED STEEL BEAMS
	PROPOSED TIMBER JOISTS		

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**Project** 35 Princes Road, Richmond  
Loft conversion with rear dormer & Side Return Extn

**Client**  
Mr & Mrs Baghaei

**Title**  
Existing Floor Plans

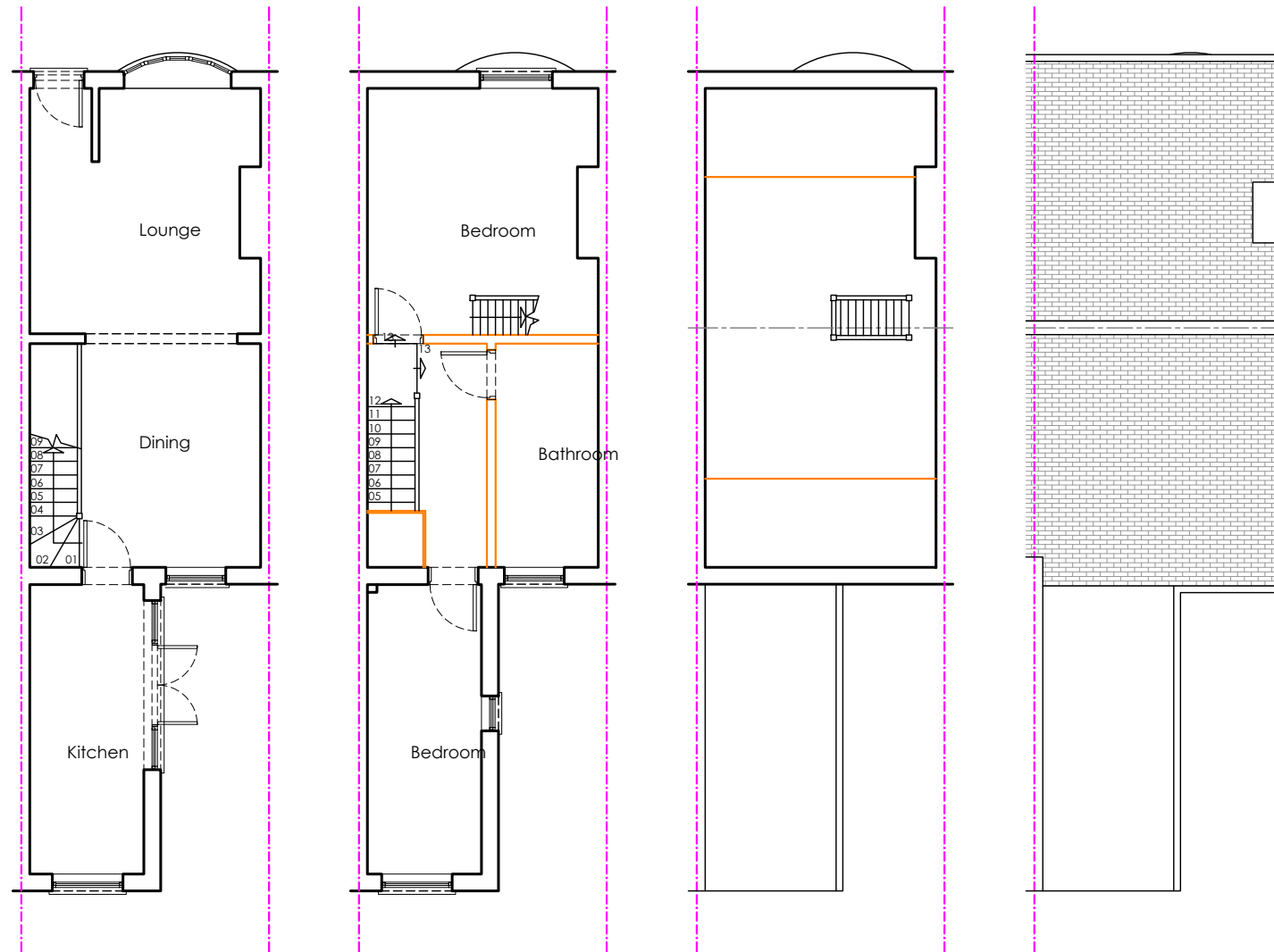
**Scale**  
1/100 @ A3

**Drawn by**  
SK

**Checked by**  
ASE

**Job No.**

**Drawing**  
  
**03**

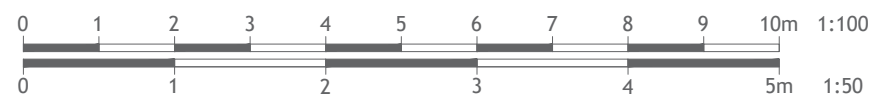


**Existing Ground Floor Plan**  
Scale 1/100@A3

**Existing First Floor Plan**  
Scale 1/100@A3

**Existing Second Floor Plan**  
Scale 1/100@A3

**Existing Roof Plan**  
Scale 1/100@A3



**General Notes:**

It's the home owners responsibility to obtain all permissions under the Party Wall etc. Act 1996

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Furniture, sanitary ware & kitchen layouts shown are indicative. To be confirmed on site

All drainage to be confirmed on site

All materials, windows, doors etc used to be fitted as per manufacturers specifications



**Proposed Ground Floor Plan**  
Scale 1/100@A3

**Proposed First Floor Plan**  
Scale 1/100@A3

**Proposed Second Floor Plan**  
Scale 1/100@A3

**Proposed Roof Plan**  
Scale 1/100@A3

Proposed dormer width, dimensions to match the approved application for 19 Princes Road 17/3374/HOT

**Key To Drawings:**

- EXISTING BRICK WALL
- EXISTING TIMBER WALL
- DEMOLITION
- AXIS LINE
- EXISTING FOUNDATIONS
- PROPOSED STEEL BEAMS
- PROPOSED CAVITY WALL
- PROPOSED STUD WALL
- BOUNDARY LINE
- PROPOSED FOUNDATIONS
- PROPOSED TIMBER JOISTS

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05.07.21	Dormer size reduced	A
22.01.21	Preliminary Drawings	Prelims
Date	Description	Rev

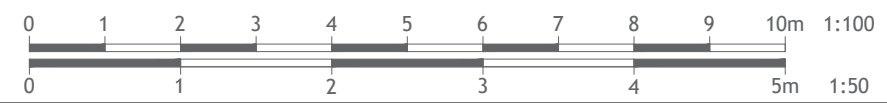
84 Westfield Road  
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W13 9JA  
[www.smalofts.co.uk](http://www.smalofts.co.uk)

**Project** 35 Princes Road, Richmond  
Loft conversion with rear dormer & Side Return Extn

**Client** Mr & Mrs Baghaei

**Title** Proposed Floor Plans

<b>Scale</b> 1/100 @ A3	<b>Drawing</b>  <b>04</b>
<b>Drawn by</b> SK	
<b>Checked by</b> ASE	
<b>Job No.</b>	



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**General Notes:**

It's the home owners responsibility to obtain all permissions under the Party Wall etc. Act 1996

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The materials used in any exterior work will be of a similar appearance to those used in the construction of the exterior of the existing dwelling house

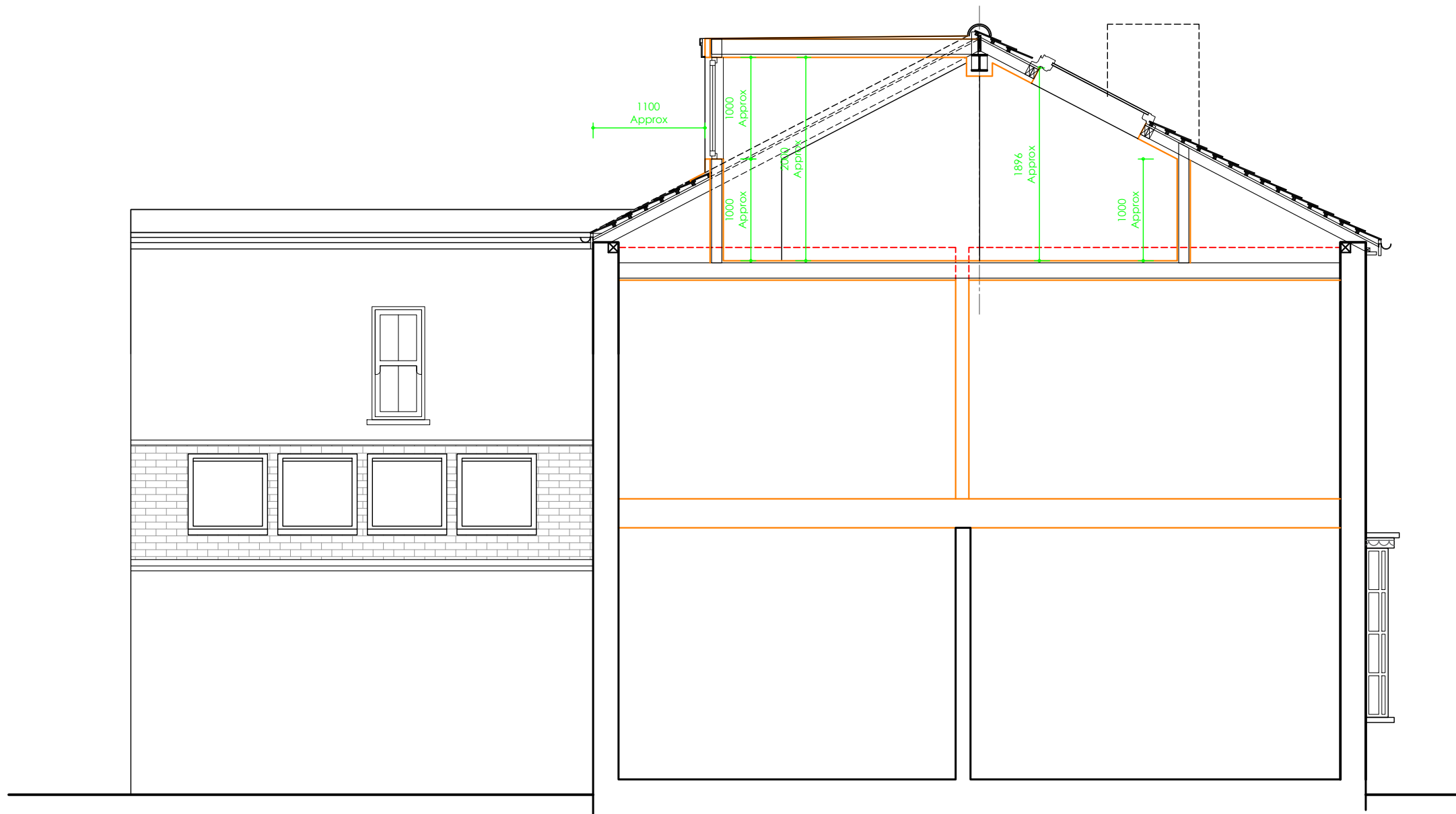
Proposed roof lights will protrude no more than 0.15m beyond the plane of the slope of the original roof when measured from the perpendicular

Any windows on flank walls to be obscure glazed & fixed shut below 1.7m when measured from floor level

Furniture, sanitary ware & kitchen layouts shown are indicative. To be confirmed on site

All drainage to be confirmed on site

All materials, windows, doors etc used to be fitted as per manufacturers specifications



**Proposed Section**  
Scale 1/50@A3

**Key To Drawings:**

- EXISTING BRICK WALL
- EXISTING TIMBER WALL
- DEMOLITION
- AXIS LINE
- EXISTING FOUNDATIONS
- PROPOSED STEEL BEAMS
- PROPOSED CAVITY WALL
- PROPOSED STUD WALL
- BOUNDARY LINE
- PROPOSED FOUNDATIONS
- PROPOSED TIMBER JOISTS

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22.01.21	Preliminary Drawings	Prelims

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**Project** 35 Princes Road, Richmond  
Loft conversion with rear dormer & Side Return Extn

**Client**  
Mr & Mrs Baghaei

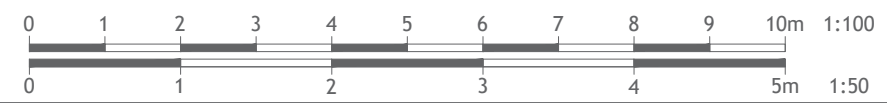
**Title**  
Proposed Section

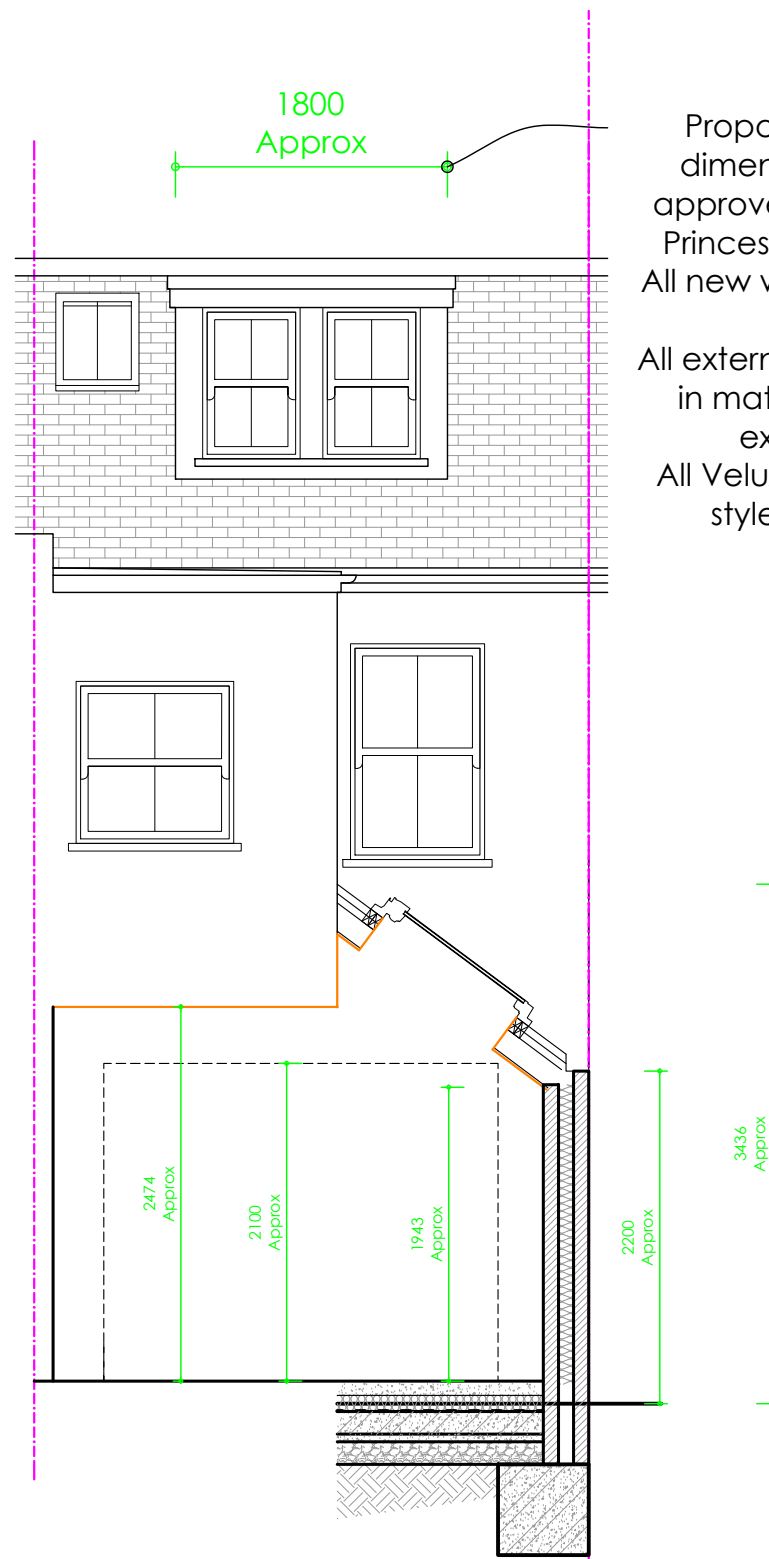
**Scale**  
1/50 @ A3

**Drawn by** SK      **Checked by** ASE

**Job No.**

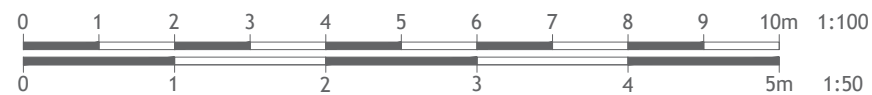
**Drawing**  
  
**05a**





Proposed dormer width, dimensions to match the approved application for 19 Princes Road 17/3374/HOT. All new windows and doors to be timber. All external walls to be finished in materials to match the existing property. All Velux to be conservation style & flush with roof

**Proposed Section**  
Scale 1/50@A3



**General Notes:**

- It's the home owners responsibility to obtain all permissions under the Party Wall etc. Act 1996
- The contractor is responsible for the verification of all dimensions on site, inform contract administrator of any discrepancies.
- Use figure dimension only.
- Existing foundations, lintels and walls to be exposed if required by Building Control for assessment upgrade if found inadequate.
- The materials used in any exterior work will be of a similar appearance to those used in the construction of the exterior of the existing dwelling house
- Proposed roof lights will protrude no more than 0.15m beyond the plane of the slope of the original roof when measured from the perpendicular
- Any windows on flank walls to be obscure glazed & fixed shut below 1.7m when measured from floor level
- Furniture, sanitary ware & kitchen layouts shown are indicative. To be confirmed on site
- All drainage to be confirmed on site
- All materials, windows, doors etc used to be fitted as per manufacturers specifications

**Key To Drawings:**

	EXISTING BRICK WALL		PROPOSED CAVITY WALL
	EXISTING TIMBER WALL		PROPOSED STUD WALL
	DEMOLITION		BOUNDARY LINE
	AXIS LINE		PROPOSED FOUNDATIONS
	EXISTING FOUNDATIONS		PROPOSED STEEL BEAMS
			PROPOSED TIMBER JOISTS

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22.01.21	Preliminary Drawings	Prelims



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**Project** 35 Princes Road, Richmond  
Loft conversion with rear dormer & Side Return Extn

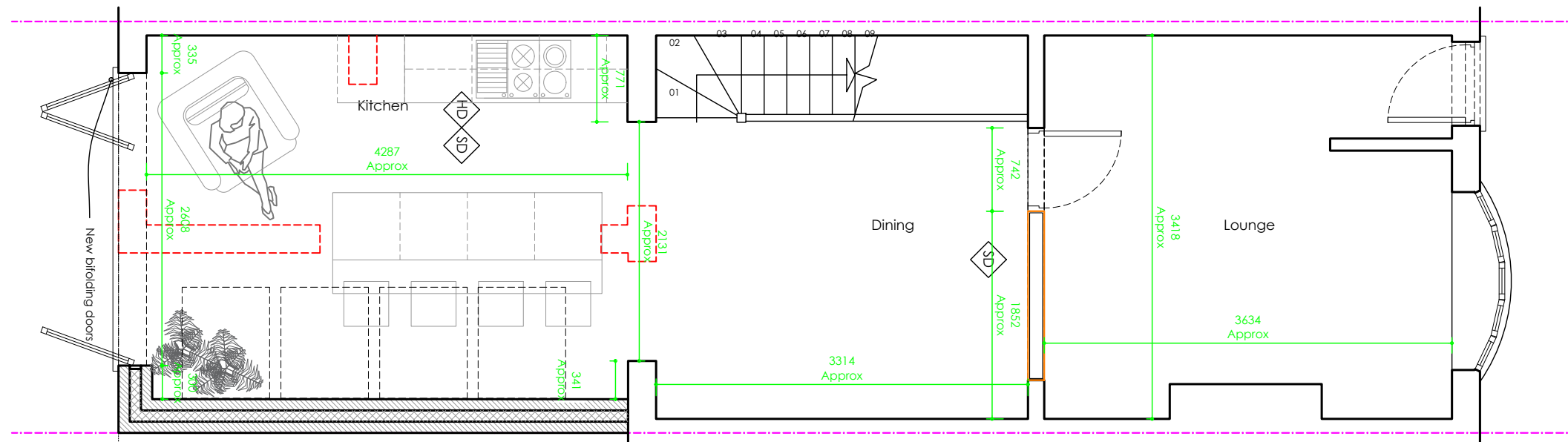
**Client**  
Mr & Mrs Baghaei

**Title**  
Proposed Section

<b>Scale</b> 1/50 @ A3	<b>Checked by</b> ASE	<b>05b</b>
<b>Drawn by</b> SK	<b>Job No.</b>	



**Proposed Ground Floor Plan**  
Scale 1/50@A3



**General Notes:**

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Furniture, sanitary ware & kitchen layouts shown are indicative. To be confirmed on site

All drainage to be confirmed on site

All materials, windows, doors etc used to be fitted as per manufacturers specifications

**Key To Drawings:**

- EXISTING BRICK WALL
- EXISTING TIMBER WALL
- DEMOLITION
- AXIS LINE
- EXISTING FOUNDATIONS
- PROPOSED STEEL BEAMS
- PROPOSED CAVITY WALL
- PROPOSED STUD WALL
- BOUNDARY LINE
- PROPOSED FOUNDATIONS
- PROPOSED TIMBER JOISTS

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Date	Description	Rev
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22.01.21	Preliminary Drawings	Prelims



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[www.smalofts.co.uk](http://www.smalofts.co.uk)

**Project** 35 Princes Road, Richmond  
Loft conversion with rear dormer & Side Return Extn

**Client** Mr & Mrs Baghaei

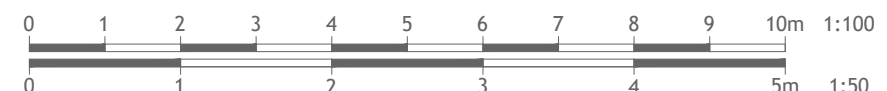
**Title** Proposed Ground Floor Plan

**Scale** 1/50 @ A3

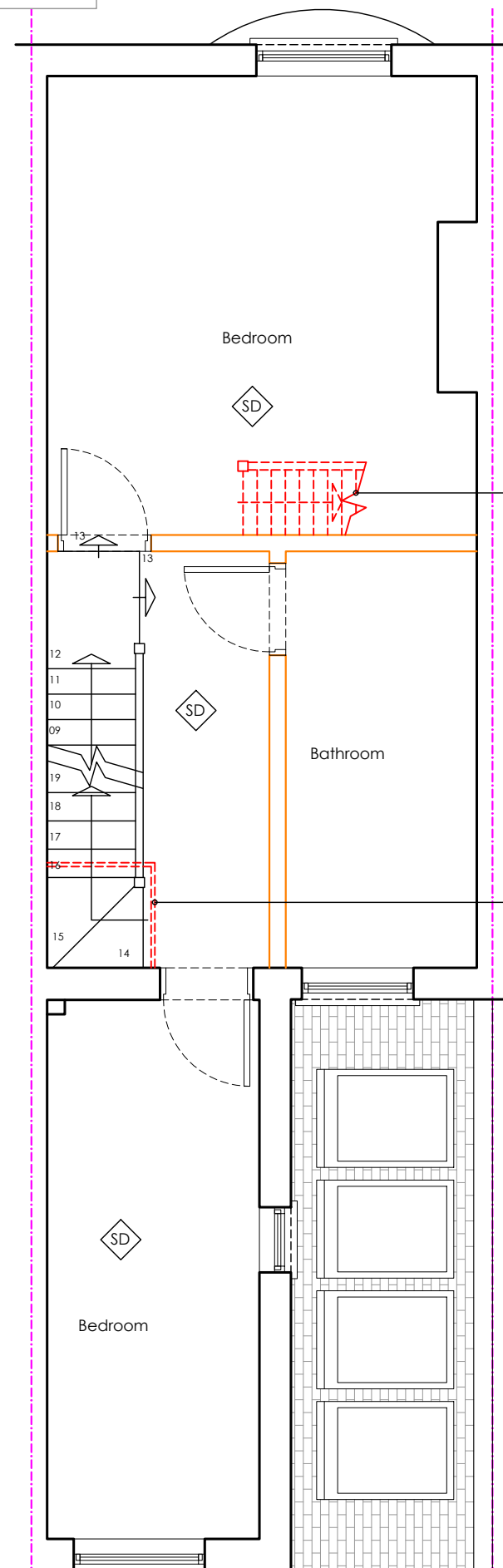
**Drawn by** SK **Checked by** ASE

**Job No.**

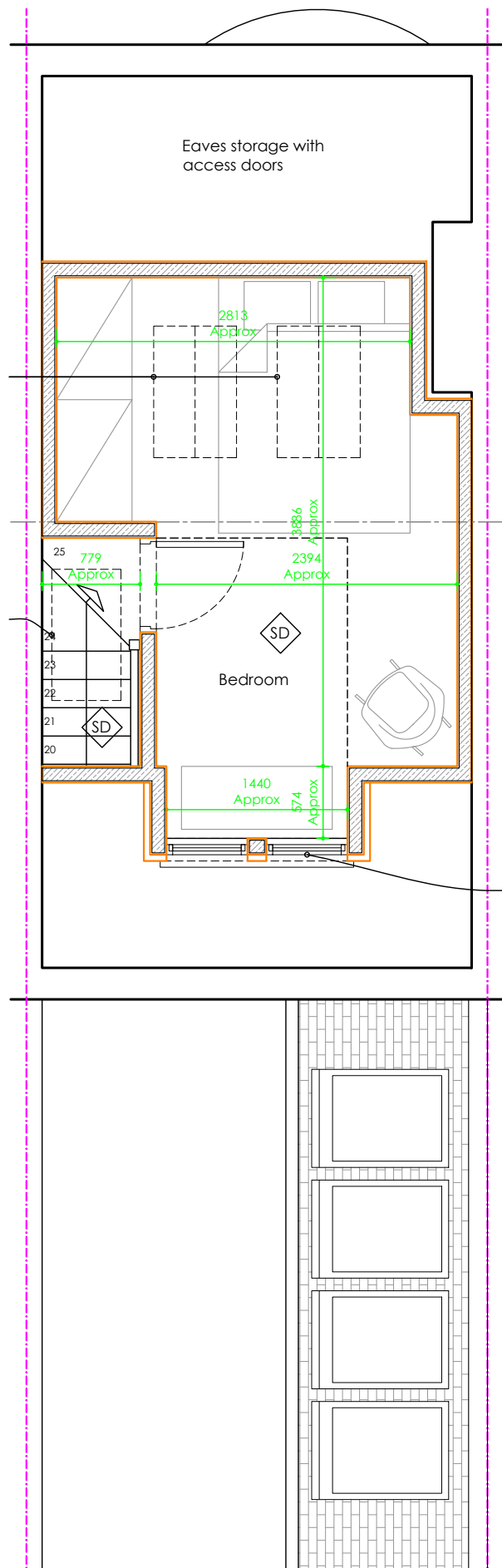
**Drawing**  
**06**



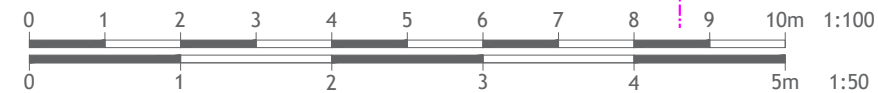
**PRELIMINARY DESIGN. NOT FOR CONSTRUCTION**



**Proposed First Floor Plan**  
Scale 1/50@A3



**Proposed Second Floor Plan**  
Scale 1/50@A3



**General Notes:**

It's the home owners responsibility to obtain all permissions under the Party Wall etc. Act 1996

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Use figure dimension only.

Existing foundations, lintels and walls to be exposed if required by Building Control for assessment upgrade if found inadequate.

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Proposed roof lights will protrude no more than 0.15m beyond the plane of the slope of the original roof when measured from the perpendicular

Any windows on flank walls to be obscure glazed & fixed shut below 1.7m when measured from floor level

Furniture, sanitary ware & kitchen layouts shown are indicative. To be confirmed on site

All drainage to be confirmed on site

All materials, windows, doors etc used to be fitted as per manufacturers specifications

**Key To Drawings:**

- EXISTING BRICK WALL
- EXISTING TIMBER WALL
- DEMOLITION
- AXIS LINE
- EXISTING FOUNDATIONS
- PROPOSED STEEL BEAMS
- PROPOSED CAVITY WALL
- PROPOSED STUD WALL
- BOUNDARY LINE
- PROPOSED FOUNDATIONS
- PROPOSED TIMBER JOISTS

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22.01.21	Preliminary Drawings	Prelims



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**Project** 35 Princes Road, Richmond  
Loft conversion with rear dormer & Side Return Extn

**Client** Mr & Mrs Baghaei

**Title** Proposed First & Second Floor Plan

**Scale** 1/50 @ A3

**Drawn by** SK **Checked by** ASE

**Job No.**

**Drawing**  
**07**