

Application reference: 21/3128/HOT
ST MARGARETS, NORTH TWICKENHAM WARD

Date application received	Date made valid	Target report date	8 Week date
06.09.2021	06.09.2021	01.11.2021	01.11.2021

Site:

25 St Georges Road, Twickenham, TW1 1QS,

Proposal:

Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and raising ridge by 75cm, installation of rooflights, replacement windows, demolition and part replacement of existing garage and demolition of front boundary wall/fence and replacement with new boundary wall.

Status: Pending Consideration (If status = HOLD please check that all is OK before you proceed any further with this application)

APPLICANT NAME

Mr and Mrs Gilbert
25, St Georges Road
Twickenham
TW1 1QS

AGENT NAME

Mrs FIONA JONES
3
ELIZABETH GARDENS
ASCOT
SL5 9BJ
United Kingdom

DC Site Notice: printed on 10.09.2021 and posted on 17.09.2021 and due to expire on 08.10.2021

Consultations:**Internal/External:****Consultee**

14D Urban D
Environment Agency
LBRuT Trees Preservation Officer (North)
LBRuT Lead Local Flood Authority

Expiry Date

24.09.2021
10.11.2021
03.11.2021
03.11.2021

Neighbours:

20 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
21 St Georges Road, Twickenham, TW1 1QS, - 10.09.2021
Ground Floor, 30 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
Flat 4, 30 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
Flat 3, 30 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
Flat, 32 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
32 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
30 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
28 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
Ground Floor Flat, 7 St Peters Road, Twickenham, TW1 1QY, - 10.09.2021
Upper Flat, 7 St Peters Road, Twickenham, TW1 1QY, - 10.09.2021
Bottom Flat, 7 St Peters Road, Twickenham, TW1 1QY, - 10.09.2021
9 St Peters Road, Twickenham, TW1 1QY, - 10.09.2021

27 St Georges Road, Twickenham, TW1 1QS, - 10.09.2021
 23 St Georges Road, Twickenham, TW1 1QS, - 10.09.2021
 34 St Georges Road, Twickenham, TW1 1QR, - 10.09.2021
 19 St Georges Road, Twickenham, TW1 1QS, - 10.09.2021
 6A St Peters Road, Twickenham, TW1 1QX, - 10.09.2021
 ,, TW1 1QS -

History: Development Management, Appeals, Building Control, Enforcements:

<u>Development Management</u>	
Status: GTD	Application:00978/25/P3
Date:09/05/1980	Erection of single storey rear extension to dwellinghouse.
<u>Development Management</u>	
Status: GTD	Application:00978/25/P4
Date:29/07/1980	Demolition of larder/store and erection of single storey flank extension to dwellinghouse.
<u>Development Management</u>	
Status: GTD	Application:00978/25/P4(B)
Date:27/04/1981	Demolition of larder/store and erection of single storey flank extensions to dwellinghouse. Condition No. 3 of planning permission ref. 978/25/P4 dated 29 July 1980.
<u>Development Management</u>	
Status: GTD	Application:00978/25/P4(A)
Date:11/02/1981	Demolition of larder/store and erection of single storey flank extensions to dwellinghouse. Condition No. 4 of planning permission Ref:978/25/P4 dated 29 July 1986.
<u>Development Management</u>	
Status: GTD	Application:00978/25/P5
Date:14/04/1987	Construction of first floor rear extension to dwellinghouse.
<u>Development Management</u>	
Status: GTD	Application:18/0550/HOT
Date:30/04/2018	Excavation of a new basement with a rear lightwell and walk-on skylight.
<u>Development Management</u>	
Status: GTD	Application:18/0551/HOT
Date:20/04/2018	Ground floor side and rear extensions. First floor side/rear extension. Two rooflights to the rear. Excavation to lower internal ground level serving media room.
<u>Development Management</u>	
Status: GTD	Application:18/0552/HOT
Date:27/04/2018	Addition of decorative cornice under the existing eaves, addition of a porch to the front entrance (front facade). Alterations to front boundary wall comprising addition of new brick pillars, railings and new pedestrian and vehicular gates.
<u>Development Management</u>	
Status: WDN	Application:18/2352/HOT
Date:15/10/2018	Introduction of three new rooflights in relation with internal reconfiguration. Lowering of the parapet wall located above the front door. Addition of decorative cornice under the existing eaves, addition of light well and roof light to rear first floor bathroom. Replacement of the existing flat roof over garage with new structure and re-introduction of window the rear garden on first floor staircase landing. Alterations to front boundary wall comprising addition of new brick pillars, railings and new pedestrian and vehicular gates. Ground floor side and rear extensions. First floor side/rear extension. Two rooflights to the rear. Excavation to lower internal ground level serving media room. Excavation of a new basement with a rear lightwell and walk-on skylight.
<u>Development Management</u>	

Status: RNO Date:01/11/2018	Application:18/T0633/TCA T1 - Mimosa - Reduce any overhang to rear of No.23 St Georges Road through cutting back to the boundary approx. 2m spread and reduce remaining crown by 25% (approx. 2m in height and spread).
<u>Development Management</u> Status: GTD Date:05/04/2019	Application:18/3955/HOT Creation of a new basement with a front lightwell. Demolition of existing garage. Erection of ground floor side/front/rear extensions. First floor side/rear extension. Two rooflights to the rear. Addition of decorative cornice under the existing eaves and lower height of two storey front bay. Replacement windows on all elevations. Alterations to front boundary wall comprising addition of new brick pillars, railings and new pedestrian and vehicular gates.
<u>Development Management</u> Status: WDN Date:31/01/2019	Application:18/3965/HOT Extension of first floor, extension and insulation of exiting roof, new rooflights and relevant alterations. New bay window to the rear and demolition of existing first floor extensions.
<u>Development Management</u> Status: GTD Date:29/11/2019	Application:19/1228/HOT Single-storey and first floor rear extensions and new bay window (following demolition of existing two-storey rear extension), extension of roof and installation of rooflights, replacement windows, and alterations to existing garage.
<u>Development Management</u> Status: REF Date:24/08/2021	Application:21/2205/HOT Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and the raising ridge height of roof, installation of rooflights, replacement windows, and demolition and part replacement of existing garage
<u>Development Management</u> Status: RNO Date:23/08/2021	Application:21/T0571/TCA T1- Dead Silver Birch Fell to ground level and remove all arisings T2 - Apple Crown Reduction - Reducing the height and spread of the tree by up to 2m. Final height 3m and spread 4m T3- Apple Crown Reduction - Reducing the height and spread of the tree by up to 2m. Final height 3m and spread 4m T4- Common Pear Crown Reduction - Reducing the height and spread of the tree by up to 2m. Final height 3m and spread 4m General Maintenance
<u>Development Management</u> Status: PCO Date:	Application:21/3128/HOT Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and raising ridge by 75cm, installation of rooflights, replacement windows, demolition and part replacement of existing garage and demolition of front boundary wall/fence and replacement with new boundary wall.
<u>Development Management</u> Status: GTD Date:05/11/2021	Application:21/3129/HOT Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and raising ridge by 20cm, installation of rooflights, replacement windows, demolition and part replacement of existing garage and demolition of front boundary wall/fence and replacement with new boundary wall.

Appeal

Validation Date: 15.10.2021 Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and the raising ridge height of roof, installation of rooflights, replacement windows, and demolition and part replacement of existing garage

Reference: 21/0132/AP/REF **Appeal Allowed**

Building Control

Deposit Date: 07.06.2018 Excavation of a new basement with a rear lightwell and walk-on skylight, ground floor side and rear extension, first floor side and rear extension with two rooflights, excavation to lower internal ground level serving room, addition of porch and alterations to front boundary wall.

Reference: 18/0999/IN

Building Control

Deposit Date: 06.09.2021 Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and the raising ridge height of roof, installation of rooflights, replacement windows, and demolition and part replacement of existing garage

Reference: 21/1499/IN

Recommendation:

The determination of this application falls within the scope of Officer delegated powers - YES

I therefore recommend the following:

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

This application is CIL liable YES* NO
 (*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement YES* NO
 (*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file) YES NO

This application has representations on file YES NO

Case Officer (Initials): EMC

Dated: 14.12.21

I agree the recommendation: CTA

Team Leader/Head of Development Management/Principal Planner

Dated:16/12/2021.....

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Head of Development Management:

Dated:

REASONS:
CONDITIONS:
INFORMATIVES:
UDP POLICIES:
OTHER POLICIES:

The following table will populate as a quick check by running the template once items have been entered into Uniform

SUMMARY OF CONDITIONS AND INFORMATIVES

CONDITIONS

INFORMATIVES

Application Number	21/3128/HOT
Address	25 St Georges Road Twickenham TW1 1QS
Proposal	Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and raising ridge by 75cm, installation of rooflights, replacement windows, demolition and part replacement of existing garage and demolition of front boundary wall/fence and replacement with new boundary wall.
Contact Officer	Emer Costello
Target Determination Date	EOT 16.12.21

1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer has considered the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The application site is a two storey detached dwelling house which occupies a triangular plot on the north eastern side of St Georges Road. A pedestrian pathway runs along the eastern boundary at the rear. The site is subject to an Article 4 Direction Basements. The site's in the St Margarets Conservation Area CA19. It's in Floodzone 2 and Floodzone 3a which has a High Probability of flooding. The site's in St Margarets and East Twickenham Village. The site is in the St Margarets Estate Village Character Area 1 in St Margarets Village Planning Guidance. The site is in the St. Margarets and North Twickenham Ward.

3. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and raising ridge by 75cm, installation of rooflights, replacement windows, demolition and part replacement of existing garage and demolition of front boundary wall/fence and replacement with new boundary wall.

The relevant planning history associated with the site may be summarised below.

21/3129/HOT 25 St Georges Road Twickenham TW1 1QS Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and raising ridge by 20cm, installation of rooflights, replacement windows,

demolition and part replacement of existing garage and demolition of front boundary wall/fence and replacement with new boundary wall. Granted 05/11/2021

21/2205/HOT Demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window, extension of roof and the raising ridge height of roof, installation of rooflights, replacement windows, and demolition and part replacement of existing garage. Refused Permission 24/08/2021 Appeal Accepted 15/10/2021

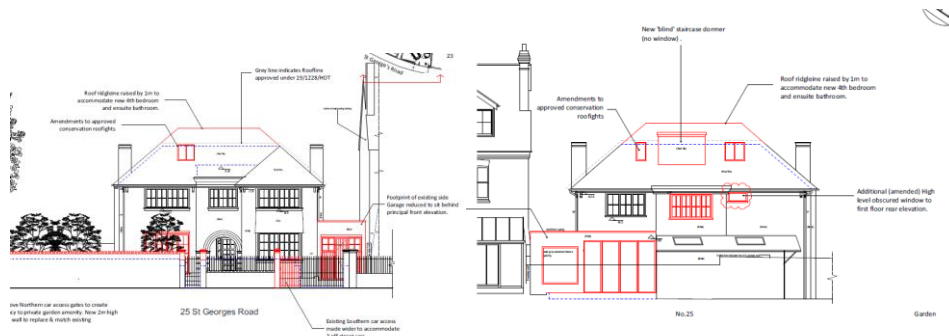


Figure 1. Proposed Front and Rear Elevation

Reason for refusal:

The proposed rear dormer and the increase in height of the roof ridge by reason of their inappropriate design, scale, bulk and mass would result in an unsympathetic form of overdevelopment that would fail to harmonise with the existing house No.25 St Georges Road or its adjoining neighbour No. 23 St Georges Road. It would fail to respect the character and appearance of the St Margarets Estate Conservation Area or the St Margarets Estate Village Character Area. The rear dormer and the increase of the roof ridge would be incongruous features when viewed by neighbouring properties to the detriment of their visual amenity, in particular No. 23 St Georges Road. The scheme is therefore contrary to, in particular, National Planning Policy Framework (2021) Paragraph 199, 202, LBRUT Local Plan (2018) Policies LP1, LP3, LP8 and the aims and objectives in the House Extensions and Alterations SPD, the St Margarets Village Planning Guidance SPD 2016 and the St Margarets Estate Conservation Area Statement No. 19.

Inspector's Report

Raising of the roof: The appeal property sits adjacent to Number 23 St Georges Road, which is a much taller Victorian property and which, to some considerable degree, looms above the appeal property due to its greater height. The proposed development would result in the appeal property's roof ridge being raised. Rather than result in a significant enlargement that would greatly alter the proportions of the dwelling, or a prominent feature, the raised roof would still sit far below the height of No 23 and has clearly been carefully designed to appear in proportion with the rest of the dwelling. I find that the increase in height would not stand out in any way but would appear as an integrated part of a much-improved building; and the appeal property would still be of modest height relative to surrounding dwellings.

Rear dormer: A small dormer is proposed to the rear roof slope. This would be largely hidden from general view, but could be glimpsed from a number of locations, including from the rear garden of No 23. The proposed dormer has been sensitively designed. It would be centrally located, set down from the ridge and set well-in from either side of the roof. The absence of windows would avoid scope for overlooking and would preserve residential amenity; and the proposed materials would match the roof. As such, the proposed dormer would, I find, appear as a modest and unassuming addition. Given this and its proposed location, it would not appear incongruous or dominant in any way, and would neither draw attention to itself nor detract from the overall appearance of the building.

Conclusion: I find that the proposed development would conserve the character and appearance of the St Margaret's Estate Conservation Area. It would not be contrary to the National Planning Policy Framework; to Local Plan2 Policies LP1, LP3 and LP8; to the Council's Supplementary Planning Document (SPD): House Extensions and Alterations (2015); to the St Margaret's Village Planning Guidance SPD (2016); or to the St Margaret's Estate Conservation Area Statement No. 19, which together amongst other things, seek to protect local character.

19/1228/HOT Single-storey and first floor rear extensions and new bay window (following demolition of existing two-storey rear extension), extension of roof and installation of rooflights, replacement windows, and alterations to existing garage. Granted Permission 28/11/2019

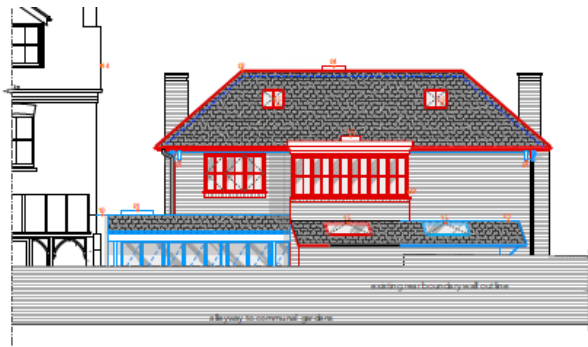


Figure 2. Approved Rear Extension 19/1228/HOT

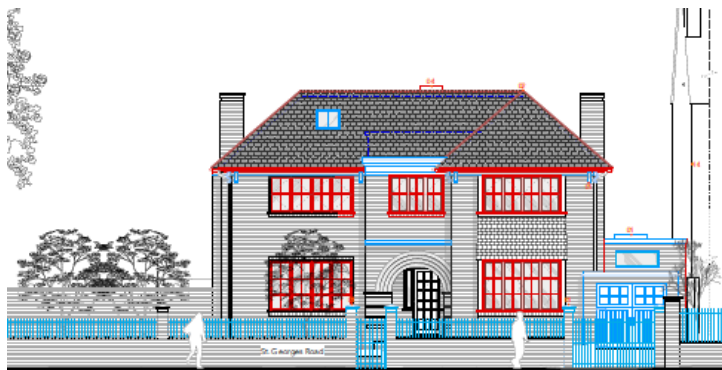


Figure 3. Approved Front elevation 19/1228/HOT

18/3955/HOT Creation of a new basement with a front lightwell. Demolition of existing garage. Erection of ground floor side/front/rear extensions. First floor side/rear extension. Two rooflights to the rear. Addition of decorative cornice under the existing eaves and lower height of two storey front bay. Replacement windows on all elevations. Alterations to front boundary wall comprising addition of new brick pillars, railings and new pedestrian and vehicular gates. Granted Permission 05/04/2019

4. CONSULTATIONS CARRIED OUT

1. 20 St Georges Road, Twickenham TW1 1QR
2. 21 St Georges Road, Twickenham TW1 1QS
3. Ground Floor, 30 St Georges Road Twickenham TW1 1QR
4. Flat 4, 30 St Georges Road Twickenham TW1 1QR
5. Flat 3, 30 St Georges Road Twickenham TW1 1QR
6. Flat, 32 St Georges Road Twickenham TW1 1QR
7. 32 St Georges Road, Twickenham TW1 1QR
8. 30 St Georges Road, Twickenham TW1 1QR
9. 28 St Georges Road, Twickenham TW1 1QR
10. Ground Floor Flat, 7 St Peters Road Twickenham TW1 1QY
11. Upper Flat, 7 St Peters Road Twickenham TW1 1QY

- 12. Bottom Flat, 7 St Peters Road Twickenham TW1 1QY
- 13. 9 St Peters Road, Twickenham TW1 1QY
- 14. 27 St Georges Road, Twickenham TW1 1QS
- 15. 23 St Georges Road, Twickenham TW1 1QS
- 16. 34 St Georges Road, Twickenham TW1 1QR
- 17. 19 St Georges Road, Twickenham TW1 1QS
- 18. 6A St Peters Road, Twickenham TW1 1QX

The list of neighbours notified of this application are listed above.

One objection has been received from No. 23 St. Georges Road.

- The increase in height of the roof would detrimentally impact on the privacy and be overbearing on No. 23 with particular respect to its rear bedroom window.
- The mass, bulk and visual proximity of the increase in roof height would be overbearing and
- Visually intrusive when viewed from the rear garden of No. 23.

Consultees	
LBRUT Conservation	There is extensive planning history on this site. There is no objection to this proposal.
Environment Agency	No Comment
LBRUT Trees	The property sits within the St Margarets (CA19) conservation area and so all trees are protected. The proposal must be subject to the methodologies being followed as per Duramen BS5837 AIA, and survey and TPP. Report date 15th June 2021, with tree protection plan figure 2 of said report dated 15/06/2021, job reference 18019 revision A. Given the loss of T5 due to its declining condition, a landscape condition is required to include details of a replacement tree.
LLFA	This application is a minor development proposing rainwater harvesting through rain butts and permeable paving. There are no flood risk objections given that the changes to the impermeable area on site are small, this application seems acceptable in principle.

5. AMENDMENTS

None.

6. MAIN POLICIES RELEVANT TO THE DECISION

NPPF (2021)

The key chapters applying to the site are:

- 4. Decision-making
- 12. Achieving well-designed places

These policies can be found at:

https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf

London Plan (2021)

The main policies applying to the site are:

- D4 Delivering good design
- D5 Inclusive Design
- D12 Fire Safety
- HC1 Heritage conservation and growth

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan>

Richmond Local Plan (2018)

The main planning considerations applying to the site and the associated Local Plan policies are:

Issue	Local Plan Policy	Compliance
Impact on Local Character and Design Quality	LP1	Yes
Impact on Designated Heritage Assets	LP3	Yes
Impact on Amenity and Living Conditions	LP8	Yes
Impact on Flood Risk and Sustainable Drainage	LP21	Yes
Impact on Parking Standards and Servicing	LP45	Yes

These policies can be found at

https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf

Supplementary Planning Documents

House Extension and External Alterations
St Margarets Village Planning Guidance SPD (2016)

These policies can be found

at: https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance

Other Local Strategies or Publications

Other strategies or publications material to the proposal are:
Community Infrastructure Levy
St Margarets Estate Conservation Area Statement No. 19

Determining applications in a Conservation Area

In considering whether to grant planning permission with respect to any buildings or other land in a conservation area, Section 72 of the Planning (Listed buildings and Conservation Areas) Act 1990 requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area. In this context, "preserving", means doing no harm.

To give effect to that duty, decisions of the court have confirmed that for development proposed to be carried out in a conservation area, a decision-maker should accord "considerable importance and weight" to the desirability of preserving or enhancing the character or appearance of the conservation area, when weighing this factor in the balance with other material considerations which have not been given this special statutory status. This creates a strong presumption against granting planning permission where harm to the character or appearance of a conservation area is identified. The presumption can be rebutted by material considerations powerful enough to do so.

In applications where the decision-maker is satisfied that there will be no harm to the character or appearance of a conservation area, the statutory presumption against granting planning permission described above falls away. In such cases the development should be permitted or refused in accordance with the policies of the development plan and other material considerations.

7. EXPLANATION OF OFFICER RECOMMENDATION

The key issues for consideration are:

- Design and impact on heritage assets
- Flood Risk
- Neighbour Amenity
- Transport
- Trees
- Fire Safety

Design and impact on heritage assets

Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.

LP 3 also states that “all proposals in Conservation Areas are required to preserve and, where possible, enhance the character or the appearance of the Conservation Area.”

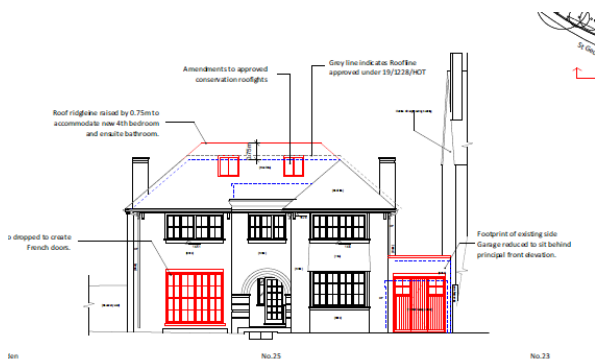


Figure 4. Proposed Front Elevation (this application)



Figure 5. Proposed Rear Elevation (this application)

No. 25 St Georges Street, Twickenham is situated within St Margaret's Conservation Area. A Heritage and Design Strategy has been supplied received 06 Sep 2021. It is not designated as a listed building or Building of Townscape Merit. St Margaret's Conservation Area is described in the Conservation Area Statement as follows: "Designated as part of a Victorian estate, much of which is built on the site of two enclosed private gardens. A variety of styles are represented with many detached two storey houses with intricate brick and stucco details"

The existing building dates from the mid-20th century, between 1938 and 1959 and is one of only a few examples of later 20th century infill development within the conservation area. It was constructed on a narrow triangular corner plot which was left undeveloped throughout the late 19th and early 20th century. To the side of the site is a gated entrance to the communal pleasure gardens and thus views of the rear elevation are visible from this route, albeit only from the residents using the gardens. Whilst the house is not a BTM like most of the surrounding houses, its traditional materials have acquired an attractive patina of age and details such as the projecting entrance bay with semi-circular brick opening create a degree of architectural interest.

The house is smaller in scale than some of the other villas on the road but likewise the plot is smaller than average for this area and overall, I find the house responds well to its context through its design and makes a positive contribution to the CA.

Single-storey and first floor rear extensions

The proposal is for the demolition of existing two-storey rear extension and construction of single-storey and first floor rear extensions and new bay window.

On the ground floor the existing rear wall of the house is stepped. The main part of the house is set back with a rear projection to the rear boundary line. It also contains an existing single storey side/rear extension/garage. The two storey rear extension would infill a notable area at the back of the house and line up with No. 23's rear extension. It is noted that a similar form of development was proposed in 21/3129/HOT. This application was approved. It is not considered that this aspect of the scheme would adversely impact on the main house.

Installation of rooflights, replacement windows

An objection was received setting out that the existing original fenestrations should be retained on the front elevation. The proposed fenestrations would complement the design of the original windows. The materials would match the existing house. As such there is no objection to this element.

There is no objection to the installation of two rooflights on the rear roof slope and one roof light on the front roof slope given they are conservation rooflights.

Extension of roof and raising ridge by 75cm

The proposed roof extension is minor in scale, the applicant seeks to raise the roof ridge by 75cm. Developments should "keep roof extensions 'in-scale' with the existing structure. Raising the ridge of the building is normally unacceptable" according to the House Extensions and Alterations SPD. It is noted that an objection was received. This did however state that an increase in the roof ridge of 20cm is acceptable. Given the modest increase there is no objection to this aspect of the scheme.

The reason for refusal of (21/2205/HOT) was "*the proposed rear dormer and the increase in height of the roof ridge by reason of their inappropriate design, scale, bulk and mass would result in an unsympathetic form of overdevelopment that would fail to harmonise with the existing house No.25 St Georges Road or its adjoining neighbour No. 23 St Georges Road. It would fail to respect the character and appearance of the St Margarets Estate Conservation Area or the St Margarets Estate Village Character Area.*"

The Appeal (21/2205/HOT) was subsequently allowed. The Inspector sets out that the "*raising of the roof: The appeal property sits adjacent to Number 23 St Georges Road, which is a much taller Victorian property and which, to some considerable degree, looms above the appeal property due to its greater height. The proposed development would result in the appeal property's roof ridge being raised. Rather than result in a significant enlargement that would greatly alter the proportions of the dwelling, or a prominent feature, the raised roof would still sit far below the height of No 23 and has clearly been carefully designed to appear in proportion with the rest of the dwelling. I find that the increase in height would not stand out in any way but would appear as an integrated part of a much-improved building; and the appeal property would still be of modest height relative to surrounding dwellings.*"

The removal of the dormer is welcomed and is considered to be an improvement. LBRUT note the extensive planning history on the site. The raising of the roof ridge by 20cm was approved under 21/3129/HOT. This is not significantly taller. As such Conservation have no objection to this. The raising of the roof ridge, whilst not in line with the guidelines in House Extensions and Alterations SPD is considered to be tolerable in this instance.

Paragraph 199 of the NPPF states 'when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

Paragraph 202 of the NPPF states 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal'.

It is not considered that the proposal would lead to harm to the Margarets Estate Conservation Area in this instance. It would adequately complement the existing house and is in character with the neighbourhood.

Flood Risk

LP 21 Flood Risk and Sustainable Drainage outlines that "all developments should avoid, or minimise, contributing to all sources of flooding, including fluvial, tidal, surface water, groundwater and flooding from sewers, taking account of climate change and without increasing flood risk elsewhere."

The site is in Flood Zone 2 and 3a. A Flood Risk Assessment dated 06 Sep 2021 has been supplied. The Council's LLFA has been consulted. This application is a minor development proposing rainwater harvesting through rain butts and permeable paving. Given that the changes to the impermeable area on site are small, this application seems acceptable in principle. A condition will be applied in terms of surface water run off to ensure that adverse impacts are not generated here.

Impact on neighbour amenity

Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.

The SPD on House Extensions and External Alterations notes that generally an extension of 3m in depth for a terrace property will be acceptable. Where the proposed extension seeks a larger depth, the eaves should be reduced to 2.2m at the shared boundary to mitigate detrimental impact on neighbours such as sense of enclosure or overbearing. However, the final test of acceptability is dependent on the specific circumstances of the site which may justify greater rear projection.

No. 23

As noted above (21/2205/HOT) was refused. The reason for refusal in terms of amenity impacts was "the rear dormer and the increase of the roof ridge would be incongruous features when viewed by neighbouring properties to the detriment of their visual amenity, in particular No. 23 St Georges Road." The rear dormer has been removed as such this element of the reason for refusal has been addressed.

It is noted that an objection was received from No. 23 St Georges road. It was considered that the increase in height of the roof would detrimentally impact on the privacy and be overbearing on No. 23 with particular respect to its rear bedroom window. Furthermore, it was noted that the mass, bulk and visual proximity of the increase in roof height would be overbearing and visually intrusive when viewed from the rear garden of No. 23.

The roof ridge would be raised by 0.75m. It is noted that the Appeal to (21/2205/HOT) did not uphold any amenity impacts arising from the raising of the roof ridge.

Turning to the proposed rear extension, this would not extend beyond the rear extension of No. 23. Amenity impacts are not anticipated upon No. 23 as a result. No flank windows are proposed and as such impacts on privacy are not anticipated arising from the ground and first floor rear extension on No. 23. It is noted that a similar form of development was proposed via (21/2205/HOT) and (21/3129/HOT) and there were no objections to this aspect of the scheme.

The proposal would not be unduly overbearing, result in a loss of daylight/sunlight or privacy on No 7c St Peter's Road given its siting to the east.

Transport

LP 45 Parking Standards and Servicing sets out that “the Council will require new development to make provision for the accommodation of vehicles in order to provide for the needs of the development while minimising the impact of car based travel including on the operation of the road network and local environment.”

Replacement of existing garage and new boundary wall

The application is described as involves the demolition and part replacement of existing garage and demolition of front boundary wall/fence and replacement with new boundary wall." The maximum width allowed for the crossover is 3.5m, as detailed in the LBRuT Transport SPD 2020. The width of the crossover is circa 3.5m. As such this is considered acceptable. It is noted that the same vehicle crossover has been previously consented via 21/2205/HOT and 21/3129/HOT. There is no objection to the loss of the garage given that front garden parking has still been made available.

Trees

Policies LP15 and LP16 seek to protect biodiversity and health and longevity of trees, woodland and landscape in the borough. Local Plan policy LP16, subsection 5 requires;

"That trees are adequately protected throughout the course of development, in accordance with British Standard 5837 - Trees in relation to design, demolition and construction, Recommendations (2012)."

The property sits within the St Margarets (CA19) conservation area and so all trees are protected. An Arboricultural Report from Duramen, dated 15th June 2021, reference 18019(f4) which includes a tree protection plan 18019 has been supplied. Given the loss of T5 due to its declining condition, a landscape condition has been applied to include details of a replacement tree. Subject to this there are no objections to this proposal on tree grounds.

Fire safety

London Plan Policy D12 requires the submission of a Fire Safety Statement on all planning applications. The need for a fire statement became a policy requirement with the recent adoption of the new London Plan. Policy D12A states:

In the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety and ensure that they:

- 1) identify suitably positioned unobstructed outside space: a) for fire appliances to be positioned on b) appropriate for use as an evacuation assembly point
- 2) are designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire; including appropriate fire alarm systems and passive and active fire safety measures
- 3) are constructed in an appropriate way to minimise the risk of fire spread
- 4) provide suitable and convenient means of escape, and associated evacuation strategy for all building users
- 5) develop a robust strategy for evacuation which can be periodically updated and published, and which all building users can have confidence in
- 6) provide suitable access and equipment for firefighting which is appropriate for the size and use of the development.

A Fire Safety Statement dated 06 Sept 2021 has been prepared by Cameron Jones Planning. It is considered that this is adequate to meet the requirements of D12A. The applicant is advised that alterations to existing buildings should comply with the Building Regulations. This permission is NOT a consent under the Building Regulations for which a separate application should be made.

8. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

On initial assessment this development is not considered liable for the Mayoral or Richmond CIL however this is subject to confirmation by the CIL Administration Team.

9. RECOMMENDATION

This recommendation is made following careful consideration of all the issues raised through the application process. In making this recommendation consideration has been had to the statutory duties imposed by the Planning (Listed Buildings and Conservation Areas) Act 1990 and the requirements set out in Chapter 16 of the NPPF. Paragraph 11 of the Framework explains how the presumption in favour of sustainable development applies. For the reasons set out above, this application falls to be determined in accordance with the test under section 38(6) of the 2004 Act, the proposal is in general conformity with the Development Plan overall and there are no material considerations of sufficient weight to justify refusal.