

PRELIMINARY PLANNING DRAWINGS

Key:

- PROPOSED WALLS
- EXISTING WALLS
- STORAGE
- OUTSTANDING MATTERS

KEY (PLAN)

- SD Mains operated smoke detector
- HD Mains operated heat detector
- FD30 Fire Door 30 minutes resistance
- Fire route

VOLUMETRIC APPRAISAL

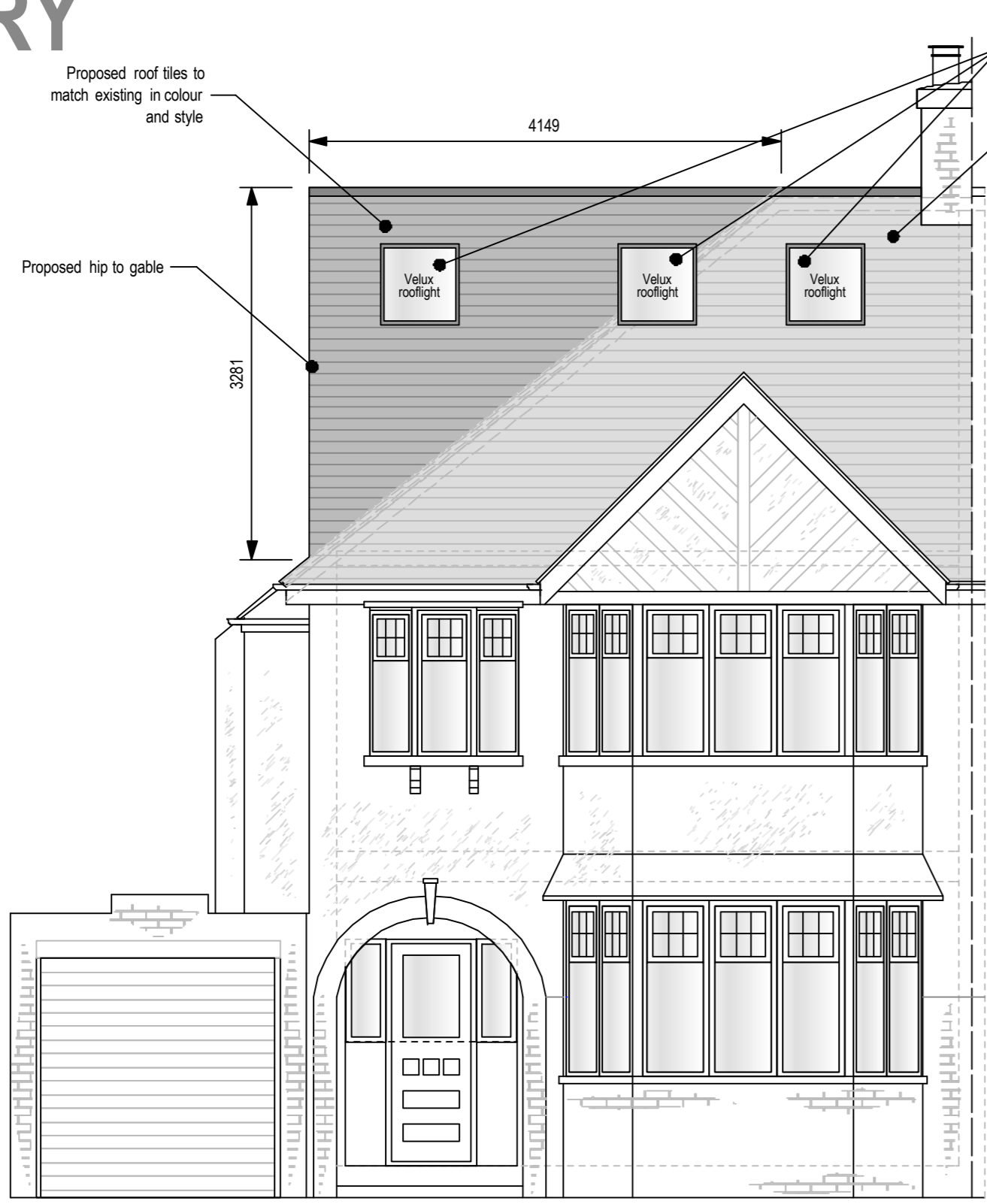
PROPOSED DORMER LOFT
 Height @ 2.850mt x depth @ 3.730mt x width @ 5.725mt / 2 = 30.429m³

PROPOSED HIP TO GABLE (A)
 Height @ 3.258mt x width @ 4.149mt x length @ 4.144mt / 3 = 18.803m³

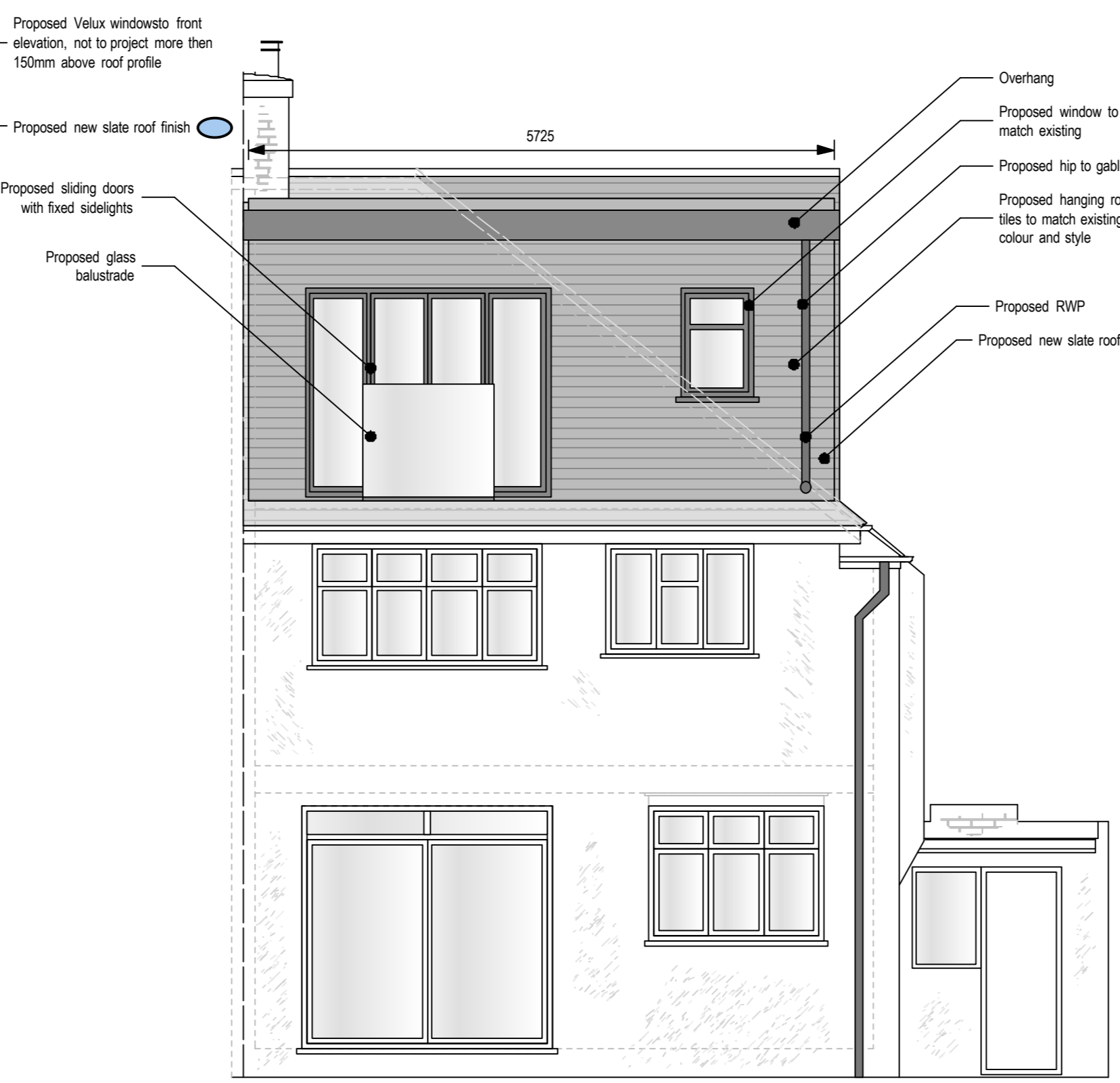
Total volume proposed for loft = 49.232m³
 Total Permitted Allowance For loft = 50m³ Therefore OK

Note: all dimensions are to external face of construction.

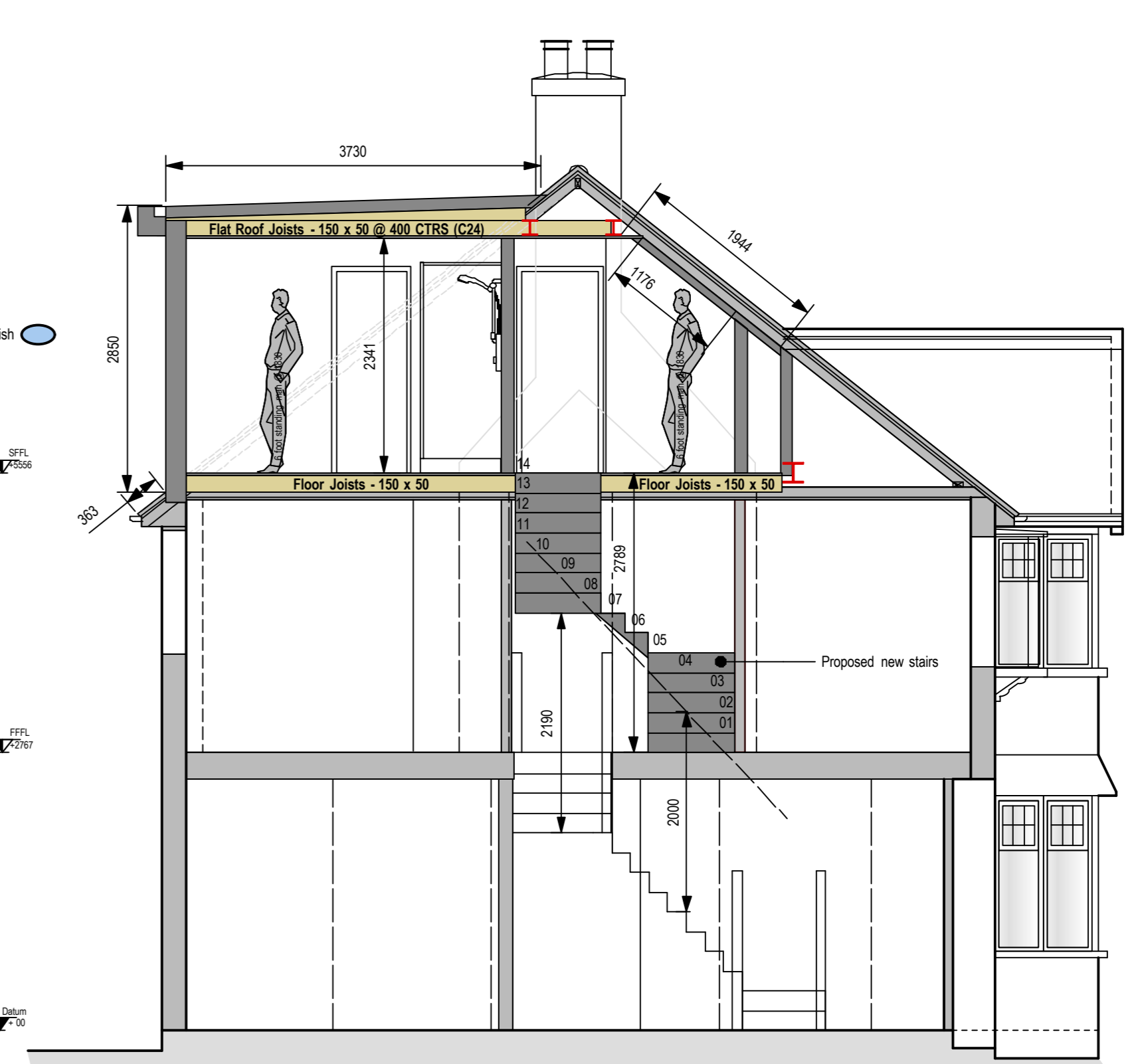
Conclusion
 Proposed volume of 49.232m³ hence proposed development within permitted development allowance.



PROPOSED FRONT ELEVATION



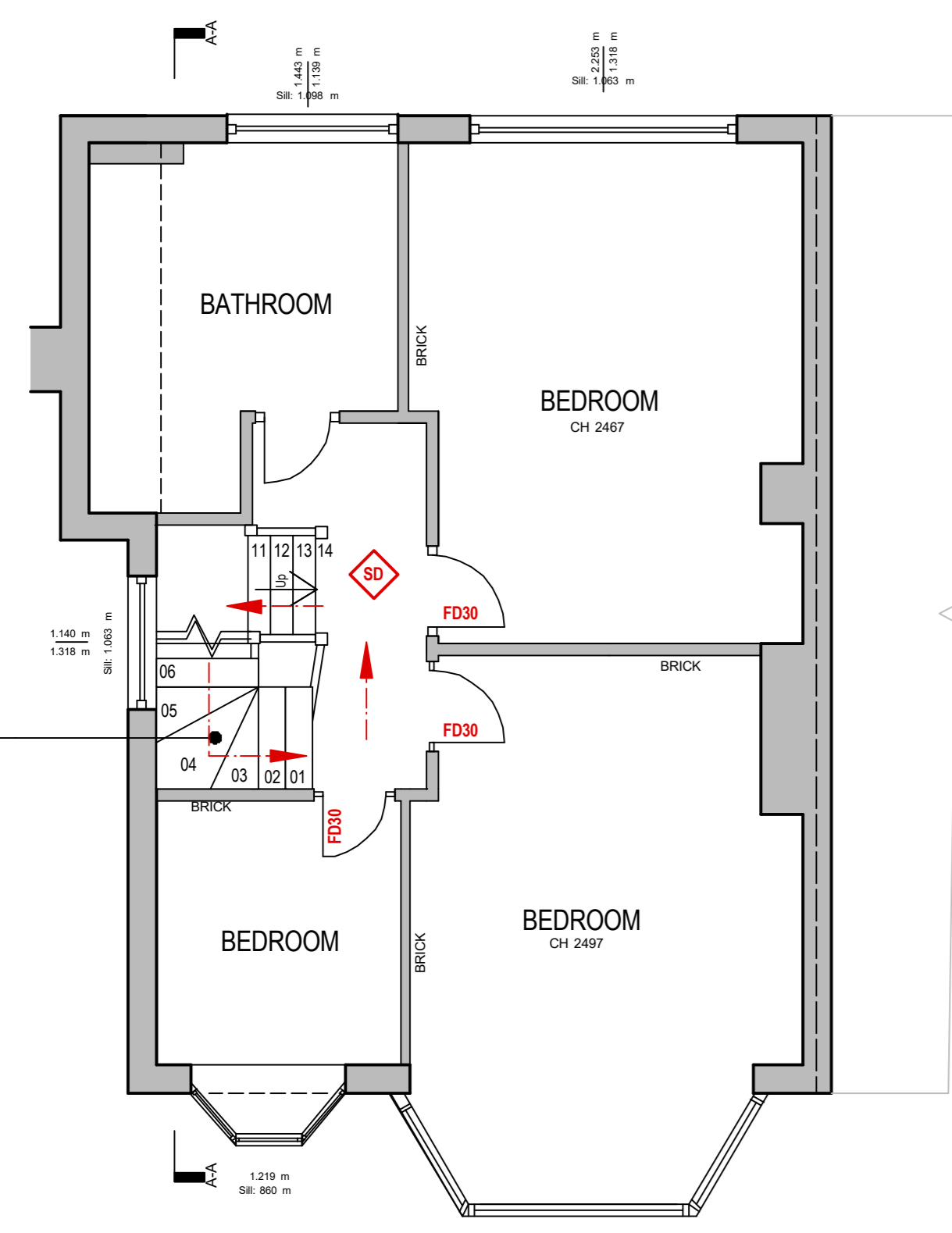
PROPOSED REAR ELEVATION



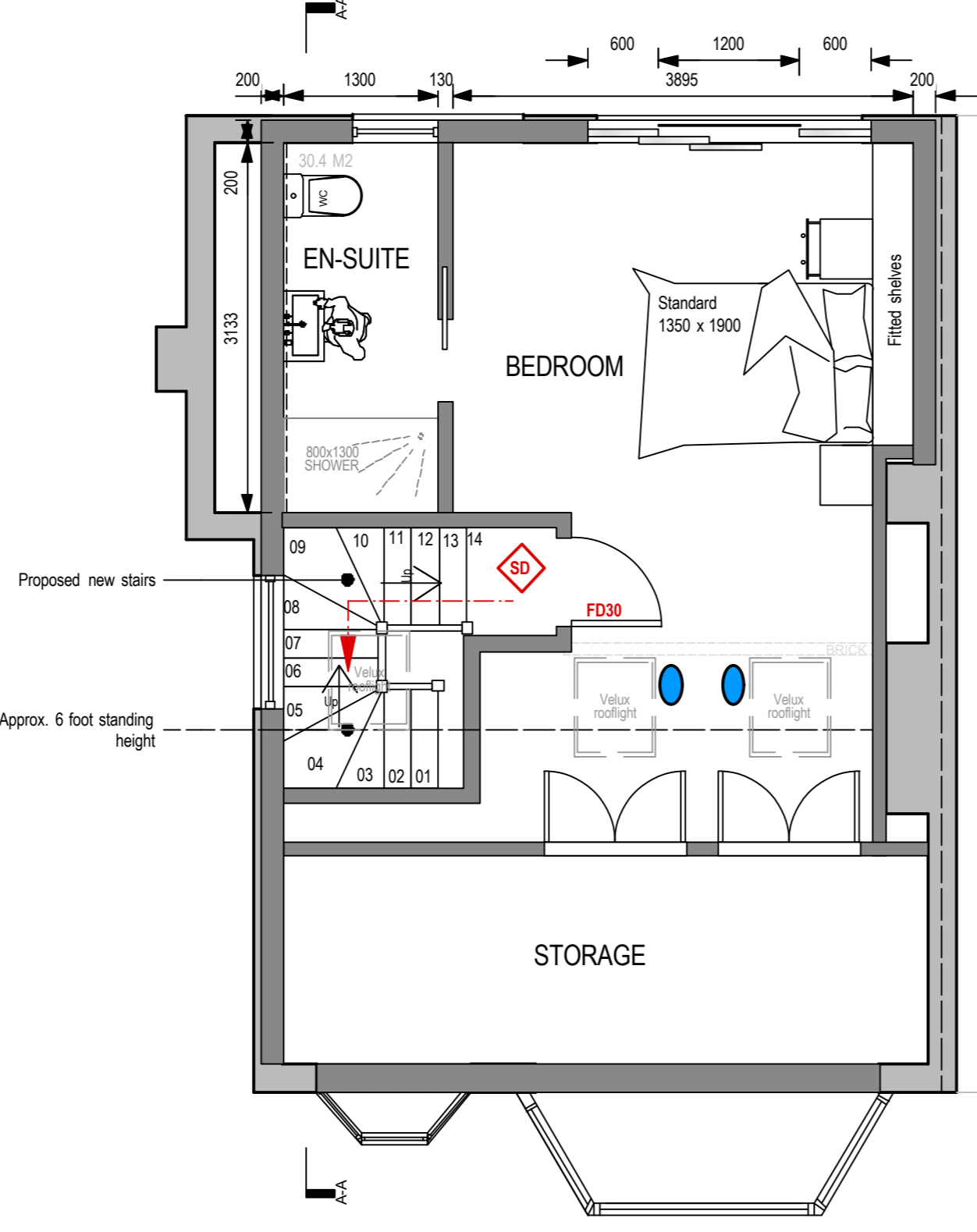
SECTION A-A



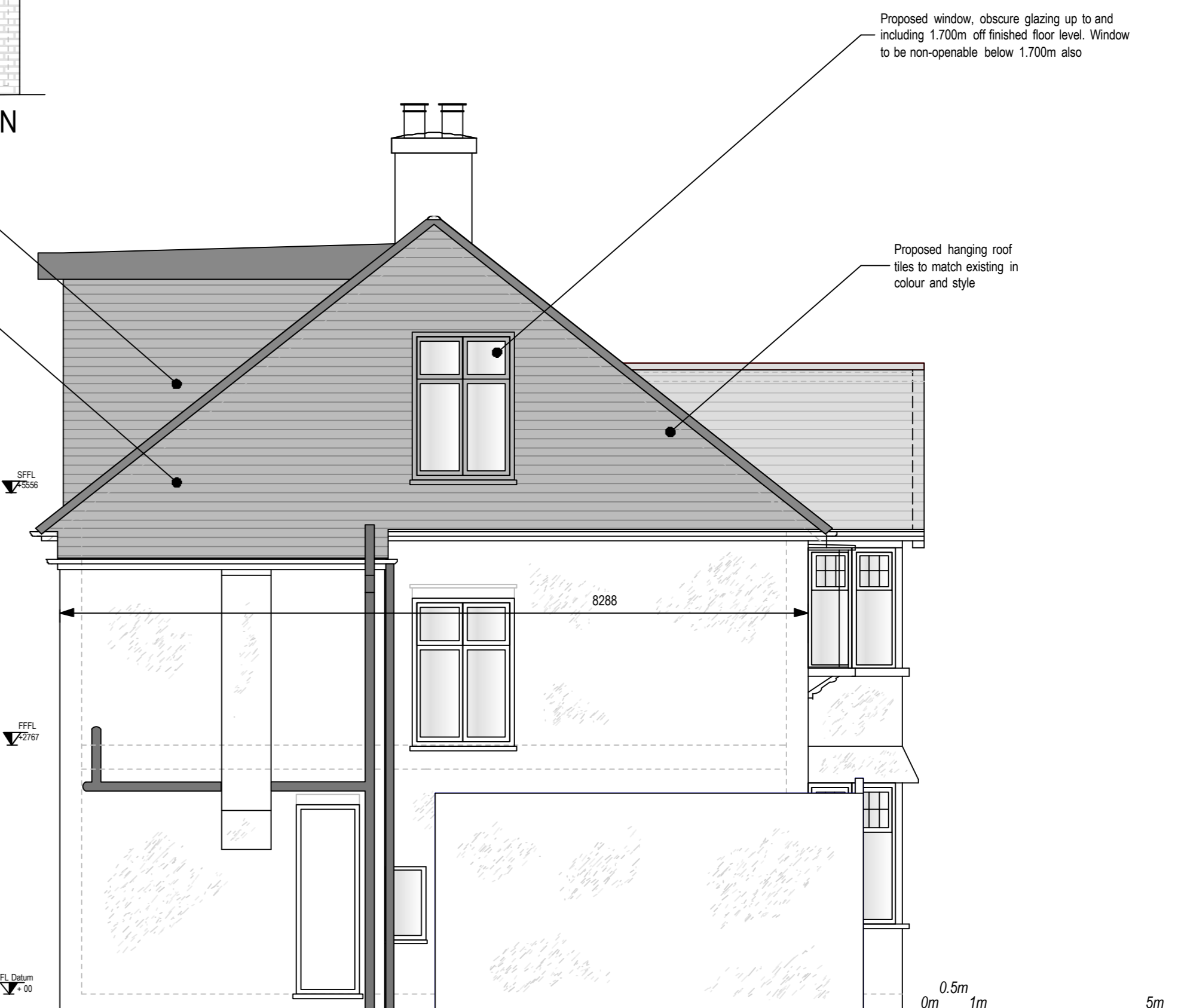
PROPOSED SIDE ELEVATION



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

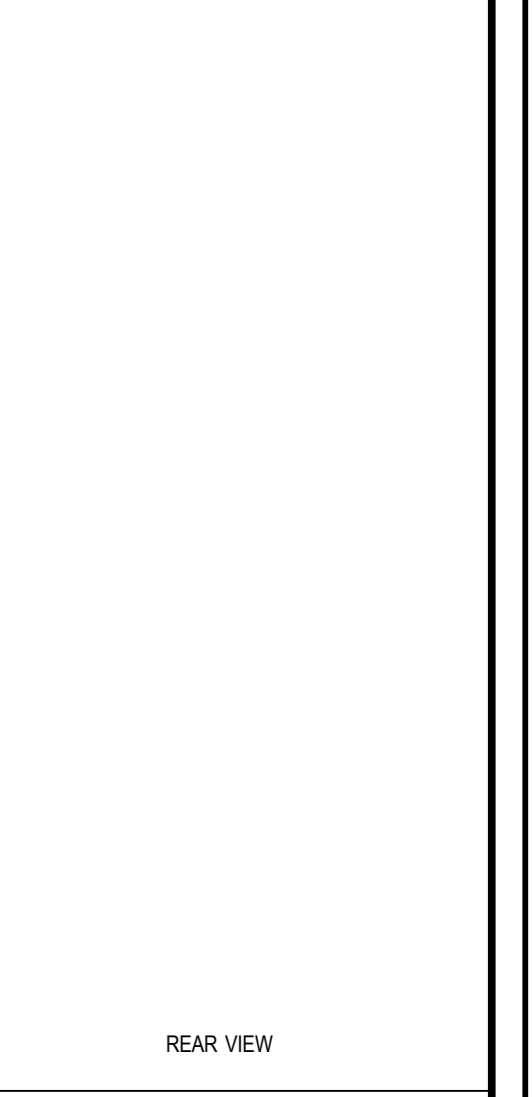


PROPOSED SIDE ELEVATION

NOTE:

- The general contractor is responsible for the verification of all dimensions on site and shall inform the contract surveyor of any discrepancies.
- Do not scale from this drawing. Use figure dimension only.
- Existing foundations, inlets and walls to be exposed if required by building control for assessment and upgrading if found inadequate.
- Drawings copyright of Great West Design Ltd. Drawings to be used for stated purpose only.
- Note all drawings to be read in conjunction with engineers drawings.
- If there are any queries contractor to contact surveyor immediately.
- All stair dimensions are to be confirmed by installer prior to installation and any discrepancies to be brought to the attention of the surveyor.
- This drawing is for negotiations with the Local Authority Planning & Building Control departments.
- In the event that it is used for construction then the builder is responsible for checking on site all dimensions and relevant information prior to the commencement of works to ensure the accuracy of any information contained in the drawing. Any discrepancy must be notified before work commences.
- The drawing may only be used for the address shown and may not be copied without permission. These drawings are Copyright controlled.
- The final position of all walls and projections in relation to boundary must be agreed between building owners prior to any works carried out on site.
- All boundaries shown on the drawings are for illustration purposes only.

Site Photographs



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Revision: C	Date: 13/12/2021	
Revision: B	Date: 10/12/2021	
Revision: A	Date: 23/11/2021	
Client: Michael Conroy		
Site Address: 59 Strathearn Ave Whitton TW2 6JT		
Job Title: Proposed Rear Dormer Hip To Gable Loft Conversion With Internal alterations		
Drawing Title: Proposed Plans, Elevations & Section PLANNING DRAWINGS		
Scale: 1:50 & 1:100 @ A1	Project Ref: GWD/2021	
Date: 13/12/21	Drawn by:	
Drawing No 02 Rev C		