

APPENDIX 15.1 BUILT HERITAGE STATEMENT



Former Stag Brewery, Mortlake

Built Heritage Assessment

February 2022

Waterman Infrastructure & Environment Limited

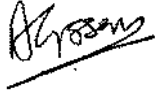


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Comments

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Executive Summary

A Built Heritage Assessment has been prepared by Waterman Infrastructure & Environment Ltd on behalf of Reselton Properties Limited in support of two linked planning applications for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake within the London Borough of Richmond upon Thames. The aim of the report is to provide an overview of the history of the Site, before describing and assessing its significance.

There is evidence of brewing on the Site since at least the mid-sixteenth century, and possibly earlier during the late fifteenth century. The Site continued in use as a brewery up to c. 2015. The majority of the buildings within the Site are of modern date. Part of the Site running along Mortlake High Street and the Thames shoreline is located within the Mortlake Conservation Area. A small portion of the Site extends into the Mortlake Green Conservation Area. The Site contains three built heritage assets recognised as being Buildings of Townscape Merit (The Former Hotel, Former Bottling Building and Maltings) and the assessment has identified further built heritage assets within the Site which contribute to its significance.

There are 20 Listed Buildings within 500m of the Site (three Grade II* and 17 Grade II) and further buildings within the conservation areas recognised as being Buildings of Townscape Merit. The report considers the Site's contribution to the significance of adjacent heritage assets, both designated and non-designated. These included the Mortlake and Mortlake Green Conservation Areas, the Grade II listed Riverside House; Leyden House; Thames Bank House; Tudor Lodge; Thames Cottage; Gateway, formerly to Cromwell House, the Grade II listed Chiswick Bridge, and the Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court.

The assessment has established that the majority of the historic brewery on the Site have been demolished during a phase of expansion in the latter half of the twentieth century. This development left only three intact structures from the early twentieth and 19th centuries, and the facades of other structures as the boundary walls. These buildings have value in their own right and are the main contributing factor to the Site's heritage significance and its contribution to the setting of other nearby heritage assets, such as the two Conservation Areas partly within the Site to the south and south east. Their value as a group of related historic structures is also important when considering the Site holistically. Twentieth century development has had a considerable negative effect on the significance of the built heritage within the Site, and a negative effect on the settings of nearby Listed Buildings on Thames Walk. The majority of the structures within the Site are of no heritage significance.

The landscape of the River Thames corridor has been assessed to determine if it contains any surviving areas of historic landscape character of significance. The report has established that along the Mortlake and Chiswick stretches of the Thames, the landscape is largely of modern date and of very limited heritage value.

1. Introduction

1.1 Project Background

This Built Heritage Assessment has been prepared by Waterman Infrastructure & Environment Limited (Waterman) on behalf of Reselton Properties Limited (“the Applicant”) in support of two linked planning applications (“the Applications”) for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake (“the Site”) within the London Borough of Richmond upon Thames (LBRuT).

1.1.1 The Site

The Site is approximately centred on National Grid Reference (NGR) 520380, 176003 and is located in Mortlake within the administrative boundary of the London Borough of Richmond upon Thames (LBRuT) (see **Appendix A**, Figure 1). The Site comprises:

- The former Stag Brewery, a parcel of land extending to approximately 9.25 hectare (ha), occupied by a mix of large-scale industrial brewery structures and buildings, hardstanding, and a playing field in the south west known as Watney’s Sports Ground, and incorporating a section of the River Thames towpath within the north of the Site;
- Ship Lane, a public highway bisecting the Site;
- Bulls Alley, a public highway within the east of the Site;
- Williams Lane, a highway within the west of the Site;
- The junction with the A316 (Clifford Avenue), A3003 (Lower Richmond Road) and A205 (South Circular) (collectively known as ‘Chalkers Corner’) to the west of the Site; and
- Mortlake High Street and Sheen Lane to the south of the Site.

The Site is in a predominantly residential setting with public open space known as Mortlake Green located to the south of the Site. The River Thames is located immediately north of the Site.

1.1.2 Scheme Proposals

The Applications seek planning permission for:

Application A:

“Hybrid application to include the demolition of existing buildings to allow for comprehensive phased redevelopment of the Site:

Planning permission is sought in detail for works to the east side of Ship Lane which comprise:

- *Demolition of existing buildings (except the Maltings and the façade of the Bottling Plant and former Hotel), walls, associated structures, site clearance and groundworks*
- *Alterations and extensions to existing buildings and erection of buildings varying in height from 3 to 9 storeys plus a basement of one to two storeys below ground*
- *Residential apartments*
- *Flexible use floorspace for:*
 - *Retail, financial and professional services, café/restaurant and drinking establishment uses*
 - *Offices*
 - *Non-residential institutions and community use*

- *Boathouse*
- *Hotel / public house with accommodation*
- *Cinema*
- *Offices*
- *New pedestrian, vehicle and cycle accesses and internal routes, and associated highway works*
- *Provision of on-site cycle, vehicle and servicing parking at surface and basement level*
- *Provision of public open space, amenity and play space and landscaping*
- *Flood defence and towpath works*
- *Installation of plant and energy equipment*

Planning permission is also sought in outline with all matters reserved for works to the west of Ship Lane which comprise:

- *The erection of a single storey basement and buildings varying in height from 3 to 8 storeys*
- *Residential development*
- *Provision of on-site cycle, vehicle and servicing parking*
- *Provision of public open space, amenity and play space and landscaping*
- *New pedestrian, vehicle and cycle accesses and internal routes, and associated highways works.”*

Application B:

“Detailed planning permission for the erection of a three-storey building to provide a new secondary school with sixth form; sports pitch with floodlighting, external MUGA and play space; and associated external works including landscaping, car and cycle parking, new access routes and all other associated works.”

Together, Applications A and B described above, along with the Section 278 highways works comprise the ‘Proposed Development’.

1.2 Scope

This report will provide a baseline assessment of the Stag Brewery Site, through research and Site assessment. This will inform why and to what extent any buildings and / or features on the Site may be historically or architecturally significant. This assessment will also consider the Site’s contribution to the setting and significance of heritage assets in the environs of the Site.

This assessment follows best practice procedures produced by Historic England^{1,2}, the Chartered Institute for Archaeologists³ and makes reference to policy contained in Section 16 of the National Planning Policy Framework (NPPF), *Conserving and Enhancing the Historic Environment*⁴.

This report supersedes the Built Heritage Statement prepared in 2018 by Waterman to support an earlier application for the Site.⁵

¹ Historic England, 2017a, Historic Environment Good Practice in Planning 3: The Setting of Heritage Assets, [<https://historicengland.org.uk/images-books/publications/gpa3-setting-of-heritage-assets/>]

² Historic England, 2017b, *Conservation principles, policies and guidance. Consultation Draft*, Swindon [<https://historicengland.org.uk/content/docs/guidance/conservation-principles-consultation-draft-pdf/>].

³ Chartered Institute for Archaeologists, 2020, Standard and Guidance for Historic Environment Desk Based Assessments [https://www.archaeologists.net/sites/default/files/CIfAS%26GDBA_4.pdf]

⁴ Department of Levelling Up, Housing and Communities, 2021, National Planning Policy Framework, <https://www.gov.uk/guidance/national-planning-policy-framework>

⁵ Waterman, 2018, The Former Stag Brewery, Mortlake. Built Heritage Statement. Report Reference WIE10667-101-4-1-1-HR

1.3 Planning Background for the Proposed Development

The Applications follow earlier planning applications which were refused by the Greater London Authority and the GLA. The refused applications were for:

- Application A – hybrid planning application for comprehensive mixed-use redevelopment of the former Stag Brewery site consisting of:
 - Land to the east of Ship Lane applied for in detail (referred to as ‘Development Area 1’ throughout); and
 - Land to the west of Ship Lane (excluding the school) applied for in outline (referred to as ‘Development Area 2’ throughout).
- Application B – detailed planning application for the school (on land to the west of Ship Lane).
- Application C – detailed planning application for highways and landscape works at Chalkers Corner (withdrawn by the Applicant in November 2020).

The LBRuT (the Council) originally resolved to grant planning permission for Applications A and B but refuse Application C.

Following the LBRuT’s resolution to approve the applications A and B, the Mayor called-in the Applications and became the determining authority. The Mayor’s reasons for calling in the Applications were set out in his Stage II letter (dated 4 May 2020) but specifically related to concerns regarding what he considered was a low percentage of affordable housing being proposed for the Site and the need to secure a highways solution for the scheme following the LBRuT’s refusal of Application C.

Working with the Mayor’s team, the Applicant sought to meaningfully respond to the Mayor’s concerns on the Applications. A summary of the revisions to the scheme made and submitted to the GLA in July 2020 is as follows:

- Increase in residential unit provision from up to 813 units to up to 1,250 units;
- Increase in affordable housing provision from (up to) 17%, to 30%;
- Increase in height for some buildings of up to three storeys;
- Change to the layout of Blocks 18 and 19, conversion of Block 20 from a terrace row of housing to two four storey buildings;
- Reduction in the size of the western basement, resulting in an overall car parking spaces reduction of 186 spaces and introduction of an additional basement storey under Block 1;
- Internal layout changes and removal of the nursing home and assisted living in Development Area 2;
- Landscaping amendments, including canopy removal of four trees on the north west corner of the Site; and
- Alternative options to Chalkers Corner in order to mitigate traffic impacts through works to highway land only and allow the withdrawal of Application C.

The application was amended to reflect these changes.

Notwithstanding this, and despite GLA officers recommending approval, the Mayor refused the applications in August 2021.

The Mayor’s reasons for refusal in respect of Application A were:

- 1) Height, bulk and mass, which would result in an unduly obtrusive and discordant form of development in this ‘arcadian’ setting which would be harmful to the townscape, character and appearance of the surrounding area;

- 2) Heritage impact. The proposals, by reason of its height, scale, bulk and massing would result in less than substantial harm to the significance of several listed buildings and conservation areas in the vicinity. The Mayor considered that the less than substantial harm was not clearly and convincingly outweighed by the public benefits, including Affordable Housing, that the proposals would deliver;
- 3) Neighbouring amenity issues. The proposal, by reason of the excessive bulk, scale and siting of Building 20 and 21 in close proximity to the rear of neighbouring residential properties in Parliament Mews and the rear gardens of properties on Thames Bank, would result in an unacceptable overbearing and unneighbourly impact, including direct overlooking of private amenity spaces. The measures in the Design Code would not sufficiently mitigate these impacts; and
- 4) No section 106 agreement in place.

Application B was also refused because it is intrinsically linked with Application A and therefore could not be brought forward in isolation.

1.3.1 The Proposed New Scheme

This 3rd iteration of the scheme seeks to respond directly to the Mayor's reasons for refusal and in doing so also addresses a number of the concerns raised by the LBRuT.

The amendments can be summarised as follows:

- 1) A revised energy strategy is proposed in order to address the London Plan (2021) requirements;
- 2) Several residential blocks have been reduced in height to better respond to the listed buildings along the Thames riverfront and to respect the setting of the Maltings building, identified as a Building of Townscape Merit (BTM) by the LBRuT;
- 3) Reconfiguration of layout of Buildings 20 and 21 has been undertaken to provide lower rise buildings to better respond to the listed buildings along the Thames riverfront; and
- 4) Chalkers Corner light highways mitigation works.

The school proposals (submitted under 'Application B') are unchanged. The Applicant acknowledges LBRuT's identified need for a secondary school at the Site and the applications continue to support the delivery of a school. It is expected that the principles to be agreed under the draft Community Use Agreement (CUA) will be the same as those associated with the refused school application (LBRuT ref: 18/0548/FUL, GLA ref: GLA/4172a/07).

Overall, it is considered that together, the Applications respond successfully to the concerns raised by stakeholders in respect of the previous schemes and during pre-application discussions on the revised proposed Development. As a result, it is considered that the scheme now represents a balanced development that delivers the principle LBRuT objectives from the Site.

2. Legislation and Policy

This assessment has been produced within the context of relevant legislation, as well as local and national planning policy and considers policies laid out in the NPPF and the local planning policy of LBRuT.

Relevant legislation and policy is listed below, and further detail can be found in **Appendix C**.

2.1 Legislation

- Ancient Monuments and Archaeological Areas Act 1979⁶;
- Planning (Listed Buildings and Conservation Areas Act) 1990⁷.

2.2 National Policy

- National Planning Policy Framework, updated July 2021, see Section 16 Conserving and enhancing the historic environment⁸;

2.3 Regional and Local Policy

- London Borough of Richmond upon Thames, 2011, Stag Brewery, Mortlake, SW14 Planning Brief, Supplementary Planning Document. LBRuT: Richmond.
- London Borough of Richmond upon Thames Local Plan, adopted July 2018⁹ (see Policies LP3, LP4, and LP5)
- London Borough of Richmond upon Thames, Mortlake Village Planning Guidance, December 2015¹⁰
- The London Plan 2021¹¹, (see Chapter 7 Heritage and Culture Policy HC1).

⁶ Her Majesty's Stationery Office (HMSO), *Ancient Monuments and Archaeological Areas Act*. 1979, accessible via <https://www.legislation.gov.uk/ukpga/1979/46>

⁷ Her Majesty's Stationery Office (HMSO), *Planning (Listed Buildings and Conservation Areas) Act*. 1990, accessible via www.legislation.gov.uk/ukpga/1990/9/contents

⁸ NPPF, 2021

⁹ London Borough of Richmond upon Thames, 2018a, Local Plan, available at https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf

¹⁰ London Borough of Richmond upon Thames, 2015, Mortlake Village Planning Guidance, available at https://www.richmond.gov.uk/media/7640/mortlake_village_planning_guidance_spd.pdf

¹¹ Mayor of London & London Assembly, 2021, The London Plan 2021. Available at https://www.london.gov.uk/sites/default/files/the_london_plan_2021.pdf

3. Assessment Methodology

This assessment has included the following:

- Information obtained and presented in the 2018 Built Heritage Statement¹², where appropriate;
- consultation of relevant early maps, documents and other heritage information in the London Borough of Richmond upon Thames (LBRuT) archives. A historical overview of the Site and its surroundings is provided;
- consultation of online resources;
- appraisal of designated heritage assets and areas, including conservation areas and local lists;
- a walk-over survey of the Site and the immediate surrounding area;
- assessment of the heritage values of the buildings likely to be affected by the proposal; and
- consultation of local and national planning policy and guidance pertaining to heritage.

The Heritage Statement has been carried out in accordance with the requirements of the NPPF¹³ and to Historic England standards^{14 15} and ClfA Standards¹⁶.

The Site was visited on 25th August 2017 and 15th December 2021. The aim of the visits and walkovers was to assess the form of the buildings and identify any features of heritage merit which may be affected by development on the Site. Some of the resultant images from this inspection are reproduced in this report.

3.1 Assessing Heritage Significance

The NPPF defines the value or importance in the context of heritage policy as:

“The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting”¹⁷

This report uses a set of criteria to assess the significance of individual or grouped assets, as applicable. The value/sensitivity of a heritage asset is typically determined according to its statutory designation (i.e. designated, non-designated or locally listed). An overview of such significance is outlined in **Table 1** and a definition of where the value is drawn from is outlined in **Table 2**.

Table 1: Significance of Heritage Assets

Significance	Type of Heritage Asset
Very High	World Heritage Sites (including nominated sites).
	Scheduled Monuments (including non-designated heritage assets of schedulable quality).
	Grade I Listed Building.
	Grade I Registered Parks and Gardens.
	Protected Wrecks.
High	Heritage assets of national or international importance (these could be designated, non-designated or as yet undesignated heritage assets of such importance).
	Grade II* and II Listed Buildings. Conservation Areas.

¹² Waterman, 2018

¹³ NPPF 2021

¹⁴ Historic England 2017a

¹⁵ Historic England, 2017b.

¹⁶ ClfA, 2020

¹⁷ NPPF 2021

Significance	Type of Heritage Asset
	Grade II* and II Registered Parks and Gardens. Registered Battlefields. Protected heritage landscapes (ancient woodlands or historic hedgerows). Heritage assets of regional or county importance (these could be designated, non-designated or as yet undesignated heritage assets of such importance).
Medium	Locally listed buildings. Heritage assets with a district value or interest (these could include non-designated or as yet undesignated heritage assets).
Low	Heritage assets (whether non-designated or as yet undesignated) with a local (e.g. parish) value or interest.
Very Low	Historic environment resource with no significant value or interest.
Unknown	Heritage assets for which current level of understanding is insufficient to allow significance to be determined.

Table 2: Value of Heritage Assets

Heritage Values	Definition
Archaeological	As defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
Historic	An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.
Architectural and Artistic	Interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.

3.2 Assessing the Contribution of Setting to the Significance of Heritage Assets

The definition of setting is taken from the NPPF Annex 2: Glossary as “*the surroundings in which an asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral*”. Historic England’s guidance¹⁸ considers that the importance of setting lies in what it contributes to the significance of the heritage asset. This depends on a wide range of physical elements within, as well as perceptual and associational attributes pertaining to, the heritage asset’s surroundings.

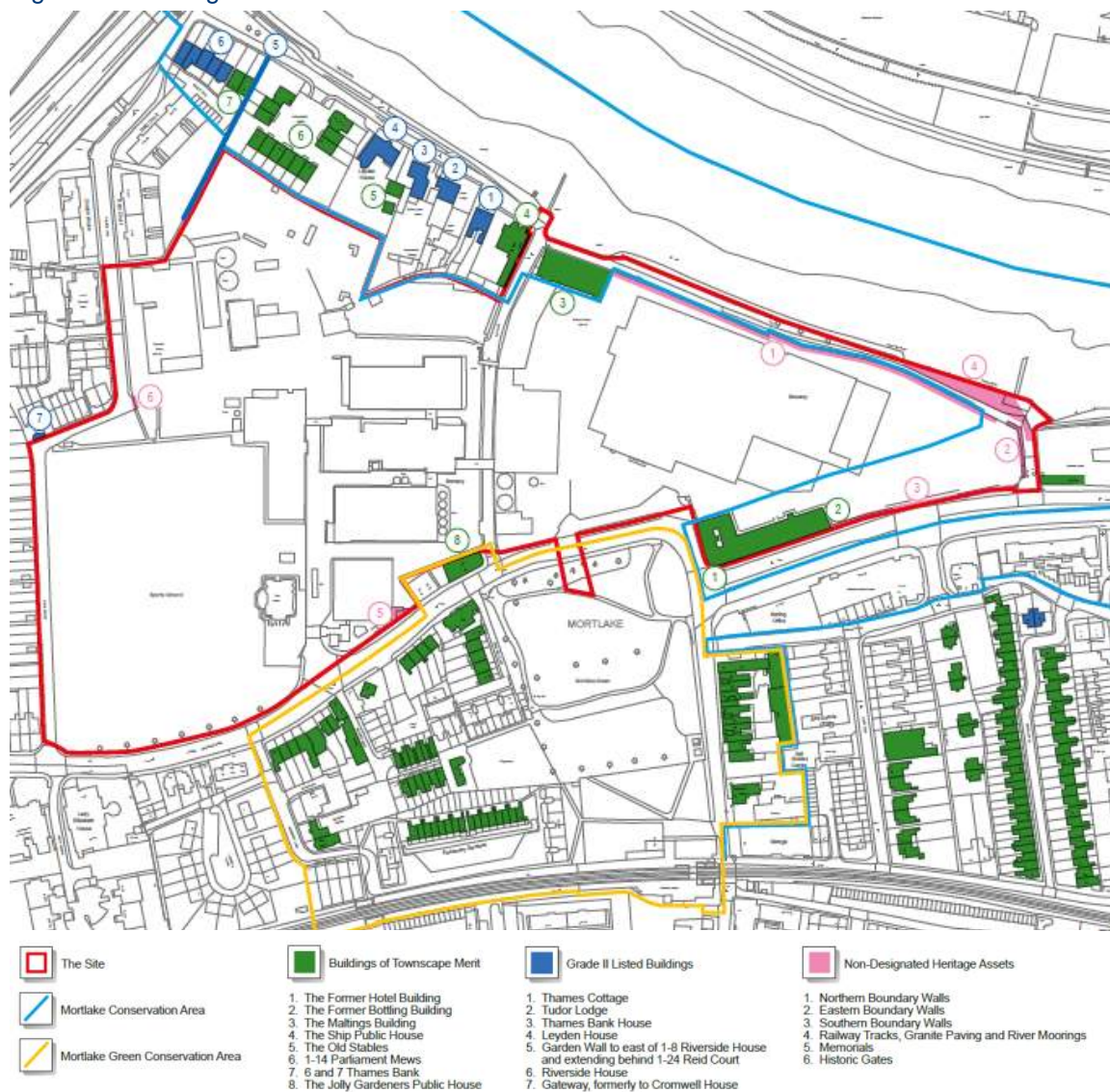
¹⁸ Historic England 2017b

4. Historical Baseline and Analysis

4.1 Introduction

A map identifying the heritage assets within the Site and in the environs is located in **Appendix A** (Figures 1 to 3) and shown below for reference (**Figure 1**).

Figure 1: Heritage Assets Plan



4.2 Designated Heritage Assets

4.2.1 Listed Buildings

There are no listed structures located within the Site and therefore none would be subject to direct, physical impacts from the Development.

There are 20 Listed Buildings within 500m of the Site (three Grade II* and 17 Grade II) and all included in a gazetteer (see **Appendix B**), and locations shown on Figure 1 in **Appendix A**. All have been subject to assessment in order to identify those which may be impacted through a change in setting as a result of the Development. These are heritage assets which share intervisibility with the Site, and also those which could see changes due to changes in lighting, sound, traffic levels or pollution during the construction or operation of the Development. The initial assessment has identified 12 Listed Buildings that require further assessment. For the purposes of this assessment, these buildings are grouped where appropriate.

Listed Buildings Adjacent to the Site

- Thames Cottage: Grade II [NHLE 1261996];
- Tudor Lodge: Grade II [NHLE 1252970];
- Thames Bank House: Grade II [NHLE 1252971];
- Leyden House: Grade II [NHLE 1252972];
- Riverside House: Grade II [NHLE 1254107];
- Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court: Grade II [NHLE 1261445]; and
- Gateway, formerly to Cromwell House: Grade II [NHLE 1417979].

Listed Buildings within 500m considered relevant to assessment

- Chiswick Bridge and attached balustrades: Grade II [NHLE 1031877];
- 44 & 46 Victoria Road: Grade II [NHLE 1253022];
- Parish Church of St Mary: Grade II* [NHLE 1357705]
- Acacia House: Grade II [NHLE 1065426]
- 117, High Street, Grade II [NHLE 1065427]
- Suthrey House with Attached Railings [NHLE 1286039]

The remaining seven listed buildings are considered not to be subject to any changes in setting as they do not share any intervisibility and would not be subject to any other impacts that would result in a change in setting.

4.2.2 Conservation Areas

There are two Conservation Areas in the immediate vicinity of the Site. These are listed below, and their boundaries are indicated on the Heritage Asset Map in Figure 3 in **Appendix A**.

- Mortlake Conservation Area; and
- Mortlake Green Conservation Area.

Part of the Site running along Mortlake High Street and the Thames shoreline is located within the Mortlake Conservation Area. Parts of the surviving boundary wall of the Site are identified by the London Borough of Richmond upon Thames (LBRuT) as contributing to the character of the Conservation Area

and form a surviving element of the pre-19th century brewery (see Section 6.2.4).

To the south of the Site is the Mortlake Green Conservation Area. This is centred on Mortlake Green, and includes a residential area to the west. The former Hotel building within the Site is identified in the appraisal as contributing to the character of this area, despite it lying just outside the boundary.

In addition to the two Conservation Areas in the immediate vicinity of the Site, to the north of the River Thames, in the Borough of Hounslow, is the Grove Park Conservation Area. This covers the northern half of Chiswick Bridge and therefore is scoped in for assessment due to the intervisibility of the bridge, Site and Conservation Area.

The south and east of the Site are the Cowley Road, Queen's Road (Mortlake), Sheen Lane (Mortlake) and Model Cottages Conservation Areas. Views of the Site from these Conservation Areas would be screened by existing developments and therefore the character of these would not be changed.

4.3 Non-Designated Heritage Assets

This includes structures and buildings formerly identified by LBRuT, as well as structures within the Site which were identified as part of the 2018 assessment as being of heritage interest.

Three structures within the Site are specifically identified by LBRuT as 'Buildings of Townscape Merit'¹⁹ (BTMs) located within the Site. These comprise:

- The former Hotel Building (WA1);
- The former Bottling Building (WA2); and
- The (former) Maltings Building (WA3).

The Site visit also identified a number of structures located within the Site as potentially being of heritage interest and, therefore, non-designated heritage assets. The additional non-designated heritage assets located within the Site, and illustrated on the Heritage Asset Plan in Figure 2 in **Appendix A** are as follows:

- Northern Boundary Walls (WA9);
- Eastern Boundary Wall (WA10);
- Southern Boundary Wall (WA11);
- Railway Tracks, Granite Paving and River Moorings (WA12);
- Memorials (WA13); and
- Historic Gates (WA14).

In addition to those located within the Site, there are a number of heritage assets identified by LBRuT as BTMs which are situated in the vicinity of the Site to the south, north and east of its boundaries. These are highlighted on the Heritage Asset Plan in Figure 2 in **Appendix A**.

The significance of BTMs adjacent to the Site could potentially be affected by the redevelopment of the Site. For the purposes of this assessment, these buildings are considered as part of a group where appropriate. The following BTMs located within the environs of the Site are considered relevant for this assessment:

- The Ship Public House, Thames Bank (WA4);
- The Old Stables, Thames Bank (WA5);
- 6 and 7 Thames Bank (WA7);
- 1-14 Parliament Mews (WA6); and

¹⁹ https://www.richmond.gov.uk/media/18606/btm_register.pdf

- The Jolly Gardeners Public House, Lower Richmond Road (WA8).

Further to the above, there are a group of locally listed buildings located adjacent to the southern boundary of the Site, on the opposite side of Lower Richmond Road (The Tapestry Public House (WA15); and, 3,5,7,9 (WA16), 33 (WA17), 35 (WA18), 37,39,41,45,47,49 and 51 Lower Richmond Road (WA19)). These buildings are located along the northern boundary of Mortlake Green Conservation Area. Given the nature of the assets, it is considered that their significance is consistent with that of their contribution to Mortlake Green Conservation Area, and therefore they are assessed as such as part of this report.

Similarly, 61-69 Mortlake High Street (WA20) is located on the north side of Lower Richmond Road, within the boundary of Mortlake Conservation Area. Given the nature of this asset and its coherence with other buildings along Mortlake High Street, it is considered that its significance is consistent with that of its contribution to Mortlake Conservation Area, and therefore it is assessed as such as part of this report.

4.4 River Thames Historic Landscape Character

The landscape character along the River Thames is included for assessment to ascertain if it contains any areas of historic landscape interest. Where such historic landscapes are preserved, they are significant in their own right, and also have the potential to contribute to the setting of other heritage assets. For the purpose of this assessment, the area assessed extends from Barnes Bridge westwards, approximately 1km west of Chiswick Bridge. Beyond these limits, the Site is not readily visible from the riverbank and therefore would not be impacted by the Development.

4.5 Historical Background

4.5.1 Early History (Pre-1700s)

Mortlake village is listed in the Domesday Survey (1086) in the Hundred of Brixton within the historic bounds of the county of Surrey. It was a settlement of some size and value to the Archbishop of Canterbury, who was Lord of the Manor at the time, with 110 households and enough land for 68 plough teams²⁰.

The manor remained with the archbishops of Canterbury until the sixteenth century, when the lands were transferred to Henry VIII in 1536, who subsequently granted it to Thomas Cromwell, and then his sixth wife Katheryn Parr. The village became famous for the production of tapestries, after the Mortlake Tapestry Works was opened in 1619 by James I of England. In 1637, the parish was truncated considerably by the creation of Richmond Park by Charles I²¹.

In the medieval period, brewing was typically undertaken as a domestic activity, although it was undertaken in a larger scale within monastic sites²². The earliest mention of the brewing industry with a connection to Mortlake is in the late fifteenth century, when a brewery is thought to have been set up in the locality by a John Williams from Wales. William's nephew, Morgan, married Catherine Cromwell, the sister of Thomas Cromwell, who owned both Cromwell House and Mortlake Manor House (also referred to as the Bishop's Palace), after it was gifted to him by Henry VIII in 1536²³. This brewery was situated near the manor house, and was located within the eastern side of the Site, to the east of Ship Lane. The manor house may have been demolished when the brewery first expanded northwest in the early 18th century, and a fifteenth century burial ground within the Site was also believed to have been developed

²⁰ Powell-Smith, A., & Palmer, J. 2016. *OpenDomesday: Mortlake*. Retrieved from OpenDomesday.Org: <http://opendomesday.org/place/TQ2075/mortlake/>

²¹ Barnes and Mortlake History Society. (Accessed 2017). *Barnes, Mortlake and East Sheen Second World War Bombs*. Retrieved from Barnes and Mortlake History Society Web Page: <http://www.barneshistory.org.uk/Bombmap/mappage.html>

²² Pearson, L., 2010, *The Brewing Industry*. English Heritage. <https://historicengland.org.uk/images-books/publications/brewing-industry/bhs-brewing-ind-shier/>

²³ Ibid

upon at the same time²⁴.

4.5.2 Later History (1751 AD to 1900 AD)

Prior to the 18th century, the majority of commercial brewing was undertaken at inns, taverns and alehouses under licence. From the early 18th century, brewing began on an industrial-scale, with the earliest sites established in London. Many used steam to power the machinery, requiring access to a water supply²⁵.

In the second half of the 18th century, the brewery within the Site was owned by James Weatherstone. John Rocque's 1766 Map of London (**Figure 2**) shows the Site in the mid 18th century, albeit not in much detail. The Site is discernible to the east of Ship Lane, with a demarcated boundary facing the High Street to the south. Court rolls from 1765 describe two small breweries operating adjacent to, but separate from, each other in about 2 acres of land. The northern of the two breweries was owned by a James Weatherstone, who was a local inn keeper and maltster, and the southern was owned by William Richmond and later John Prior – another local inn owner who also ran a maltings at Strand on the Green. The southern brewery was later bought by Weatherstone and an associate named Halford. The enterprise then passed through several different ownerships, including Halford and Topham in 1836, Topham and Kempston later that decade, and then Kempston on his own in the late 1840s²⁶

James Wyld's 1848-9 Map of London (**Figure 3**) depicts the brewery, and it is clear that the operation had expanded to include two large structures at the eastern end of the existing Site, with an open area facing the Thames to the north. The easternmost of the large structures is annotated as being a maltings, and there are also other maltings buildings annotated further along the river to the east. The western part of the Site was predominantly occupied by a large house, named Bellevue Place, and its gardens. The Ship inn, adjacent to the Site to the northwest, is also depicted.

Figure 2: John Rocque's Map of London, 1766



²⁴ Marshall, R. C., 1961. *Nineteenth Century Mortlake and East Sheen. A Factual History*. London: Private Publication
²⁵ Pearson, 2010

²⁶ Barnes and Mortlake History Society. (Accessed 2017).

Figure 3: James Wyld's 1848-9 Map of London

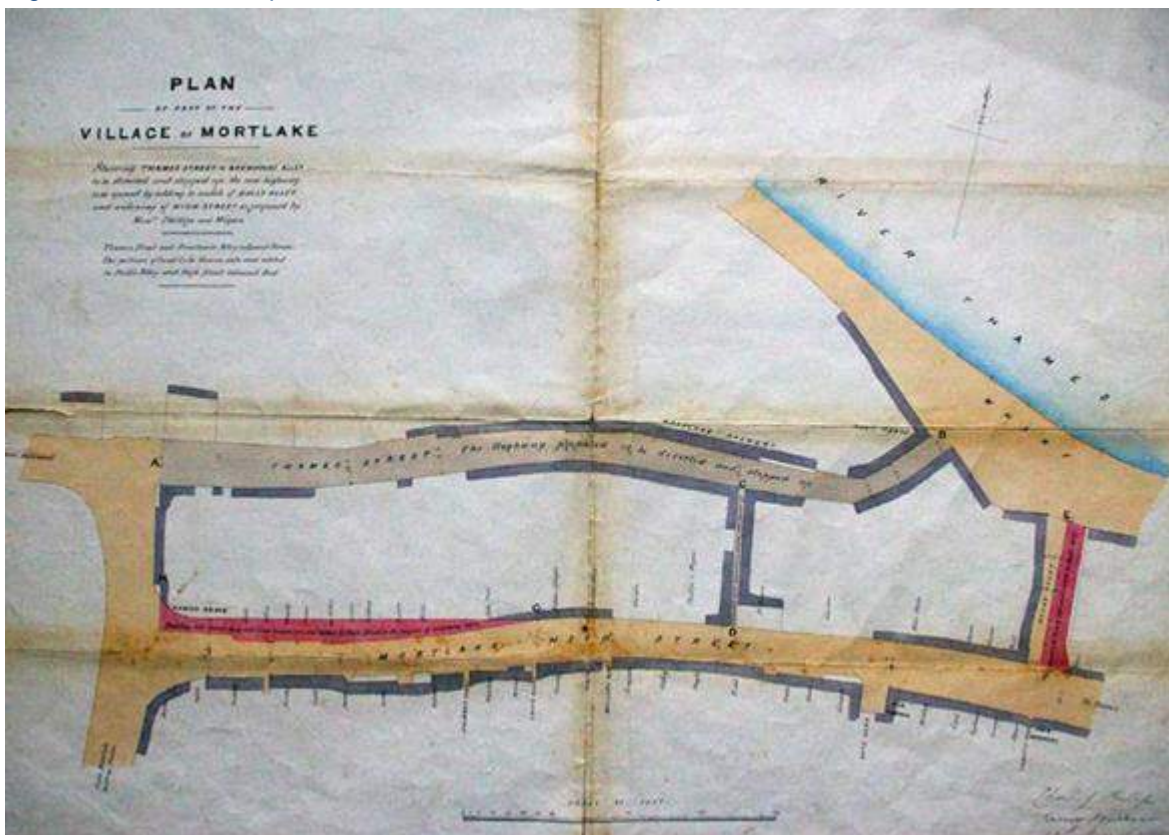


In 1852, the brewery was bought by Charles John Phillips, the son of a coal and corn merchant who funded the purchase. The business was then subsequently bought out by a partnership of Phillips and James Wigan, who then developed the business through the purchase of nearby properties and an industrious period of expansion. This included the nearby, and historic, Cromwell House, which he demolished and replaced with another residence, also called Cromwell House, further north towards the river (which was subsequently demolished by Watney's in the 20th century). The largest market for the brewery's products was the overseas Empire, with considerable quantities of beer bound for India and the Crimean Peninsula to water the troops, and by the end of the 1860s it was the largest employer in the district²⁷.

Space, however, was an issue for the expanding brewery business, particularly with Thames Street running directly through the centre of the brewery since the amalgamation of the two previously separate sites. In 1865, this was solved when Phillips acquired the freehold to all of the land on the riverside for £2350. He immediately set about redeveloping the land and closing off rights of way, including Thames Street and Brewhouse Lane – much to the dismay of the local population who protested against the road closures. A plan showing the proposed works to the Mortlake Brewery site illustrates the road closures in grey (**Figure 4**).

²⁷ Ibid

Figure 4: Plan of Proposed Works to Mortlake Brewery site, c. 1865



Source: *Richmond upon Thames Local Studies and Archives Centre (from 2018)*

Agreement was reached (including a £200 donation to the local poor fund), and work began on the construction of the new brewery. The new structures included the long, high brick wall fronting the High Street, on which were visible the initials P & W, as well as the large painted panel inscribed with 1869 MORTLAKE BREWERY, which still survives on the southern façade of the former Bottling building located within the southern boundary of the Site (east of Ship Lane) today²⁸.

The 1873 Ordnance Survey Map (**Figure 5**), which was surveyed in 1865-6, illustrates the site of the brewery just before the intersecting part of Thames Street would have been removed and the brewery expanded. The western half of the Site is also shown, and contained the site of the Bishop's Palace – originally the manor house for Mortlake – and other ancillary structures, as well as extensive orchards and cultivated strips. A section on its southern boundary comprised terraced housing.

²⁸ Ibid

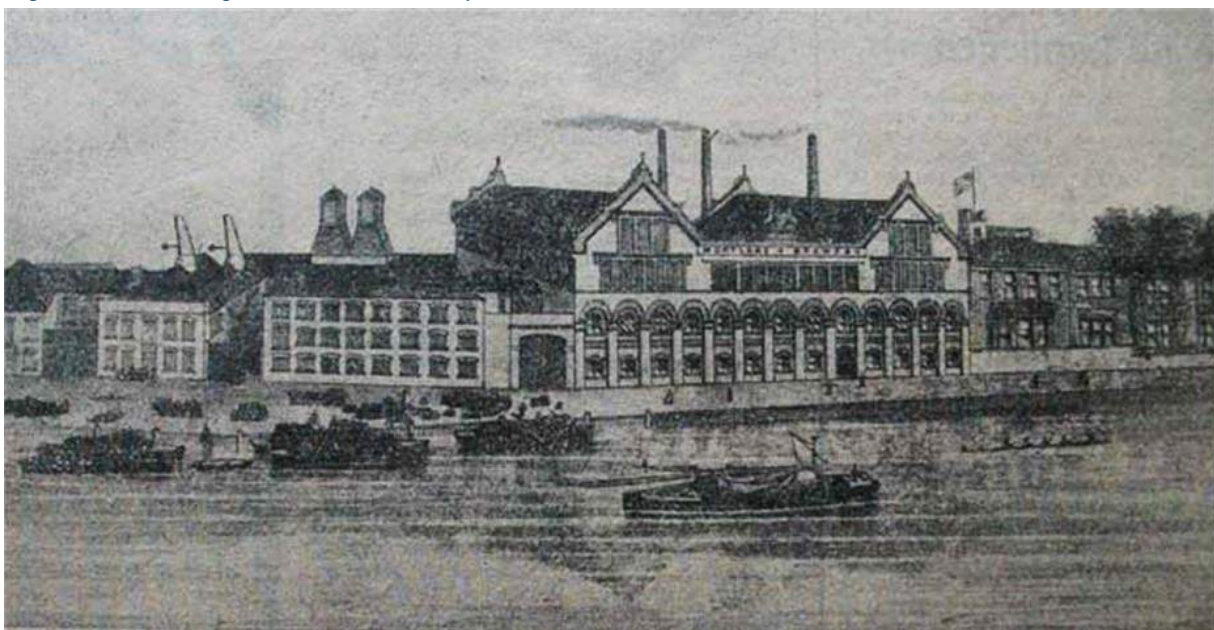
Figure 5: Extract from the 1873 Ordnance Survey Map



Source: Richmond Local Studies

A drawing from a poster, dating from c.1870 (Figure 6), shows the principal brewery structures facing the river, with the typical features of oast-house chimneys and malting floor vents to the east (shown to the left on **Figure 6**), and main brewhouse with attendant smoking chimneys indicating the use of steam power. The house with the flagpole to the west belonged to the Phillips partnership.

Figure 6: Drawing of Mortlake Brewery in about 1870, viewed from the north

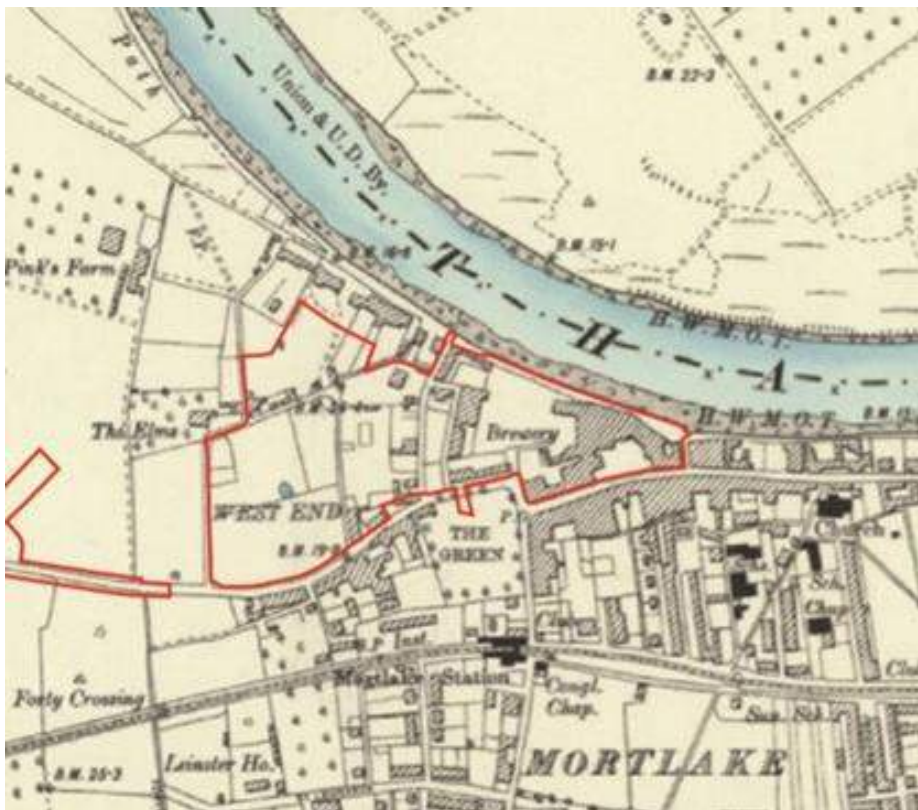


Source: Richmond upon Thames Local Studies and Archives Centre

The brewery became a family business in 1877 when Wigan sold his share of the business to Phillips and his son, and the brewery produced a mixture of brews including normal Ale, India Pale Ale, Pale Ale, Brown Stout and Porter²⁹. The two Phillips' sold the brewery to Watney's in 1889, but remained on as Directors until 1898, when Watney's fully bought out the business, with the new firm known as Watney, Combe, Reid and Co being the largest brewery in London³⁰.

The 1896 Ordnance Survey map (**Figure 7**) depicts the brewery as having expanded considerably, particularly towards the west; over the Site of the former Mortlake Manor House, with an extensive open area taking the place of the orchards shown on earlier cartographic sources, and structures now built along the eastern side of Ship Lane. The former line of Thames Street had been removed, a remnant of it evident in the plan of the buildings which had previously straddled the road.

Figure 7: Extract from the Ordnance Survey Map of 1896



A pre-1903 watercolour painting of the brewery (**Figure 8**) shows the Site at the turn of the century, illustrating a diverse collection of buildings and roof shapes set on the bend of the river, with a single large chimney dominating the skyline. The small flotilla of Thames barges berthed at the breweries wharf, illustrates a key mode of transport for the finished product away from the breweries.

²⁹ Marshall, 1961

³⁰ Barnes and Mortlake History Society

Figure 8: Watercolour Painting of the Brewery, Pre-1903

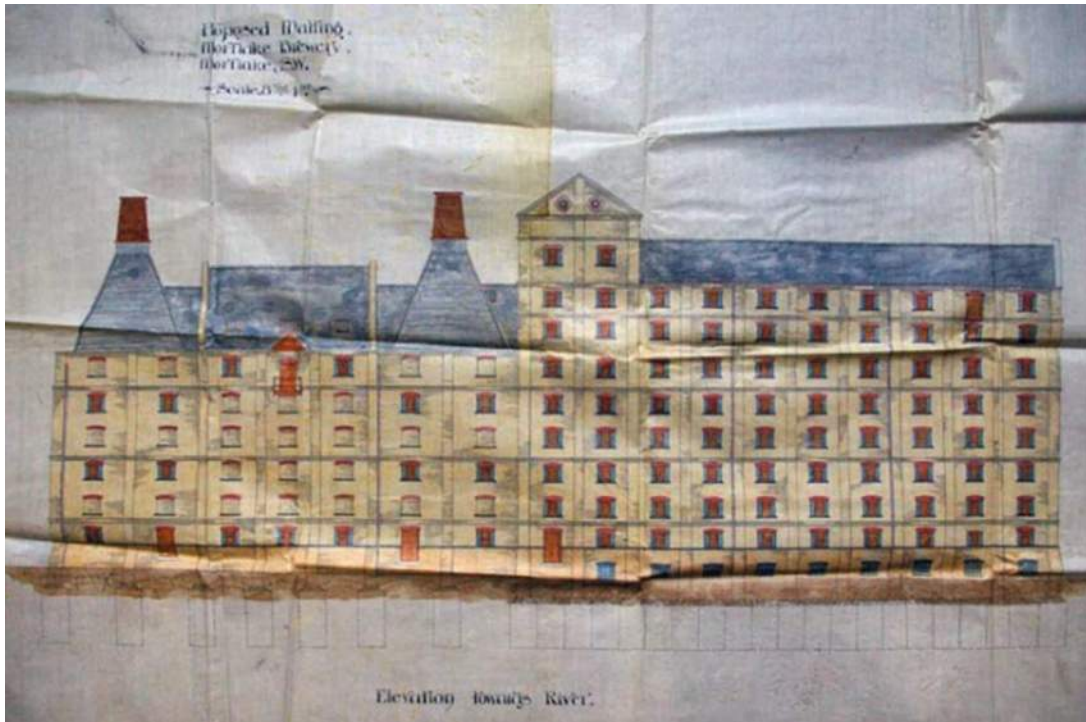


Source: *Richmond upon Thames Local Studies and Archives Centre*

4.5.3 Twentieth Century Onwards (1901 AD Onwards)

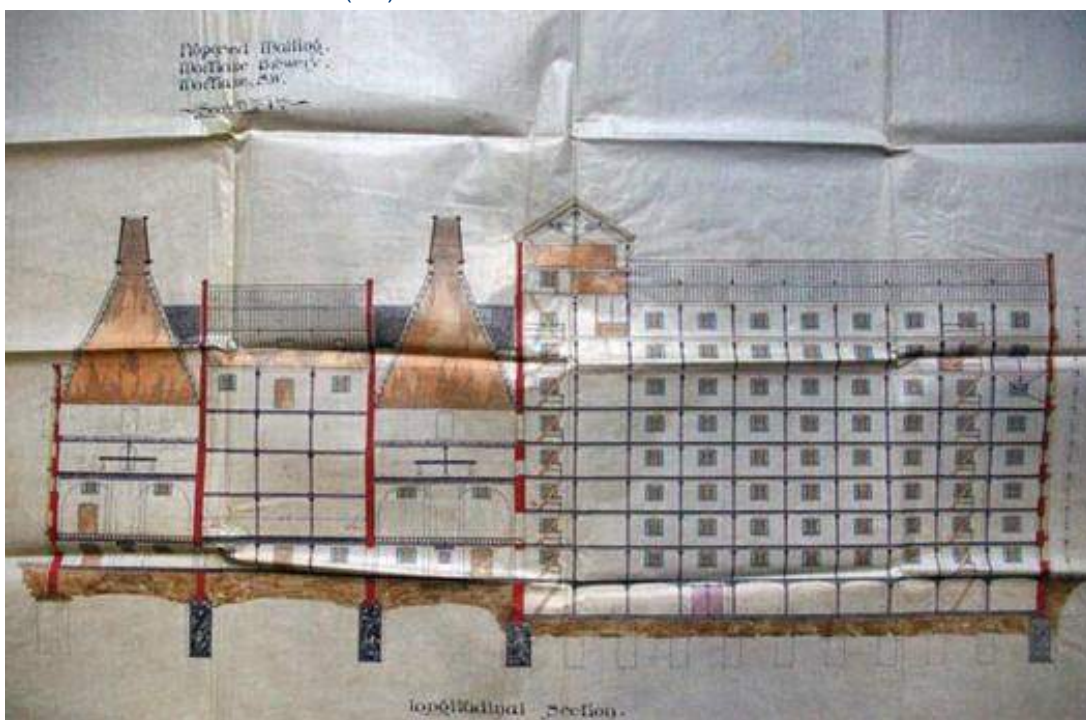
In 1903, a large eight-storey maltings was constructed at the north-west extent of the Site, adjacent to the river (**WA3**). This structure, designed by the in-house architect of Watney, Combe, Reid & Co (**Figure 9** and **Figure 10**), would become a recognisable landmark feature. Part of it still stands on the riverside today, the associated kiln block having been demolished later in the 20th century. It is a well-known landmark near the finishing line of the annual Cambridge / Oxford boat race. The building is depicted on the 1907 Goad Fire Insurance map of the area (**Figure 11**), which annotates the use of individual buildings within the Site at this time. The Site included a dockside rail or tramway, on the historic alignment of Thames Street. This was used for the movement of goods from the river in and out of the Site, and large sections of the Site were given over to beer storage and cask washing. The previously noted bottling store, with its recognisable incised company name, faced Mortlake High Street.

Figure 9: Architect's drawing of the proposed north elevation of the new maltings, including the now demolished kiln block to the west (left)



Source: Richmond upon Thames Local Studies and Archives Centre

Figure 10: Architect's section drawing of the proposed new maltings, including the now demolished kiln block to the west (left)



Source: Richmond upon Thames Local Studies and Archives Centre

Figure 11: Extract from Goad Fire Insurance Map, 1907



Source: Richmond Local Studies Library

In the first half of the 20th century Watney's had a particularly social workers policy, and undertook various improvements to the Stag Brewery for the benefit of its employees. This included construction of the cricket pitch in the southwest corner of the Site, allotment gardens and rows of semi-detached workers housing on West Road. The improvements are identifiable on the 1913 and 1936 Ordnance Survey maps, which also indicate that the brewery had completely developed the Site of the former manor house by this time, as well as expanding the facilities in the eastern part of the Site considerably (**Figures 12, 13 and 14**)

Figure 12: Extract from the Ordnance Survey Map, 1913



Figure 13: Extract from the Ordnance Survey Map, 1935



Figure 14: 1930s Historic View of the River



Source: Janes

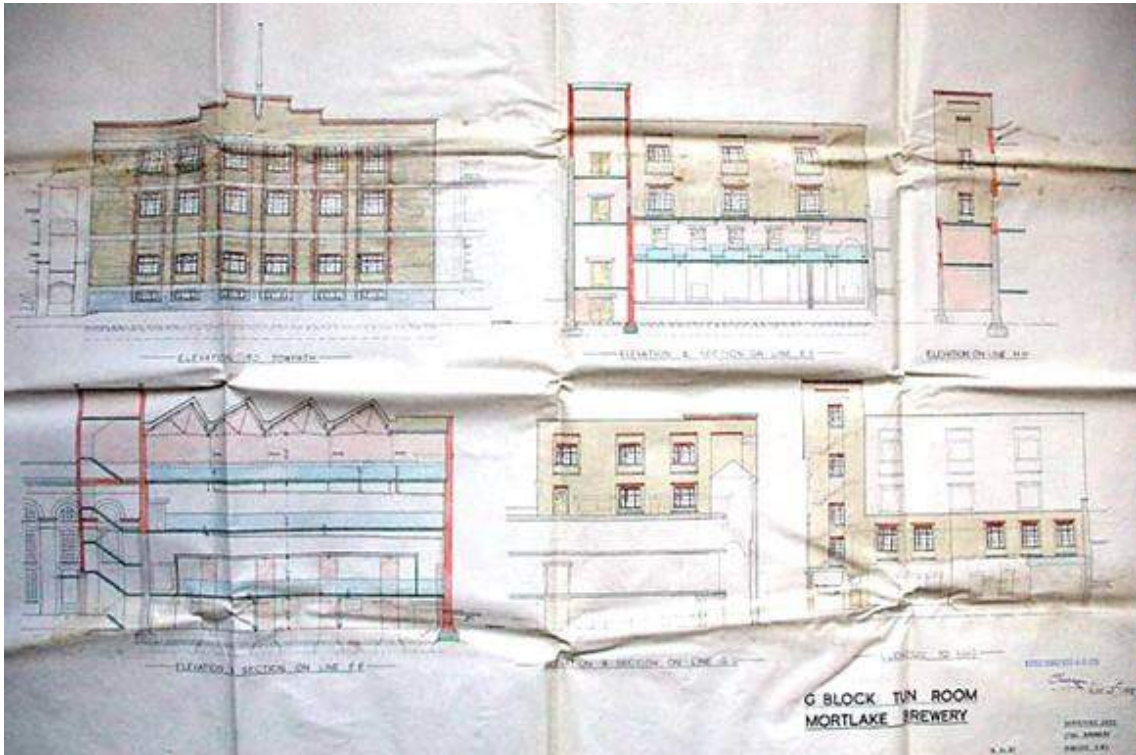
During the Second World War, the brewery was largely unaffected by bombing, although part of the bottling stores on the High Street was hit by incendiaries in September 1940 and was burned out, with the loss of 160 quarters of malt³¹. The cellars of the brewery were used as a bomb shelter³².

After the war, the brewery site was expanded considerably, taking in the previously unused land to the west of Ship Lane. In 1937 the brewery's architects designed a new Art Deco tun block to be built towards the east of the Site (**Figure 15** and **16**).

³¹ Ibid

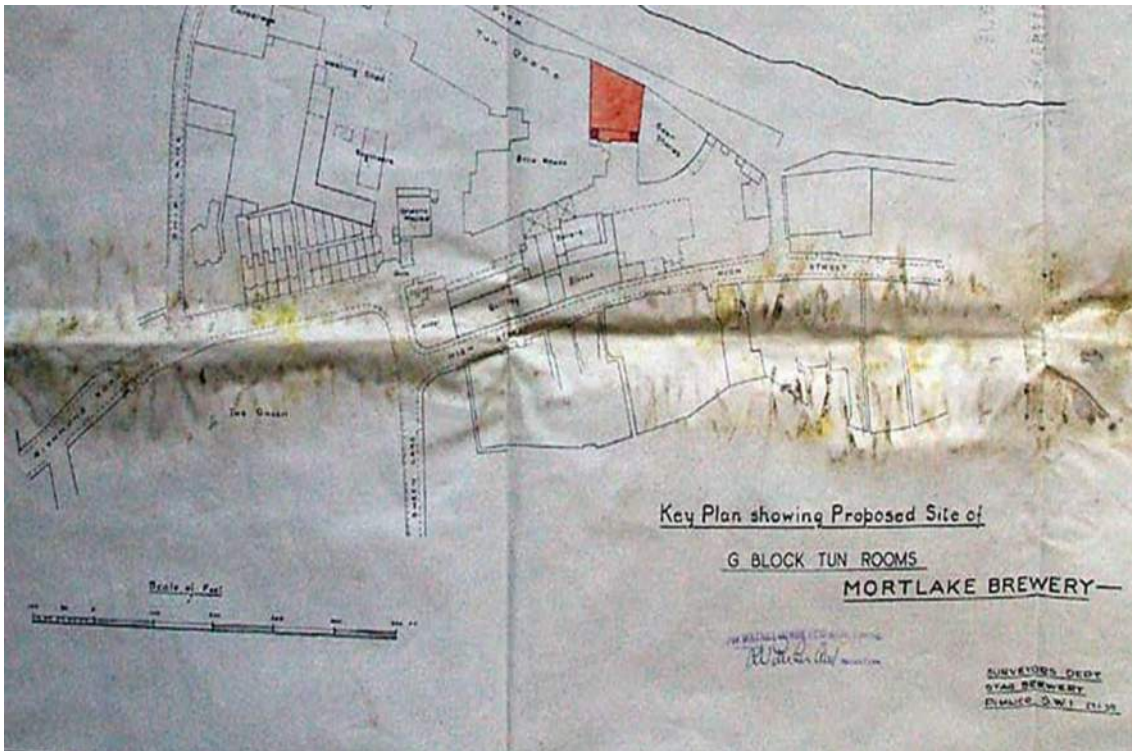
³² Hedgecock, M. 2007; Hand in Hand: Watney's Mortlake World. A Brief History of Watney's Brewery as gleaned from the Company Magazine. London: Watneys Brewery.

Figure 15: Proposed new Tun Block, c. 1937



Source: Richmond upon Thames Local Studies and Archives Centre

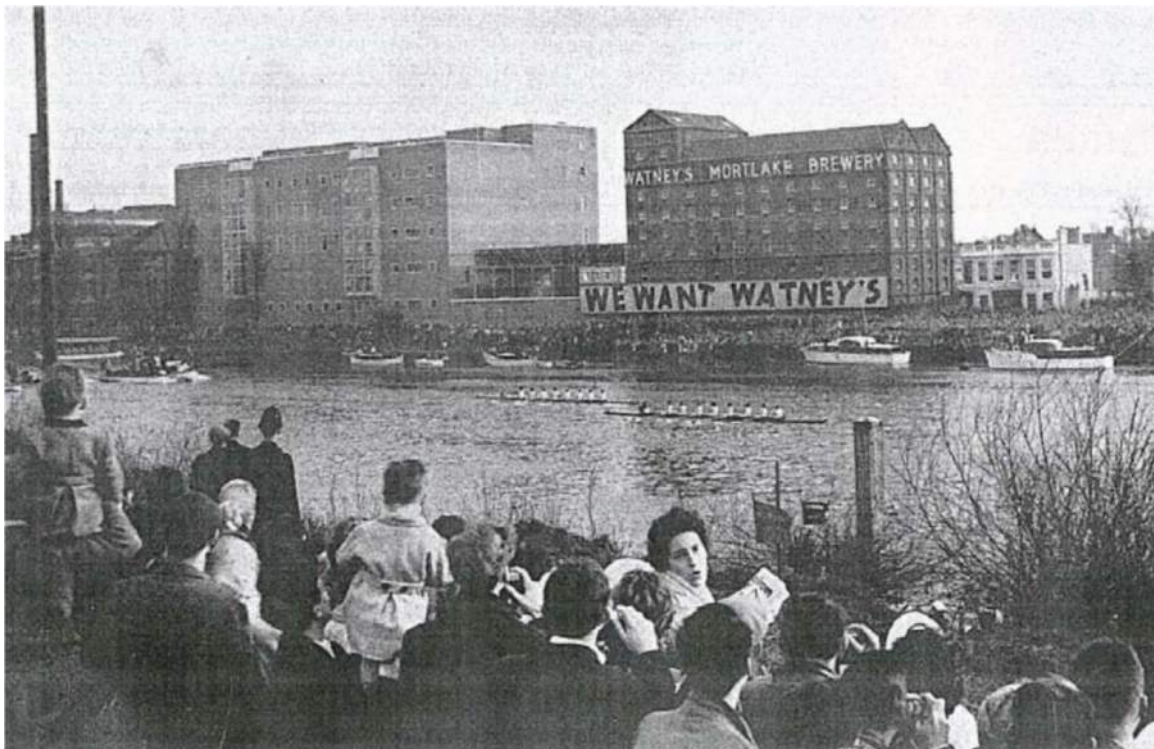
Figure 16: Proposed location of the Tun Block, 1937



Source: Richmond upon Thames Local Studies and Archives Centre

The brewery further expanded in c.1954 with another new, and even larger, tun block, which was built on the riverside and replaced a number of earlier 19th century buildings, as well as the aforementioned kiln block of the 1903 maltings (**Figure 17**). This second block was designed by Jennings, Son and Partners Architects, although their visualisations show the reverse arrangement to that which was actually built, with the taller section to the west and a lower building to the east (**Figure 18** and **19**) and also show the demolition of the 9-storey part of the maltings – which survives (WA3). Jennings *et al* also designed a new malt silo block to face the High Street, although only the eastern part of this was actually realised.

Figure 17: 1960s Historic Views from the River during University boat race



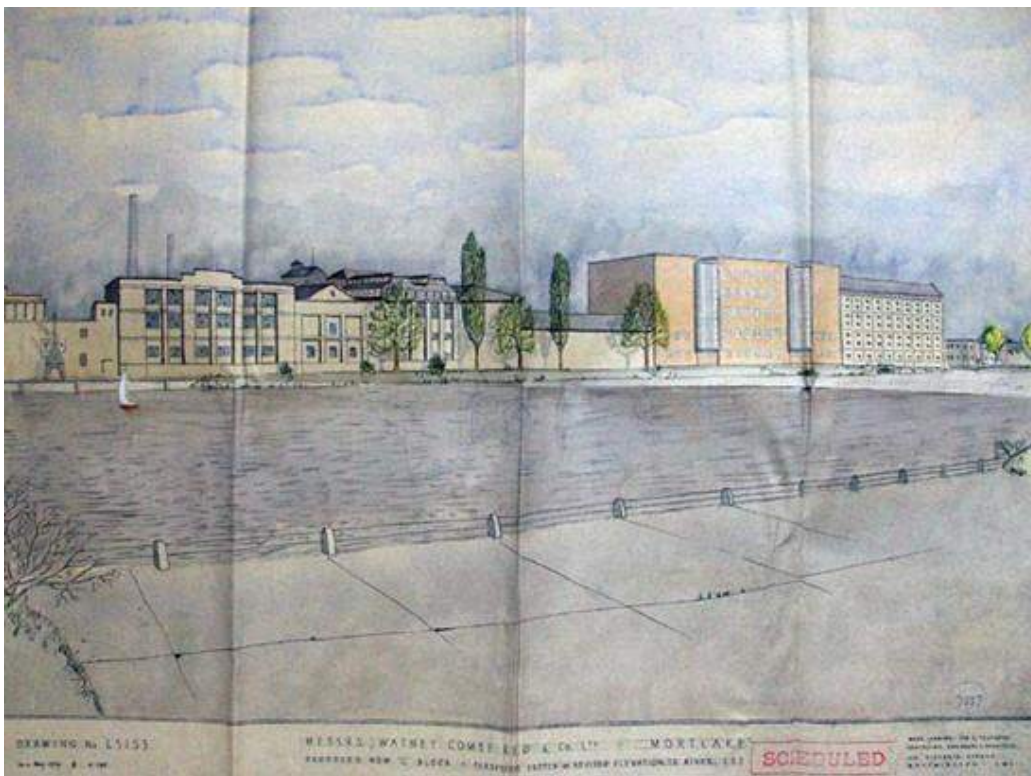
Source: Janes

Figure 18: Design for proposed tun block, c. 1954, from northwest



Source: Richmond upon Thames Local Studies and Archives Centre

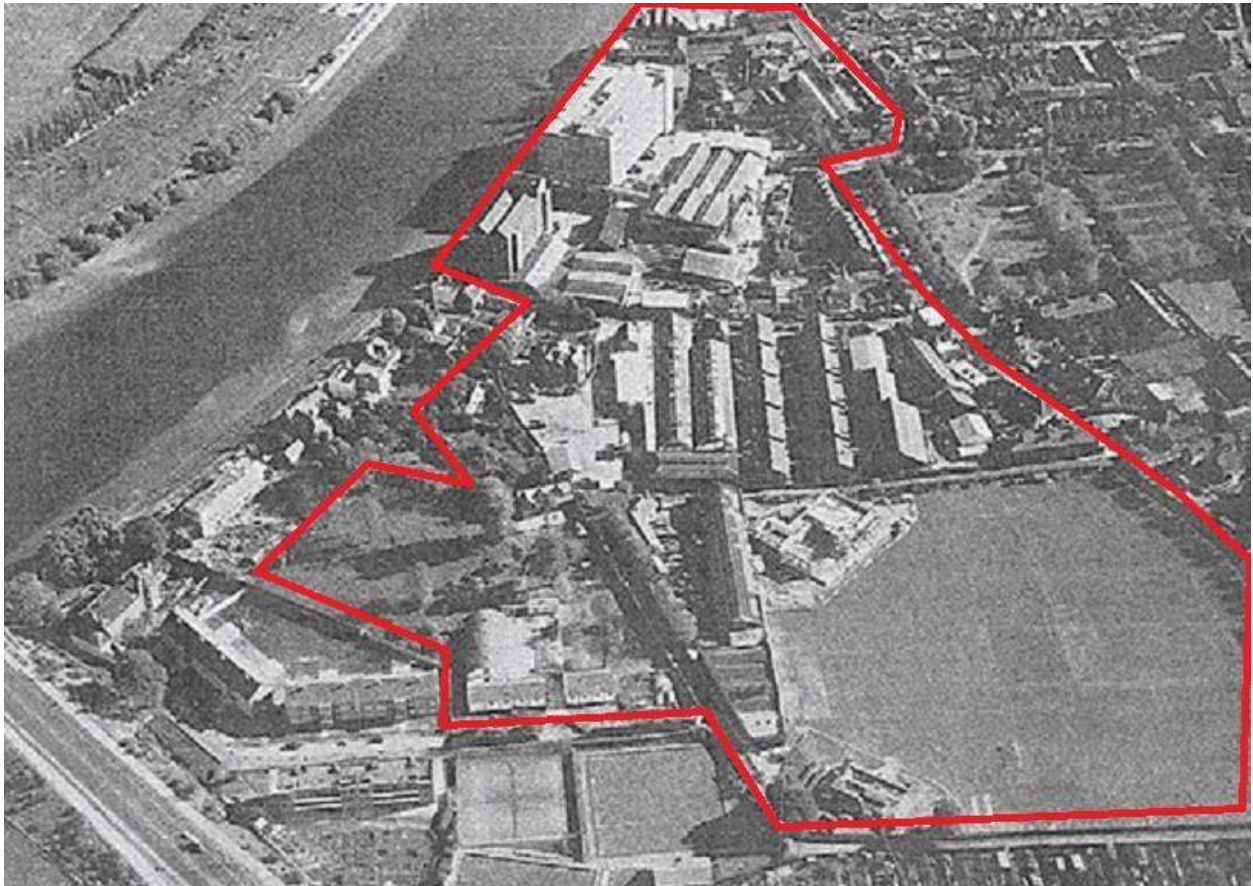
Figure 19: An alternative proposed design for the new tun block, from the northeast



Source: Richmond upon Thames Local Studies and Archives Centre

The Site was renamed as “Stag Brewery” in 1959 following the closure of the original Watney’s Stag Brewery in Pimlico³³. In the 1960s Watney’s became Watney Mann Ltd, and the brewery maintained its local role as a key employer with 1,400 people on the payroll. A number of new buildings were added to the Site during this period including a new, modern, entrance building (now demolished), an architects and surveyor’s office and a new boiler house (**Figure 20**).

Figure 20: 1962 Aerial Photograph of the Site



Source: Janes

In the 1970s the brewery had further additions as part of a masterplan undertaken by Douglas, Marriott, Worby and Robinson, which included new silos, a new general brewhouse, and a new fermentation block. The new buildings resulted in the demolition of the majority of the 19th century brewery infrastructure, as well as the 1937 tun block, leaving only the 1903 maltings block on the river and the 1869 bottling plant on the High Street. The alterations were complete by 1977, and the changes to the brewery complex are evident on the 1988 Ordnance Survey Map (**Figure 21**) and Late 20th century aerial view of the Site (**Figure 22**).

Figure 21: Extract from the Ordnance Survey Map. 1988



Figure 22: Late 20th century aerial view of the Site



In the early 1990s, Anheuser Busch leased the Site and it was adapted to brew the Budweiser in bottle and keg for the European market. This required the construction of a large new bottling and packing building in the early 1990. The Site has remained largely unchanged since the turn of the twenty first century (**Figure 23**). The Stag Brewery ceased operations in late 2015 and decommissioning of brewery infrastructure was undertaken following cessation of brewery activities. Works on-Site were undertaken in 2017 to remove the brewery fixtures and fittings.

Figure 23: Modern Aerial View of the Site



Source: Google Earth Pro (January 2022)

5. Site Analysis

Site visits were undertaken on 25th August 2017 and 15th December 2021. These provided an overview of the Site, the structures and heritage assets within it, and the contribution of the Site to the significance and setting of nearby heritage assets such as Listed Buildings, Conservation Areas and locally designated Buildings of Townscape Merit.

5.1.1 Site Context

The Site occupies a roughly triangular shaped footprint north of Mortlake Green and Mortlake Railway Station and to the west of Mortlake town centre. Ship Lane runs through the centre of the Site between the Jolly Gardeners and The Ship public houses. Abutting the south of the eastern side of the Site is Mortlake High Street, and to the south of the western side of the Site runs Lower Richmond Road. To the north of the eastern part of the Site runs the southern bank of the River Thames. Beyond The Ship to the west of the Site is Thames Bank, a river fronting road which comprises a number of Georgian and Victorian properties, some of which are Grade II listed. This runs west along the riverbank towards the Chiswick Bridge before turning south along Williams Lane. Williams Lane runs between Lower Richmond Road and Thames Bank, along the western boundary of the Site. To the east of the Site is the short section pedestrian route named Bulls Alleys which runs from the town to the river.

The bank of the River Thames, to the north of the east part of the Site, comprises an unsurfaced riverside path (towpath) with scrubby vegetation, with the exception of the section towards the north-east corner of the Site, which has been built up historically to provide space for a tram system and loading bay for Thames barges – as seen in **Figure 7** in Section 3.

5.1.2 Existing Buildings within the Site

As outlined in Section 4, the Stag Brewery underwent a large-scale modernisation process in the later 20th century, which included the final and considerable expansion of production westwards over Ship Lane. This also involved the wholesale demolition of the vast majority of the 19th century infrastructure that survived on the eastern part of the Site, leaving just three structures (WA1, WA2 and WA3) and sections of boundary walls (WA9, WA10 and WA11), dating from between the later 19th century and early 20th century. The western part of the Site mostly comprises large later 20th century industrial structures, apart from to the south-west, where there is an open playing field and cricket pitch. On the eastern side of the Site the buildings mostly comprise other large 20th century structures related to packaging and transportation.

Structures identified as being of heritage interest within the Site are shown on **Appendix A Figure 2** and considered in more detail in Section 6.

Modern Buildings / Structures

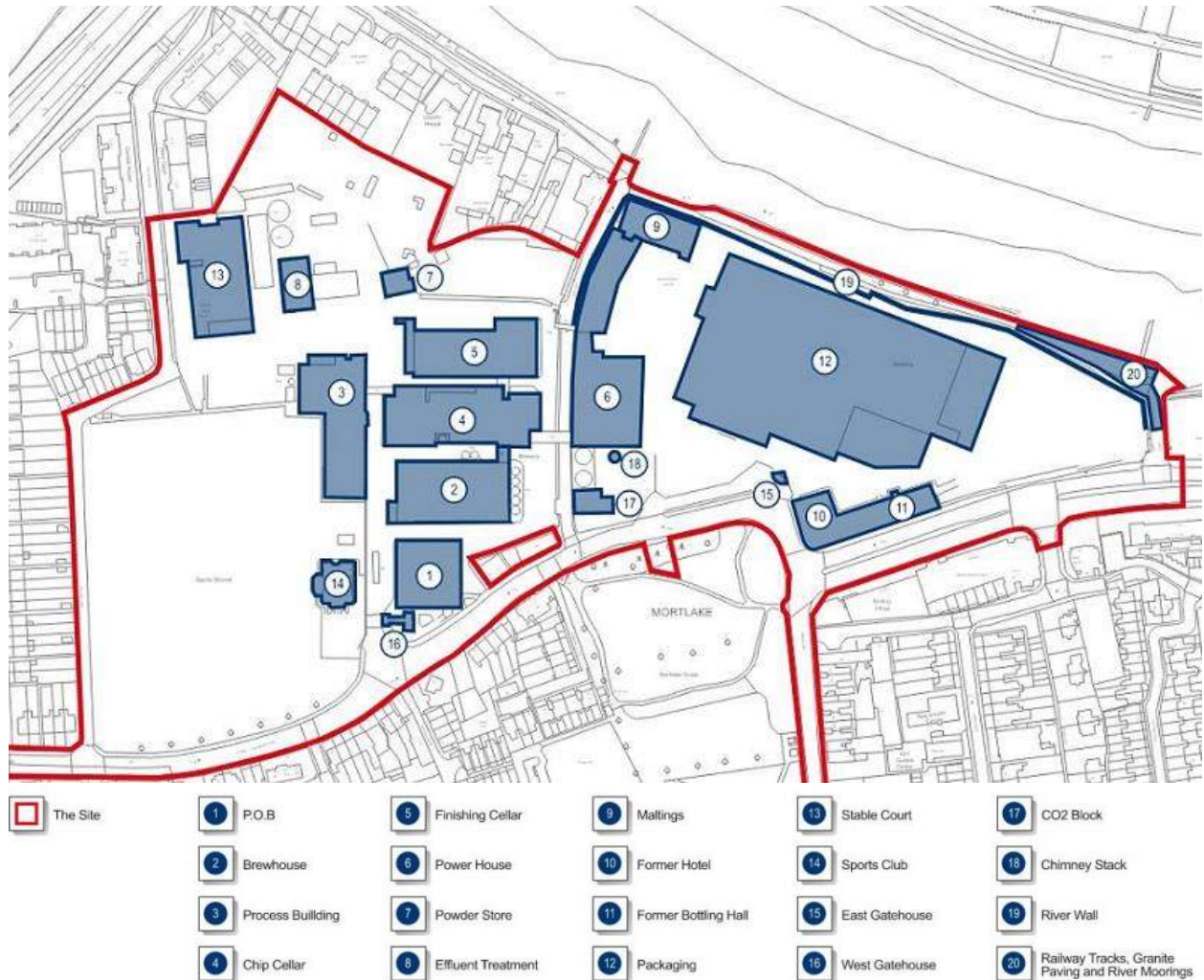
The modern structures within the Site are utilitarian in form and not considered significant from an architectural and historical point of view. An extract from an annotated site plan is below (**Figure 24**), which details their locations within the Site. The buildings include:

- **Offices (Building 1)** – located to the north-east of the main brewery entrance. Rectangular in plan, five storeys, concrete and glass construction.
- **Brewhouse (Building 2)** – large metal structure, six storeys in height, originally containing brewing tanks and other machinery, currently in the process of being removed.

- **Process Building (Building 3)** – located on the western side of the main entrance route, adjacent to the cricket pitch. Large, eight storeys in height, metal clad with a first floor level bridge to the Chip Cellar to the east.
- **Chip Cellar (Building 4)** – large industrial structure, four storeys in height, metal clad with large circular tanks on its north side, located on the east side of main entrance track.
- **Finishing Cellar (Building 5)** – large metal clad industrial building located just north of the Chip Cellar.
- **Power House (Building 6)** – located adjacent to east side of Ship Lane, a late 20th century brick and metal clad four storey structure with a central brick chimney stack and a separate, taller, concrete stack to the south (**Building 18**).
- **Powder Store (Building 7)** – small, single storey modern corrugated metal structure with corrugated pitched roof, to north of Finishing Cellar.
- **Effluent Treatment (Building 8)** – located north of Brewhouse in the west part of the Site. Brick and metal cladding, with black concrete treatment facility to east, as well as the brick foundations of two now demolished treatment tanks to the north. Two storeys in height.
- **Packaging (Building 12)** – otherwise known as the bottling halls, this is a large brick and metal clad flat roofed structure, taking up the majority of the interior of the eastern part of the Site. This has a pastiche mock-19th century façade in stock brick on its south side with Stag and Sunburst circular medallion inserted in above its main entrance.
- **Stable Court (Building 13)** – the Site’s former maintenance depot, a utilitarian four storey block of brick with a pitched metal clad roof in the north-west corner of the Site, with cleaning machinery for transport vehicles on its south side and a mechanics workshop on its western side.
- **Sports Club (Building 14)** – irregularly shaped two storey building of red brick and concrete with metal windows on west side of main entrance, acting as offices and the sports pavilion.
- **East Gatehouse (Building 15)** – single storey 20th century brick structure with sliding brewery gates behind, located east of Ship Lane.
- **West Gatehouse (Building 16)** – single storey brick and concrete entrance structure with ‘Stag Brewery’ sign on roof, located west of Ship Lane.
- **CO₂ Block (Building 17)** – Two storey building of brick, glass and metal clad construction, located adjacent to east side of Ship Lane.
- **Chimney Stack (Building 18)** – Concrete stack located to the south of the Power House (**Building 6**)

These structures are not considered to be of heritage interest and therefore are not considered further in this assessment.

Figure 24: Plan showing existing Buildings on Site



Buildings of Heritage Interest

As shown on Figure 2 in **Appendix A**, there are three locally listed buildings located within the Site which pre-date the 20th century development of the brewery and which are identified by LBRuT as BTMs. These are as follows:

- **Former Hotel Building (Building 10; WA1)** – Late 19th century building located at the junction of Mortlake High Street, Lower Richmond Road and Sheen Lane, formerly a public house and then a hotel.
- **Former Bottling Building (Building 11; WA2)** – Mid-19th century building located on the north side of Mortlake High Street, formerly the bottling plant for the brewery.
- **Maltings Building (Building 9; WA3)** – Early 20th century former Maltings building, located adjacent to the south west side of the River Thames.

Other Structures of Heritage Interest

- **Boundary Walls (Building 19; WA9, WA10 and WA11)** – Sections of the brick boundary walls to the north, east and south of the brewery site.
- **Railway Tracks, Granite Paving and River Moorings (Building 20; WA12)** – Historic structures located adjacent to the northern boundary wall, alongside the river.
- **Memorials (WA13)** – Memorial plaques within the southern boundary wall.
- **Historic Gates (WA14)** – Cast metal historic Watney's Brewery gates.

These non-designated heritage assets are considered in further detail in Section 6 and shown on Figure 2 in **Appendix A**.

6. Assessment of Significance

6.1 Significance Criteria

The intrinsic significance unique to each heritage asset can be defined as the sum of tangible and intangible values which make it important to society. This may consider age, aesthetic and the fabric of an asset as well as intangible qualities such as associations with historic people or events.

To assess the heritage significance of the Site and the identified heritage assets, this report has drawn guidance from NPPF³⁴ and Historic England³⁵, which recommends making assessments under the categories of: Archaeological, Historical, Architectural and Artistic Value. The assessment takes the Site as a whole, attributing a level for each category.

The significance of the Site and the identified heritage assets will be assessed using a number of significance ratings as set out in **Table 1**.

6.2 Heritage Assets within the Site

6.2.1 WA1: The Former Hotel Building: Building of Townscape Merit

The former Hotel building is a late 19th century, three-storey building constructed following the closure of Thames Street. The building is marked on late 19th century OS maps as a public house. It is located on the corner of Mortlake High Street and Lower Richmond Road, adjacent and connected to the former Bottling building that fronts the High Street. The former Hotel's frontage follows the curve of the bend in the road between the High Street and Lower Richmond Road (**Plate 1** and **Plate 2**). The north elevation of the building has a modern glazed lean-to structure at ground floor level. Areas of the brickwork to this elevation have been rebuilt. Since the 2017 walkover, the external condition of this elevation has deteriorated, glazed windows have been broken, and the door and window blocked (**Plate 3**).

The building is constructed of London stock brick, with dentilled string courses and corncicing, and segmental arched windows. The surviving original windows are timber sashes of later 19th century form, with large single panes of glass or large central panes with two thin flanking panes. On the curved section of the road the windows follow the curved plan form of the building. Other windows, particularly on the ground floor, have been replaced with poor quality modern casements. The interior has been used as offices for some years. The building was also modified in the 20th century, leaving little remaining internal features of interest, however, some original timber door surrounds, corncicing, skirting boards and panelling survive (**Plate 4**). There is also a heavy duty metal safe built by Edward Tann & Sons after 1912, following their move to No.117 Newgate Street³⁶, which remains at first floor level. Attached to the former Hotel's north-east side is a modern, 20th century canteen building of no heritage interest.

³⁴ NPPF, 2021

³⁵ Historic England 2017b

³⁶ Man, P. (Unknown Date). Edward Tann & Sones - Iron Safe Makers - The Storey of Britain's First Safemaker. Retrieved from Safeman: <http://www.safeman.org.uk/edwtann.htm>

Plate 1: External, bowed, elevation of Former Hotel, facing onto the roundabout (2017)



Plate 2: West facing elevation of Former Hotel (2021)



Plate 3: North facing elevation of Former Hotel (2021)



Plate 4: Surviving timber panelling to interior of Former Hotel (2017)



Overall, although the building has been modernised, it retains some features which contribute to its architectural value. This includes its characteristic curved façade, which has a townscape role in defining the street corner and historically would have formed a prominent entrance into the brewery site. Internally there is also some timber panelling, skirting and cornicing that survive. As part of the 19th century development of the Site, the building provides evidence of the history and former use of the Site, which contributes to its historic value. This is amplified by its group value with the other surviving historic structures on the Site. It also provides a tangible link to the former brewery and is likely to feature in local memory, which contributes to its communal value. The building is therefore considered to be of **Low** heritage significance.

6.2.2 WA2: The Former Bottling Building: Building of Townscape Merit

The former Bottling building abuts the southern boundary of the eastern part of the Site, and was formerly a bottling plant. The Mortlake Village Planning Guidance identifies that the building is of local historic and architectural importance mainly due to its façade³⁷. The façade of the building, which addresses the north side of Mortlake High Street, is constructed of London stock brick. This is three-storeys in height with lower ground floor, first floor and taller second floor. The principal elevation terminates at a parapet of varying heights and contains two decorative roundels / medallions and the large carved “Mortlake Brewery 1869” sign between them – suggesting that the building was built by this date. The parapet is capped symmetrically by carved stone cornicing / coping (**Plate 5**).

The basement level has small window openings (now boarded up) with segmental brick arches, the first floor has larger, six pane wooden casement windows with segmental brick arches – with the exception of one bay where a formerly larger opening has been blocked and replaced with a pointed arched window. The first floor is taller than the lower two, and contains ten blind arcades with small, high windows set within them. Above the pointed arch window of the first floor is a similar blocked opening with pointed brick arch. At either end of the second floor is a larger rectangular opening (the eastern one now blocked up) which contain timber doors, and were probably used for loading or unloading from that floor of the plant.

Plate 5 Southern elevation of former Bottling building (2017)



The Site facing elevations exhibit considerable evidence of the changes which have taken place in their surroundings. The eastern elevation was partially rebuilt in the 20th century, and is also scarred by the remains of an earlier structure, the roof line of which is clearly visible on the exterior of the surviving range. There is a modern portakabin, of no interest, attached to its eastern end. Its northern elevation, facing into the Site, is painted a dark red colour and contains multiple blocked openings relating to now demolished structures (**Plate 6**).

³⁷ London Borough of Richmond upon Thames, 2015

Plate 6 Northern, internal elevation of the former Bottling building (2017)



It was only possible to access the lower ground and first floors of the building during the Site visit, the upper levels having been boarded up some time ago. The interior of the eastern end of the lower ground floor, currently used as a workshop and spare parts stores, contains no fixtures and fittings relating to its brewing or bottling use, but does exhibit the cast iron columns and characteristic brick arches of its 19th – early 20th pre-concrete industrial building construction, which are of architectural interest (**Plate 7**). Whilst the first floor has seen some modern partitions added, the same is the case on this floor (**Plate 8**). The western part of the lower ground floor contains the former staff bar, the interior of which has been redecorated and reconstructed using modern brick that approximates the colour and texture of stock brick, and wooden panelling (**Plate 9**).

Plate 7 Interior of sub-ground floor of former Bottling building, illustrating brick arches and cast iron columns (2017)



In summary, when inspected in 2017, the building retains characteristic features that contribute to its architectural value, including the cast iron columns and internal brick arches, which are indicative of its industrial history. The principal façade of the building, with its decorative roundels and carved “Mortlake Brewery 1869” make a strong contribution to the streetscape along Mortlake High Street and also contributes to the building’s aesthetic value. There is no particular architect identified for the building, however, it is of value as it is illustrative of the former use of the Site. Its group value with the other surviving historic brewery structures on the Site also contributes to its historic and evidential value. Due to its prominent façade along Mortlake High Street, the building may feature in the collective memory of generations of local inhabitants, which contributes to its value. Overall, the building is considered to be of **Low** heritage significance.

Plate 8: Interior of first floor of former Bottling building, illustrating brick arches and cast iron columns (2017)



Plate 9: Interior of staff bar on lower ground floor (2017)



6.2.3 WA3: The Maltings Building: Building of Townscape Merit

The Maltings Building is located in the north-west corner of the east part of the Site (east of Ship Lane). This is the most recognisable and prominent of the historic structures within the Site, as well as in views from the other side of the River Thames and from along Chiswick Bridge. Although the existing building represents only part of the original Maltings structure, the Stag Brewery Planning Brief SPD outlines that:

“Whilst it is recognised that the building survives only in a truncated form, it is an important local landmark (identified in the Council’s list of Building’s of Townscape Merit)”³⁸

The building is between eight and nine storeys in height, the two eastern bays being part of the slightly taller tower block, and the remainder being the malting floors. The principal construction material is London stock brick, with red and blue engineering brick detailing. The building has dentilled cornicing and strings, in common with other historic structures on the Site. The northern elevation comprises ten bays, each containing a single window or, at the eastern end, a blocked access. Between the bays are projecting pilasters, within which are cast iron tie-rod pattress plates that support the iron frame of the interior structure. The eastern two bays extend an extra storey up to a split pediment roof structure, each half of the tympanum containing two red brick oculi. The elevation clearly exhibits the low floor to ceiling heights that existed within the building historically (**Plate 10**).

Plate 10: North facing elevation of Maltings (2017).



The south elevation, facing into the Site, is similar to the northern elevation, except for two projecting elements that protrude from the second and tenth bays. There is also considerably more evidence of change to this elevation, with obvious reconstruction having taken place at ground floor level. All the windows, like the north elevation, have been blocked (**Plate 11**). The 2021 walkover survey noted that blue cabling has been attached to façade of the building, approximately 1m from the ground.

³⁸ London Borough of Richmond upon Thames, 2011; Supplementary Planning Document Stag Brewery, Mortlake SW14 Planning Brief, July 2011.

Plate 11: South facing elevation of Maltings (2017)



The western elevation, facing onto Ship Lane, replicates the architectural composition of the northern elevation in terms of detailing. It comprises four bays, split at roof level into two split, shouldered pediments, reflecting the double pitched roof which covers the malting floor part of the building. This elevation is also prominent and recognisable in longer distance views from Chiswick Bridge (**Plate 12**)

The surviving structure represents only part of the building originally constructed in 1902-3, and the evidence of the now demolished kilns and malting bins that were located on the eastern side of the surviving structure is shown on the lower half of the east elevation, where it has been rebuilt using common brick. This elevation is also much plainer architecturally, and has had windows inserted since the demolition of the kilns and malting bins (**Plate 13**).

Plate 12: West facing elevation, as seen from Chiswick Bridge (2017)



Plate 13: East facing elevation of Maltings



The maltings floors to the interior of the building are no longer extant, however, some of the internal structure remains. This surviving fabric comprises the original cast iron columns that would have formerly supported the floors, between which span iron I-beams. Due to the removal of the floor plates, this interior structure is presently supported by scaffolding (**Plate 14**). The roof structure is visible internally and appears to consist of a mixture of historic and modern replacement timber joists and beams. To the south east corner of the building an original staircase is retained, constructed of cantilevered concrete treads with metal handrails (**Plate 15**).

Plate 14: Interior of Maltings building, showing cast iron columns and iron I-beams (2017)



Plate 15: Staircase to interior of Maltings building



Externally, the building retains its historic character and industrial appearance and features that contribute to its architectural value, including its windows, which are illustrative of the shallow floor to ceiling heights that existed historically, and the cast iron pattress plates, which are a characteristic feature of the building. Although the maltings floors have been removed, the internal structure that survives enables an understanding of the former layout of the Maltings building. The building is not attributed to a particular architect, however, it derives historic value from its association with the long history of brewing on the Site and connection to well-known brewing companies. As a prominent landmark building within the local townscape, its value is also based on its contribution to local distinctiveness and as it is synonymous with the Oxford and Cambridge Boat Races. It also been the subject of illustrations, and therefore has an artistic value (**Figure 6** and **Figure 8**). The Maltings building is therefore considered to be of **Medium** heritage significance.

6.2.4 WA9, WA10 and WA11: Boundary Walls

Sections of the boundary wall of the eastern part of the Site are, in some places, the remaining elevations of earlier buildings which have now been demolished. These are not uniform, and represent a number of phases of development on the Site. Two annotated panorama images of the boundary walls can be found in **Appendix D**, with numbered sections of wall. The wall Sections noted can be cross referenced to the text below.

WA9: Northern Boundary (refer to Appendix D)

Section 1 of the north boundary abuts the Maltings to the east, and is constructed using reclaimed London stock brick with engineering brick and concrete detailing and coping. It is surmounted by an internally fixed advertisement for Budweiser beer which faces the Thames. This is a late 20th century wall, and of no historic interest (**Plate 16**).

Plate 16: Section 1 - Late twentieth century wall (2017)



Section 2 of the north boundary wall is ten bays in length, constructed using historic London stock brick, with modern concrete coping, but originally dating from the mid-19th century. It comprises two storeys, with blocked window openings with red brick arches and sloping concrete sills (**Plate 17**). It represents the surviving section of a 19th century element of the brewery, and is therefore of some historic interest and architectural character.

Plate 17: Section 2 - Mid 19th century wall (2017)



Section 3 is a separate section of 20th century brick wall, again constructed using London stock brick with red brick and concrete detailing, including soldier course lintels over the now blocked window openings (**Plate 18**). This wall represents the lower section of the now demolished 1937 Tun Block (**Figure 14**).

Plate 18: Section 3 - Wall of 1937 Tun Block



Section 4, east of the 1937 Tun Block, likely dates from the mid-19th century. Whilst conforming to the general pattern of London stock brick and red and blue engineering bricks used for detailing, this section of wall is of more interest architecturally than the sections further west due to the greater use of elaborate and high-quality brickwork, rounded blue engineering window returns, and embossed panels above now blocked windows (**Plate 19**).

Plate 19: Part of the wall in Section 4 (2017)



Section 5 is a short section of the boundary that also contains the surviving north east gate pillar of the 19th century brewery. This is constructed of London stock brick, and has been reinforced using reclaimed bricks of various types at some point in the late 20th century (**Plate 20** and **Plate 21**).

Plate 20: Section 5 - including gate pier (2017)



Plate 21 Interior elevation, showing gate pier and surviving hinge socket (2017)



Sections 6-7 of the wall are late 20th century and 19th century in date respectively, the former having been constructed when the northern boundary gateway was sealed. These were designed to emulate the earlier wall, except without additional red brick detailing and with simpler blind window opening returns (Plate 22). Both these sections have been reinforced, like Section 5, in the later 20th century, probably against flooding. The 2021 walkover survey noted that this section of the wall has been partially painted over since the 2017 survey.

Plate 22 Sections 6 and 7 of the northern wall (2021)



The interior elevations of all the Sections of the northern boundary are painted and reinforced using metal posts and concrete buttresses (Plate 23 and Plate 25). The 2021 walkover survey noted that plastic blue cable had been attached to the internal elevation of the northern boundary wall. The condition of sections of the wall were noted to be degrading (see **Plates 24, 25, and 26**).

Plate 23: Interior elevation of north boundary wall (2017)



Plate 24: Interior elevation of north boundary wall (2021)



Plate 25: Interior elevation of north boundary wall (2021)



Plate 26: Interior elevation of north boundary wall (2021)



WA10: Eastern Boundary

The boundary wall on the eastern side of the Site comprises two sections of wall that run along Bulls Alley between Mortlake High Street and the bank of the Thames. These were constructed using London stock brick and comprehensively rebuilt during the 20th century, including the incorporation of a flood defence wall and pedestrian steps in the alley itself. At its southern end is the gate pier for the south eastern entrance gateway into the Site (**Plate 27**). The 2021 walkover noted that since 2017, parts of the wall has been painted over.

Plate 27: View looking south along Bulls Alley (2021)



WA11: Southern Boundary (refer to Appendix D)

This boundary (**Plate 28** and Plate 29) comprises two sections. Section 1, which adjoins the former Bottling building, is a historic wall that likely dates from the mid-19th century. This was constructed using London stock brick, although has areas of repair and repointing. This section is six bays in length, with each bay demarcated by recessed blocked window openings on two storeys, which at some point previously would have served as windows to a building behind. This section of the wall is therefore of some historic interest.

Section 2, at the easternmost end, comprises a section of older, probably 19th century, wall that has been rebuilt in the 20th century to varying heights. It steps down at the eastern end to meet the gate piers of the southeast entrance gateway to the Site. The interior of the boundary wall is, like the north facing boundary, painted in deep red paint, and structurally reinforced using steel supports and concrete/brick buttresses.

The remainder of the southern boundary wall is modern and therefore of no historic interest.

Plate 28 External elevation of south boundary wall with section 1 (left end) and section 2 (right end) (2017)



Plate 29 Internal elevation of south boundary wall (2017)



Summary

Overall, the boundary walls provide evidence of historic structures that previously existed on the Site, with blind windows indicating the former locations of these buildings. This contributes to their architectural value. The architectural interest is also increased by the elements which have a higher aesthetic value, particularly Section 4 of the northern boundary wall, which displays more elaborate detailing. The boundaries are representative of the industrial history of the Site and are likely to feature in the collective memory of local inhabitants and former employees, which contributes to their historic value. The majority of the boundary walls are considered to be of **Low** heritage significance. Certain sections of the boundary walls are however assessed as being of **Neutral** heritage significance. These include Section 1 and Section 6 of the Northern Boundary Walls, as they are late 20th century walls and the Eastern Boundary Wall, which has been significantly rebuilt in the 20th century.

6.2.5 WA12: Railway Tracks, Granite Paving and River Moorings

Directly to the north of the northern brick boundary wall of the Site and adjacent to the frontage of the River Thames, are sections of surviving historic railway tracks, granite paving setts and timber river moorings associated with the Site (Plate 30, Plate 31 and Plate 32). The surviving sections of railway track would have historically been linked to networks within the Site, to allow for goods to be transferred to the riverside and loaded onto boats for delivery.

Plate 30 Surviving sections of railway track (2017)



Plate 31: Granite paving setts (2017)



Plate 32: Timber river moorings along the riverside (2017)



The railway tracks, granite paving and river moorings are therefore of significance as surviving historic elements associated with the Site, which are illustrative of the industrial history of the Site and the wider area. Although these elements survive only in part, together they allow an enhanced understanding of the former interrelated historic functions and link between the former Stag Brewery and the River Thames. They are therefore of historic value and of some evidential value reinforcing the understanding of the link between the Site and the Thames. They are not considered to be of particular aesthetic or communal value. Overall, the railway tracks, granite paving and river moorings are of **Low** heritage significance.

6.2.6 WA13: Memorials

Inserted into the modern southern boundary wall of the Site are two memorial plaques (refer to Plate 33 and Plate 34). The larger of the two is a War Memorial commemorating members of staff from the original Watney's Stag Brewery in Victoria who died between 1914-18, and 1939-45. The second commemorates the death of two engineers from the brewery who died attempting to rescue another during a fire in 1975. Both are engraved stone, embellished with gold in places. As the plaques form part of the modern section of boundary wall they are not situated in their original context.

Plate 33: Original Stag Brewery War Memorial (2017)



Plate 34: Memorial to Terry Ainsworth and Bob Sharp, Mortlake Engineers (2017)



Although the memorials are not sited in their historic context, they are of historic value as they provide an understanding and commemoration of past events. The memorials are not considered to be of any architectural value. The memorials are therefore considered to be of **Low** heritage significance.

6.2.7 WA14: Historic Gates

Two sets of cast metal historic Watney's Brewery gates are currently located within the Site. One set is stored against the southern boundary wall abutting the cricket pitch, and the other is currently installed in the wall facing William's Lane, on the western side of the Site (**Plate 35** and **Plate 36**). These gates have been removed from their original locations on Lower Richmond Road³⁹ in order to widen the access into the Site and therefore have lost their historic context, however, they are of some historic interest as part of the historic fabric of the Site.

Plate 35: Gates Installed in West Site Boundary Wall (2017)



Plate 36: Second set of gates stored on Site (2017)



The historic gates are surviving elements of the 19th and early 20th century brewery site and therefore are of historic value in illustrating the former use of the Site, although this value is limited due to their removal from their historic context. They are also of some limited architectural value and, as they were formerly

³⁹ Donald Insall Associates Ltd., September 2009, Stag Brewery, Lower Richmond Road, Mortlake, SW14 - Historic Buildings Report: Third Draft.

located at the main entrance to the brewery site on Lower Richmond Road. They are considered to be of **Low** heritage significance.

6.3 Statement of Significance for the Site

The following section assess the significance of the Site, based on NPPF⁴⁰ values (see **Table 2**). The assessment does not consider the archaeological value of the Site as this is assessed separately elsewhere. The assessment considers to contribution of the built heritage resource to the significance of the Site only.

Historic Value: Medium

An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

The historic value of the Site is considered to be **Medium**. There is evidence of brewing on the Site since at least the mid-sixteenth century, and possibly earlier during the late fifteenth century. This activity had connections to local individuals such as the two Phillips', and less directly to Thomas Cromwell. The brewery also had significant connections to national brewing companies, such as Watney's, and has contributed to the economy and growth of Mortlake as a settlement since at least the 19th century. It has also long been associated with the finish line of the Cambridge and Oxford University's annual Boat Race.

Due to the longevity of its history, the Site represents a continuity of use throughout many generations of local inhabitants. It is therefore probable that it features strongly in local memory and association, especially with those who may have been employed there. The distinctive architecture and aesthetic of the older surviving sections of the brewery make a tangible contribution to that memory. In addition, the Watney's War Memorial and Ainsworth and Sharp Memorial also refer to historic events of local value.

Architectural and Artistic Value: Medium / Low

Interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.

The Site is considered to be of **Medium / Low** aesthetic value with particular reference to the earlier existing buildings within the Site. Their traditional architectural style and detailing contributes to a sense of place in the near vicinity of the buildings and links the buildings aesthetically to the London region. This is particularly the case on the southern part of the east side of the Site with the historic façade of the former bottling plant, with its decorative medallions and inscribed Mortlake Brewery sign. The 1903 Maltings building on the Thames presents a very discernible historic industrial aesthetic. Its height and verticality make it a prominent landmark building in views up and down and across the River Thames in this location in which it makes a positive contribution to the riverscape. Some modern alterations to the earlier buildings, as well as modern structures in the Site, detract from the architectural value of the Site as a whole.

The Brewery Stag has been featured in artistic representations and therefore there is has an artistic value (e.g. **Figure 6** and **Figure 8**). These representations show the Site from the River Thames, confirming this aspect of the Site as being a key view, and confirms the relationship and the contribution of the river and the significance of the Site.

⁴⁰ NPPF 2021

6.4 Summary of the Significance of the Site

Overall, the heritage significance of the Site is derived from its historic value as a site where brewing has been undertaken for hundreds of years and its connection to well-known brands such as Watney's and, more recently, Budweiser – as well as more indirect links to local businessmen and possibly also Thomas Cromwell. These aspects also contribute to its value due to the Site making a strong contribution to local distinctiveness.

The value of the Site is also based on its opportunity to provide evidence for the technical production of beer and ale and it also contributes to an understanding of the physical and economic development of the settlement of Mortlake. The Site's architectural and aesthetic value also contributes to its significance, and also to that of the Mortlake / Mortlake Green Conservation Areas, by virtue of its boundary walls, the curved façade of the former Hotel building facing Mortlake Green and the presence of the historic river facing structures in longer distance views up and down the River Thames. This aspect is, however, negated in some respects by the domineering appearance of the more recent large-scale industrial structures within the Site, particularly in views from within the Conservation Areas, and from outside the Site in views across the River Thames. The group value of the surviving historic structures on the Site is also important when considering the Site holistically.

6.5 Heritage Assets outside of the Site

Given the size of the Site, and its prominent location on the bank of the River Thames, there are a number of designated and non-designated heritage assets located within its environs, the significance of which could potentially be affected by the redevelopment of the Site (refer to **Appendix A**). As such, an assessment of the significance of these heritage assets, including the contribution of setting, and the Site as an element of setting, is provided below. For the purposes of this assessment the assets are considered as a group where appropriate.

6.5.1 Heritage Assets to north-west of the Site, alongside Thames Bank

This group comprises the following heritage assets:

- Thames Cottage: Grade II [NHLE 1261996];
- Tudor Lodge: Grade II [NHLE 1252970];
- Thames Bank House: Grade II [NHLE 1252971];
- Leyden House: Grade II [NHLE 1252972];
- Riverside House: Grade II [NHLE 1254107];
- Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court: Grade II [NHLE 1261445]
- The Ship Public House, Thames Bank (WA4);
- The Old Stables, Thames Bank (WA5);
- 1-14 Parliament Mews (WA6);
- 6 and 7 Thames Bank (WA7);

This group of listed and locally Listed Buildings forms a group of 18th and 19th century Georgian properties (excluding 1-14 Parliament Mews), located alongside the southern bank of the River Thames (**Plate 37, Plate 38, Plate 39, Plate 40, and Plate 41**). Their architectural interest is principally derived from their street frontages and their commonality of materials, character, age, scale and architectural detailing. The properties are constructed of brick, with the majority rendered or cement faced, and are

largely of symmetrical compositions with sash windows.

As surviving elements of the 18th and 19th century development of Mortlake, the heritage assets are representative of the historic development of the area from this period. The Listed Buildings are also illustrative of the architectural style applied to domestic buildings and public houses during this period and are indicative of the social history of the area and the domestic aspirations of their occupants. Their shared historic development and the associated uses of the domestic properties contribute to their heritage value. The heritage assets form a distinctive group along the bank of the River Thames, which amplifies their heritage interest.

Plate 37: Grade II Listed Thames Cottage (2017)



Plate 38: Grade II Listed Tudor Lodge, Thames Bank House and Leyden House (2017)



Plate 39: Building of Townscape Merit 6 and 7 Thames Bank (2017)



Plate 40: Building of Townscape Merit 'The Ship' Public House with Maltings building beyond (2017)



Plate 41: Building of Townscape Merit 6 and 7 Thames Bank and corner of Grade II Listed Riverside House (2017)



The garden wall adjacent to Riverside House and Reid Court (**Plate 42**) is an early 18th century structure constructed of red brick. It originally formed the boundary wall to Riverside House, which ran between Riverside House and Cromwell House. Its significance is primarily drawn from its group value and associations with Riverside House, and their shared character and materiality, which are representative of local building techniques, as well as its links to Cromwell House.

Plate 42: Grade II Listed Building Garden Wall to east of Number 1-8 Riverside House (2017)



1-14 Parliament Mews is a modern group of apartments built in 1992, designed in a Neo-Georgian style (**Plate 43**). It is therefore assumed that their value is derived from their high quality aesthetic and what they contribute to the heritage asset group as a whole, particularly in views across the river.

Overall, these heritage assets are considered to be of **Low** to **Medium** heritage significance.

Plate 43: Building of Townscape Merit 1-14 Parliament Mews (2017)



Contribution of Setting and the Site to Significance

The wider setting of the heritage assets broadly comprises the open green spaces of Dukes Meadows to the north-east, and Mortlake Crematorium and Fulham Cemetery to the west, to the opposite side of Clifford Avenue. To the south is the dense urban townscape of Mortlake, which incorporates Mortlake Green Conservation Area and part of Mortlake Conservation Area, of which the heritage assets form a part. The townscape to the south is predominantly characterised by residential buildings dating from the 18th century onwards, with pockets of later, more modern development. The surviving earlier 18th century elements of the townscape that survive therefore make a positive contribution to the significance of the heritage asset group by virtue of their shared historic development.

As the heritage assets are situated on the south bank of the River Thames, the river dominates the immediate setting and experience of the assets to their north east. It forms an attractive element of setting and part of the historic context of the heritage assets, and therefore contributes positively to their significance. The river frontage provides panoramic views along the river, both towards and away from the heritage asset group, including views towards the Grade II listed Chiswick Bridge immediately to the north west of the assets. Chiswick Bridge is an attractive and high quality structure, which therefore makes a positive contribution to the significance of the heritage assets as part of their immediate setting.

The Site forms part of the immediate setting of the heritage assets to their south and east, with the northern boundary of the Site abutting the southern boundaries of the assets, and the locally listed 'The Ship' public house directly adjacent to the Maltings building on the opposite side of Ship Lane. The existing historic buildings and structures within the Site, which comprise the former Hotel building, the

former Bottling building, the Maltings and the historic boundary walls, contribute positively to the significance of the heritage assets as attractive elements of the historic brewery site, particularly the Maltings, which is prominent in views of the heritage asset group from Chiswick Bridge and across the River Thames. This contribution is lessened, however, by the presence of the large scale, industrial 20th century brewery structures on the Site, which are visible above the heritage asset group and dominate in views of the assets along and across the river (**Plate 44**). While the Site has historically contained structures of similar height and mass, these 20th century buildings detract from the appreciation of the heritage assets in general views up and down the Thames due to their low aesthetic quality, and limit the positive contribution of the historic landmark structure of the Maltings in terms of the Site's overall contribution to the significance of the heritage asset group.

Plate 44 View from the north east end of Chiswick Bridge towards the heritage asset group (2021)



The listed early 18th century wall adjacent to Riverside House is largely enclosed by the later blocks of flats of Reid Court on Williams Lane, leaving its setting as very tightly confined around the structure itself, with little contribution to its significance made by the Site.

6.5.2 Gateway, formerly to Cromwell House (Grade II Listed Building)

The listed gateway is constructed of yellow bath stone piers, which date from circa 1700, and early to mid-18th century wrought iron gates. The piers have rusticated masonry and are topped with Portland stone caps with ball finials, of a later date than the piers (**Plate 45**). The heritage asset was formerly located to the frontage of the site of Cromwell House, originally the Thames-side manor house of Mortlake, but was relocated in the 1960s when the Site was redeveloped.

The high-quality materials of the listed gateway are representative of the importance of the former manor

house and the high status, wealth and aspirations of the former landowner and contribute to its architectural interest. Although the gateway is no longer in its original context, it remains illustrative of its historic use and provides a tangible link to the former manor house.

The listed gateway is considered to be of **Medium** heritage significance.

Contribution of Setting and the Site to Significance

The wider setting of the Grade II listed gateway is consistent with that of the heritage asset group assessed above, and therefore a description is not repeated here.

Due to the relocation of the heritage asset subsequent to the demolition of Cromwell House, it is now largely devoid of any elements of its historic setting. The gateway is situated on the north side of the bend in Williams Lane, directly to the north-west of Watney's Sports Ground, which forms part of the Site. This forms an attractive green element of setting, which enhances the appreciation of the heritage asset. The sports ground has historically consisted of open space as evidenced by historic OS maps. It therefore makes a positive contribution to the significance of the listed gateway. This contribution is compromised, however, by the view of the large modern brewery structures within the Site (**Plate 45**).

To the west, the heritage asset is bordered by early to mid-20th century housing and directly to the north and east is enclosed by modern flats. These elements of setting are not considered to contribute to the significance of the listed gateway and highlight the detachment of the asset from its historic context.

The Site is located immediately adjacent to the south-east and east of the listed gateway. As noted, the sports ground within the Site is considered to make a positive contribution to the significance of the asset, although this is lessened by the view of the modern buildings. The north-west portion of the Site shares a historical link with the listed gateway, being built on part of the former site of Cromwell House. However, it is considered that overall, the Site does not contribute to the particular significance of the heritage asset.

Plate 45: Grade II Listed Building Gates to Cromwell House within their setting (2017)



6.5.3 Chiswick Bridge and Attached Balustrades (Grade II Listed Building)

The Grade II listed Chiswick Bridge is a reinforced concrete arch bridge over the River Thames, which was constructed in 1930-33 (**Plate 46** and **47**). The bridge was designed by engineer Alfred Dryland and architect Herbert Baker and has a distinctly Georgian character. It is clad in Portland stone and has three spans, with a polygonal viewing platform to each side. The centre span of the bridge is the longest concrete arch of any bridge spanning the Thames.

Plate 46: Grade II Listed Building Chiswick Bridge (2017)



Plate 47: Grade II Listed Building Chiswick Bridge from south bank (2021)



The heritage asset is a prominent feature within the local townscape, particularly in views along the Thames. The listed structure is representative of the early 20th century development of Mortlake and was constructed as part of a scheme to relieve traffic congestion to the west of London. It is therefore indicative of the economic history of the area and the development of transport infrastructure during this period. Chiswick Bridge is synonymous with the Oxford and Cambridge boat race, being located close to the finish line, and therefore has some communal value.

Chiswick Bridge is considered to be of **Medium** heritage significance.

Contribution of Setting and the Site to Significance

Chiswick Bridge carries the A316 (Clifford Avenue) over the River Thames, between Mortlake on the south bank and Chiswick on the north bank. It is therefore experienced in kinetic views as a result of both vehicular and pedestrian traffic crossing the bridge, as well as in wider views along the Thames. To the north of the heritage asset is a sports ground associated with Quintin Boat Club and to the west and east are Mortlake Crematorium and Duke's Meadows respectively, which are each bordered by trees and vegetation along their Thames-side boundaries. These areas provide attractive green elements of setting which complement the appreciation of the listed structure and therefore contribute positively to its significance.

The River Thames forms the principal aspect of the setting of Chiswick Bridge and contributes positively to its significance due to its associative relationship. From the listed bridge are long distance views along the Thames in both directions, with the viewing platforms providing optimum vantage points. To the north-west, the views primarily comprise the riverside trees and vegetation, with interspersed buildings and high-rise towers against the skyline in the distance. To the south-east, the views incorporate the row of listed and locally listed buildings along the south bank, which contribute positively to the significance of the heritage asset as attractive high-quality buildings that form part of the assets historic context.

The Site is prominent in views from Chiswick Bridge, with the distinctive Maltings building forming one of the key elements of the experience of the listed bridge and therefore contributing positively to its significance. As identified previously however, the modern brewery structures that dominate views from the bridge diminish this contribution. The Site is indicative of the industrial heritage of the area and its riverside location is illustrative of the former links between the River Thames and the Site. The Site as a whole is therefore considered to make a positive contribution to the significance of Chiswick Bridge, albeit that this contribution is limited due to the lack of surviving historic buildings / structures on the Site.

6.5.4 Mortlake Conservation Area and Listed Buildings on High Street

This group comprises the following heritage assets:

- Parish Church of St Mary: Grade II* [NHLE 1357705]
- Acacia House: Grade II [NHLE 1065426]
- 117, High Street, Grade II [NHLE 1065427]
- Suthrey House with Attached Railings [NHLE 1286039]
- Mortlake Conservation Area
- 61-69 Mortlake High Street (WA20)

Mortlake Conservation Area was designated in September 1982 and comprises an area incorporating the historic core of Mortlake, focussed around Grade II* Listed Building St. Mary's Church⁴¹.

Grade II * St. Mary's and its surrounding paths and graveyard mark the heart of the original village. The church was founded in 1348, although the current building dates to the 1543. The building retains the stone, flint and brick tower and cupola (**Plate 48**).

Along the High Street to the north of the church, as well as to the south west of the church on Alder Road and Fitzgerald Road, the Conservation Area retains a number of 18th century houses and brick terraced cottages. These retain original architectural details, such as bay windows and decorative metalwork, which contribute to the character and appearance of the Conservation Area.

⁴¹ London Borough of Richmond upon Thames, 2018b, Mortlake 33. Conservation Area Statement. Available at https://www.richmond.gov.uk/media/13276/conarea33_a3_rgb.pdf

The section of the Conservation Area along the north side of the High Street and on Thames Bank, fronting onto the River Thames, incorporates a fine group of mostly 18th-century buildings, including the Grade II Listed Acacia House, 117 High Street and Suthrey House with Attached Railings. The later 19th and 20th century development along the river frontage is also sympathetic to the style and scale of the earlier buildings. This section of the Conservation Area, particularly from White Hart Lane to Ship Lane, is of interest in reflecting the industrial history of this part of the Thames. There are also a substantial amount of trees that survive, which contribute to the cohesive character of this area.

The Conservation Area includes part of the Site, incorporating the northern boundary wall, Maltings building, former hotel and former Bottling building within its boundary. The Stag Brewery Planning Brief SPD⁴² identifies that all three buildings and the section of boundary wall contribute, in varying degrees, to the significance of the Conservation Area.

No 61-69 Mortlake High Street (WA20) lies on the site of a former maltings, which is depicted on 18th century mapping of Mortlake (**Figure 2**). It is located to east of the Site. The site of the Maltings was redeveloped in the 1990s, which included the demolition of buildings within the plot and the refurbishment and extension of retained buildings for residential use. The building retains architectural elements associated with the former industrial use of the site and contributes to the character of the Conservation Area.

The Grade II* Church of St Mary is of **High** heritage significance. Grade II Listed Acacia House, 117 High Street, Suthrey House with Attached Railings and Mortlake Conservation Area are considered to be of **Medium** heritage significance. No 61-69 Mortlake High Street is of low value.

Plate 48: Grade II* Listed Building Church of St Mary (2021)



⁴² London Borough of Richmond upon Thames, 2011.

Contribution of Setting and the Site to Significance

The setting of the Grade II* Listed Building Church of St Mary comprises its church yard, within which it is positioned, and the surrounding development of Mortlake. Historic Mapping from the early 19th century shows that the churchyard within which the church is located was already comparatively small by this time and surrounded by buildings. The Church is positioned along Mortlake High Street, within the historic core of the settlement, and it therefore the setting does contribute to the significance of the heritage asset, although most of its value is drawn from its historic and architectural interest.

The setting of the Conservation Area, Grade II Listed Buildings Acacia House, 117, High Street, Suthrey House with Attached Railings and non-designated 61-69 Mortlake High Street comprises the River Thames to the north, and the varied urban townscape of Mortlake to the east and south. The River Thames forms a fundamental aspect of the setting of the riverside section of the Conservation Area and heritage assets contained within it, as it provides an appreciation and understanding of the industrial history of the area, and therefore contributes positively to the significance of the Conservation Area. The surrounding townscape is varied in nature, with areas of interspersed later development, however, the surviving 18th century development is considered to contribute positively to the Conservation Area's significance, by virtue of its shared age and historic development.

To the west is the portion of the Site not incorporated within the Conservation Area, and Mortlake Green, which is considered to contribute positively to the Conservation Area as an attractive green element of setting.

As outlined above, part of the Site falls within the Conservation Area boundary and these elements of the Site are considered to make a positive contribution to the significance of the Conservation Area, as surviving elements of the historic brewery site. The remainder of the Site, however, is not considered to contribute to the significance of the Conservation Area and the modern brewery structures within it detract from the appreciation, character and appearance of the Conservation Area.

6.5.5 Mortlake Green Conservation Area

Mortlake Green Conservation Area was designated in 1988 and is bounded by the railway line, Lower Richmond Road, Sheen Lane and Rosemary Lane. It includes Buildings of Townscape Merit, which contribute positively to the character of the Conservation Area (including The Tapestry Public House (WA15); and buildings along Lower Richmond Road (WA16, WA17, WA18 and WA19)).

The Conservation Area is predominantly characterised by the green and its surrounding buildings, the stock brick terraced properties along Lower Richmond Road and the groups of terraced properties concentrated to the west of the green. The green and its associated trees and vegetation provide an attractive, informal green space, which is in contrast to the heavy traffic along Lower Richmond Road and Sheen Lane. The green is bordered on its east and west by groups of BTMs along Sheen Lane and Cromwell Place, which contribute to its character.

The portion of Lower Richmond Road that falls within the Conservation Area includes a row of two and three storey stock brick terraced properties which are designated as BTMs. These properties contribute to the character and appearance of the Conservation Area and provide a contrast to the modern brewery structures that dominate the opposite side of the road. The Tapestry public house and the Jolly Gardeners public house are attractive buildings situated opposite to one another, which provide a 'gate' to the green. The buildings to the west of the green include attractive groups of terraced properties, however, the block of flats on Rosemary Lane detracts from the appreciation of the properties on Rosemary Terrace.

Mortlake Green Conservation Area is considered to be of **Medium** heritage significance.

Contribution of Setting and the Site to Significance

Mortlake Green Conservation Area is enclosed by the mixed townscape of Mortlake to its west, south and east, and the Site to its north. On its eastern boundary it adjoins Mortlake Conservation Area, which is considered to make a positive contribution to the significance of the Conservation Area as part of its historic context.

Directly to the north-east of the Conservation Area is the former Hotel building, situated within the Site and forming part of Mortlake Conservation Area, which is visible in views from the green. This building is considered to complement the appreciation of the character and appearance of Mortlake Green Conservation Area and is noted within the Stag Brewery Planning Brief SPD⁴³ as a building which contributes to framing the green.

The Site is situated directly to the north of the Conservation Area. Although the green has a historical link with the Site, as it was previously used to park the brewery's drays⁴⁴, the Site as a whole, as found today, is not considered to contribute to the particular significance of the Conservation Area. In addition, the modern industrial structures within the Site detract from the appreciation of the Conservation Area as they dominate views from within it, particularly in views north from the green towards the Site (**Plate 49**). There are elements of the Site, however, that complement the character and appearance of the Conservation Area, such as the former hotel building, as described above, and Watney's Sports Ground at the west end of the Site. This provides an attractive green element of setting which is considered to complement the character and appearance of the terraced properties within the section of the Conservation Area along Lower Richmond Road.

Plate 49 View looking north across Mortlake Green.



6.5.6 Grove Park Conservation Area

The Grove Park Conservation Area was designated on 11th January 2002 and has not been altered or extended since. It is located in the south-western part of Chiswick, an area known for its historic house and gardens, riverfront walks and the High Road. Grove Park Conservation Area comprises the late 19th century to early 20th century Grove Park Estate along with later developments, including recreational spaces to the south⁴⁵. It contains three Listed Buildings, all Grade II Listed (Chiswick Bridge and Attached Balustrades [NHLE 1031877], University of London Boathouse [NHLE 1388311] and Polytechnic Stadium [NHLE 1096141]).

The Conservation Area is divided into three character distinct areas; Estate, Riverside and South. The Estate area is described as comprising the late 19th to 20th century developments known as Grove Park Estate. The estate was set out by the Duke of Devonshire and comprised of large, spacious properties

⁴³ London Borough of Richmond upon Thames, 2011

⁴⁴ London Borough of Richmond upon Thames, 2018c, Mortlake Green Conservation Area 51, https://www.richmond.gov.uk/media/132777/conarea51_a3_rgb.pdf

⁴⁵ London Borough of Hounslow, 2021, Grove Park Conservation Area Appraisal. https://www.hounslow.gov.uk/info/20010/planning_and_building/1868/conservation_area_appraisals_and_maps

set within their own plots of open land. The Riverside character area consists of Chiswick Staithe, Thames Village and Chiswick Quay developments, all of which date to the latter half of the 20th century. This area includes the marina or yacht basin, which was originally a lake located within the grounds of Grove House. The last area (South) consists of two recreation open spaces, established in the 20th century and which extend down to the riverbank⁴⁶.

The significance of the Grove Park Conservation Area is drawn from its architectural and historic interest as the first large Victorian housing estate in Chiswick, which included high status properties. The original character of the area is well preserved⁴⁷.

Grove Park Conservation Area is considered to be of **Medium** heritage significance.

Contribution of Setting and the Site to Significance

The Grove Park Conservation Area Appraisal identifies the key elements of the setting of the area. The Conservation Area is predominately residential, with open spaces used for recreation to the south. It is bounded by the River Thames to the south-west side and the Hounslow Loop railway line on the north-east side. The wider setting includes residential areas to the north and north-east, the large recreational open space of Duke's Meadows to the south-west, Kew to the south-west and the Strand on the Green to the west⁴⁸. The significance of the Conservation Area is largely drawn from its historic and architectural value, although its setting does contribute to a degree to this.

The Site is located approximately 150m south-east of the Conservation Area and is separated by the River Thames and the Grade II Chiswick Bridge. The Site is partially visible from riverside locations within the Conservation Area, although views are largely limited to the upper elevations of the larger buildings, are partially obscured by the bridge and form part of a wider, panoramic view which includes a mix of buildings (residential and industrial), mature vegetation lining the tow path and areas of open spaces. The Site is clearly visible from Chiswick Bridge due to its elevated position and proximity (see section 6.5.3).

The Site, therefore, contributes only in a very limited way to the setting of the Grove Park Conservation Area as part of the wider landscape.

6.5.7 WA8: The Jolly Gardeners Public House: Building of Townscape Merit

The significance of the Jolly Gardeners public house is derived from its local architectural and historic interest as an attractive, albeit typical, example of a public house dating from the early 20th century (**Plate 50**). The public house has a townscape role in defining the street corner at the junction of Ship Lane and Lower Richmond Road. The locally listed building, which consists of two storeys and attic and is constructed of brick and stucco, provides evidence of the architectural style applied to public houses during this period. The heritage asset is also representative of the social history within Mortlake and is demonstrative of the continuing evolution and growth of the area from the early 20th century. Its continued use as a public house also contributes to its heritage value.

The locally listed building is considered to be of **Low** heritage significance.

Contribution of Setting and the Site to Significance

The public house is situated at the junction of Ship Lane with the busy Lower Richmond Road and is therefore experienced in conjunction with a high level of vehicular traffic. As this busy thoroughfare forms part of the building's historic context however, being extant since at least the mid-18th century, it is not considered to detract from the appreciation of the asset. The setting of the heritage asset comprises the former Stag Brewery, which encompasses the building on its north and east sides, Mortlake Green and

⁴⁶ London Borough of Hounslow, 2021

⁴⁷ London Borough of Hounslow, 2021

⁴⁸ London Borough of Hounslow, 2021

the locally listed buildings on the opposite side of Lower Richmond Road to its south, and a modern building to its west, which is not considered to contribute to its significance.

The green forms part of the historic context of the public house and provides an attractive green element of setting, which complements the heritage asset and therefore makes a positive contribution to its significance. Similarly, the public house and domestic properties to the opposite side of Lower Richmond Road are considered to contribute positively to the significance of the locally listed building as part of its historic context.

The Site encircles the public house to its north, east and west. It forms part of the historic setting of the asset and is likely to have historical links to the people that worked on the former brewery at the Site. As such, the historic elements of the Site that remain are considered to contribute positively to the significance of the locally listed building. The modern brewery structures on the Site, however, detract from the appreciation of the public house.

Plate 50: The Jolly Gardener's Public House



6.6 River Thames Historic Landscape Character

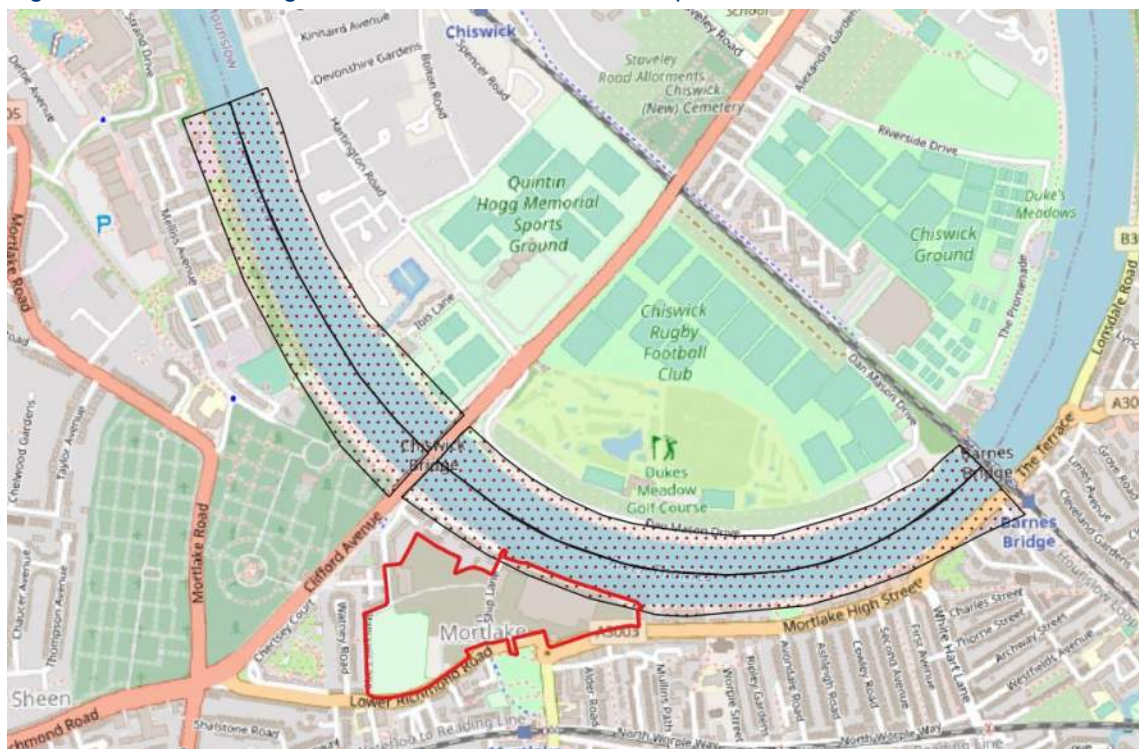
The River Thames extends for some 215 miles, extending from Gloucestershire in the west to the Kent and Essex coast in the east, where the estuary meets the North Sea. The River Thames represents an important natural feature in the historic environment and archaeological evidence shows that for many centuries it has been an important transport route, water source for domestic and industrial use, power

source for mills, source of fish, wildfowl, reeds, rushes and willow, and also as a drain and sewer⁴⁹. The Historic Landscape Character along the length of the River Thames varies considerably along its extent and many areas have been subject to considerable alteration and development, particularly in the 19th and 20th centuries⁵⁰.

The River Thames Historic Landscape associated with the Site is defined the stretch of the water course from Barnes Bridge westwards, approximately 1km west of Chiswick Bridge (Figure 25). Beyond these limits, the Site is not readily visible from the riverbank and therefore would not be impacted by the Development. The area assessed is divided into four distinct parts:

- South side, south-east of Chiswick Bridge;
- South-west side, north-west of Chiswick Bridge;
- North side, south-east of Chiswick Bridge; and
- North side, north-west of Chiswick Bridge.

Figure 25: Plan showing River Thames Historic Landscape Character areas assessed



The southern part, to the east of Chiswick Bridge, encompasses the Site itself, the Mortlake Conservation Area and Barnes Green Conservation Area and the heritage assets to the north-west of the Site. The character is therefore formed from a mix of 18th century to modern development associated with industrial and residential use. From Barnes Bridge in the east to Chiswick Bridge in the west, development extends up to the riverbank, although it is interspersed by small areas of open green space. The landscape character does preserve elements of its historic character in places, although it is much altered.

To the north-west of Chiswick Bridge, the landscape immediately alongside the River Thames comprises

⁴⁹ Bond, J; Dodd, A; Hind, J. and Rowley, T, 2019, The Thames Through Time. The Archaeology of the Gravel Terraces of the Upper and Middle Thames: The Thames Valley in the Medieval and Post-Medieval Periods AD 1000-2000. https://archaeologydataservice.ac.uk/archiveDS/archiveDownload?t=arch-3423-1/dissemination/1_The_River_Thames.pdf

⁵⁰ Ibid

the Mortlake (Hammersmith New) Cemetery which was established in the 20th century. To the north-west, the riverside comprises a stretch of tree-lined towpath, with an area of green space screening a modern residential development and a sewage plant to the south-east. A review of the historic OS mapping shows this area adjacent to the Thames to be open fields and areas of meadow in the early 19th century. By the later 19th century, the northern extent of this area was occupied by the sewage plant and filter beds and this expanded gradually southwards throughout the 20th century. By the 1960s, the area immediately north-west of Chiswick Bridge remained an area of open land, however to the north it was densely occupied by works associated with the sewage works. The Mortlake Cemetery had expanded northwards, infilling the area north-west of Chiswick Bridge by the 1980s, and part of the sewage works was converted into a recycling centre. The landscape character of this part of the River Thames is therefore of late 20th century to 21st century date, with very limited evidence of its historic landscape character still remaining.

The northern side of the River Thames, opposite the Site, comprises the Duke's Meadows, which since the 1920s has comprised a public park now for sport and recreation. Prior to this, it was open land⁵¹. The Duke's Meadows extends from Chiswick Bridge to the west and follows the route of the meander for approximately 1.9km, continuing northwards to Corney Reach. Although the area has always been an area of open land, the landscape character of the Duke's Meadows is of later 20th century date and little of its previous, historic character remains.

The northern side of the Thames, to the north-west of Chiswick Bridge, comprises the Grove Park Conservation Area. The Conservation Area boundary extends into the River Thames and the area itself is split into three character areas; Estate, Riverside and South. The Estate area is described as comprising the late 19th to 20th century developments known as Grove Park Estate. The river frontage here largely comprises of long, linear private gardens which extend down to the River Thames, with no public access along the riverbank. The Riverside character area consists of Chiswick Staithe, Thames Village and Chiswick Quay developments, all of which date to the latter half of the 20th century. The riverside here is largely gardens and open green spaces associated with areas of residential development, along with the Chiswick Quay yacht basin. The last area (South) consists of two recreation open spaces, established in the 20th century and which extend down to the riverbank⁵².

The landscape along the River Thames around the Site is largely of 20th and 21st century date and has very little historic interest, with much of the historic character lost and barely legible. It comprises mostly of residential and recreational land, with some elements of industrial (including the Site). The section which encompasses the Site itself and the heritage assets to its north-west represent a surviving earlier remnant but is somewhat isolated.

The recreational areas relate to sporting activities and are functional in nature. None represent a "designed landscape" or contain the rural, countryside aspects such as those found to the west at the World Heritage Site Royal Botanic Gardens, Kew, which form part of the Arcadian Thames, an area of high historic landscape character significance⁵³. While there are key views identified along the river frontage, none represent designed or deliberate views, and instead allow for long distant views along the River Thames, although the views are limited by mature vegetation, buildings and the natural, curving alignment of the river in this section.

The significance of the River Thames landscape in terms of heritage is judged to be **very low** due to its limited historic and architectural interest.

⁵¹ London Borough of Hounslow, no date, Chiswick Urban Context and Character Study, https://www.hounslow.gov.uk/info/20034/planning_policy/1097/urban_context_and_character_study

⁵² London Borough of Hounslow, 2021, Grove Park Conservation Area Appraisal.

https://www.hounslow.gov.uk/info/20010/planning_and_building/1868/conservation_area_appraisals_and_maps

⁵³ Thames Landscape Strategy, <http://thames-landscape-strategy.org.uk/visitor-guide/>

7. Conclusions

This report has been prepared to support two linked planning applications and associated S278 highways works to redevelop the former Stag Brewery Site and forms a technical appendix to the Environmental Statement. The Site has ceased to be used a brewery and three planning applications to redevelop the Site for residential and mixed-use have been previously submitted and subsequently refused (17 Aug 2021).

The scope of the report was to provide an overview of the history of the Site, before describing and assessing its significance. This assessment included the surviving historic buildings within the Site that are designated as 'Buildings of Townscape Merit', namely the Maltings (WA3), the former Hotel (WA1) and the former Bottling building (WA2). In addition, the report has considered the Site's contribution to the significance of adjacent heritage assets, both designated and non-designated. These included the Mortlake and Mortlake Green Conservation Areas, the Grade II listed Riverside House; Leyden House; Thames Bank House; Tudor Lodge; Thames Cottage; Gateway, formerly to Cromwell House, the Grade II listed Chiswick Bridge, and the Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court.

The report found that the majority of the historic brewery on the Site have been demolished during a phase of expansion in the latter half of the 20th century and it now consists largely of late 20th century industrial buildings, ranging in height from one to eight storeys. This development left only three intact structures from the early 20th and 19th centuries, and the facades of other structures as the boundary walls. These buildings have value in their own right and are the main contributing factor to the Site's heritage significance and its contribution to the setting of other nearby heritage assets, such as the two Conservation Areas to the south and south-east. Their value as a group of related historic structures is also important when considering the Site holistically. 20th century development has had a considerable negative effect on the significance of the built heritage within the Site, and a negative effect on the settings of nearby Listed Buildings on Thames Walk. The majority of the structures within the Site are of no heritage significance.

The report also found that the Site is likely to have strong cultural connections to the Mortlake locality through its history as a large employer in the community and the prominence it undoubtedly has in the public consciousness because of this. It also acts as a landmark and focal point for views up and down the River Thames in this location, including from the nearby Chiswick Bridge and during the well-known sporting event of the Oxford-Cambridge Boat Race.

The landscape of the River Thames corridor has been assessed to determine if it contains any surviving areas of historic landscape character of significance. The report has established that along the Mortlake and Chiswick stretches of the Thames, the landscape is largely of modern date and of very limited heritage value. It is not associated with the higher value historic landscape areas located to the west of the Site, such as those within the World Heritage Site Royal Botanic Gardens, Kew, which form part of the Arcadian Thames.

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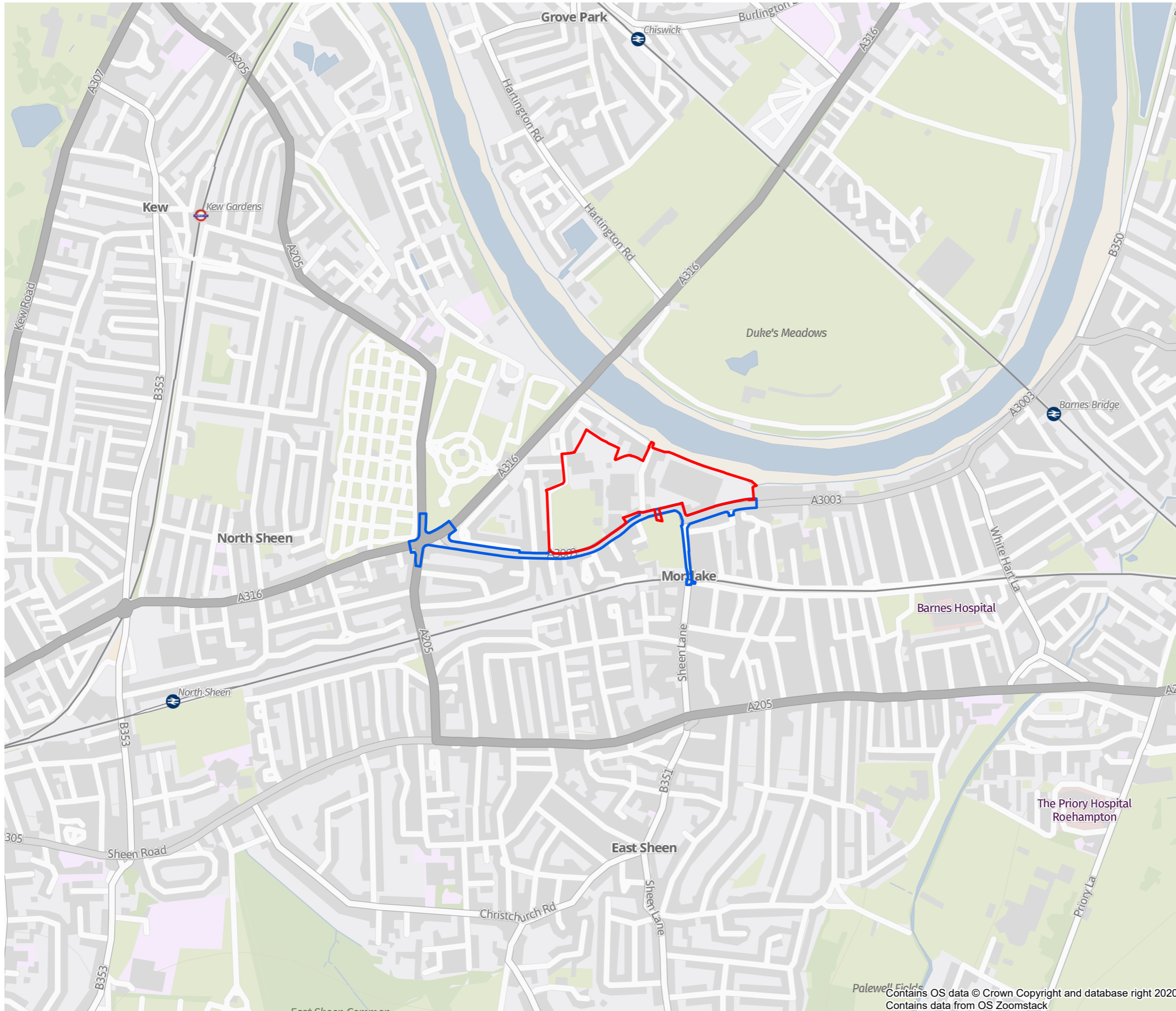
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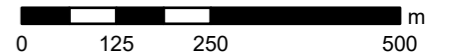


APPENDICES

A. Historic Assets Constraints Plan

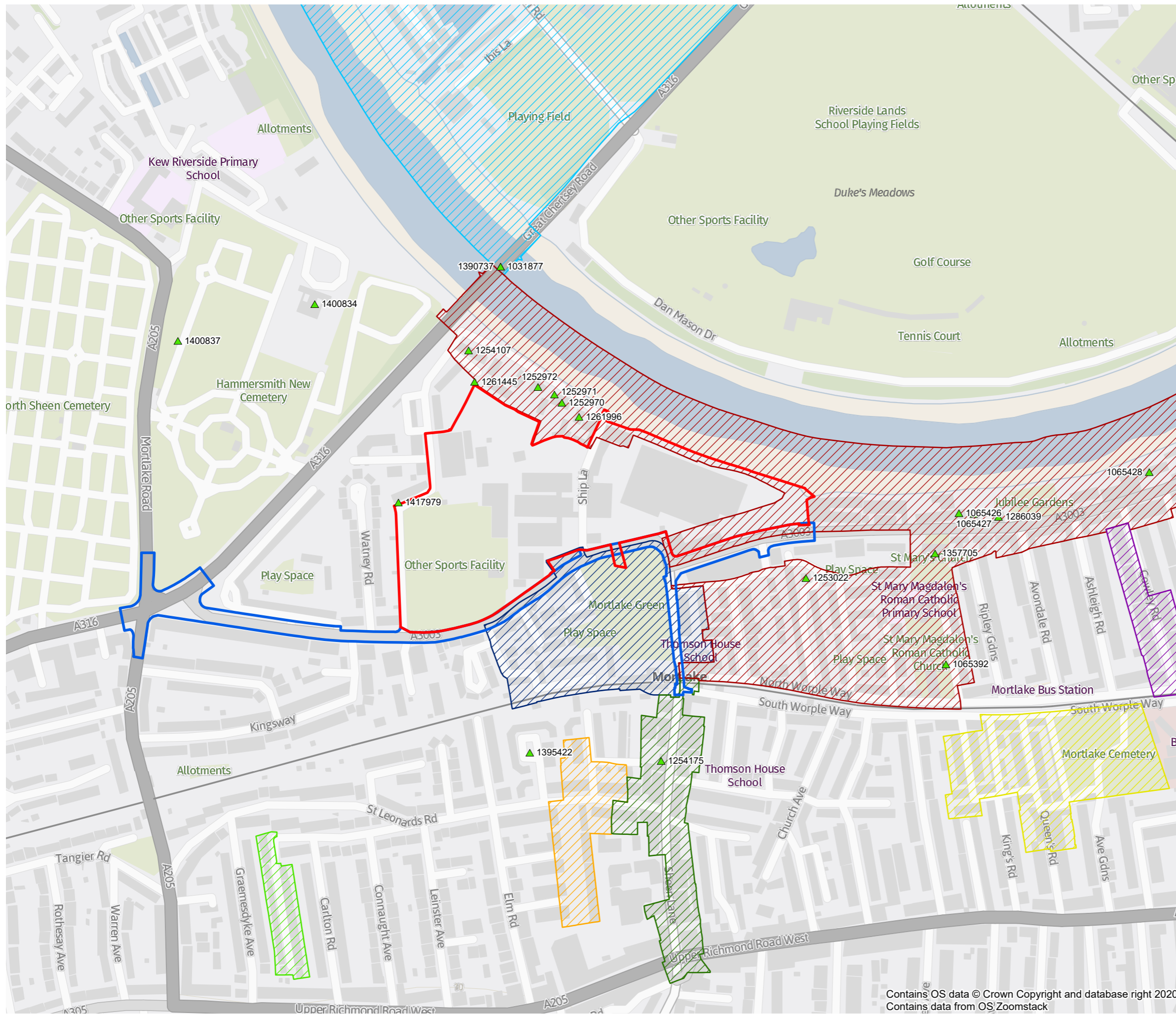


- Planning Application Boundary
- S278 Works Boundary

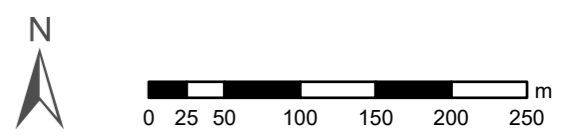


Project Details	WIE18671-105: Stag Brewery
Figure Title	Figure 1: Site Location
Figure Ref	WIE18671-105-GIS-HER-1A
Date	January 2022
File Location	\\s-incswiel\projects\wie18671\105\gis\her

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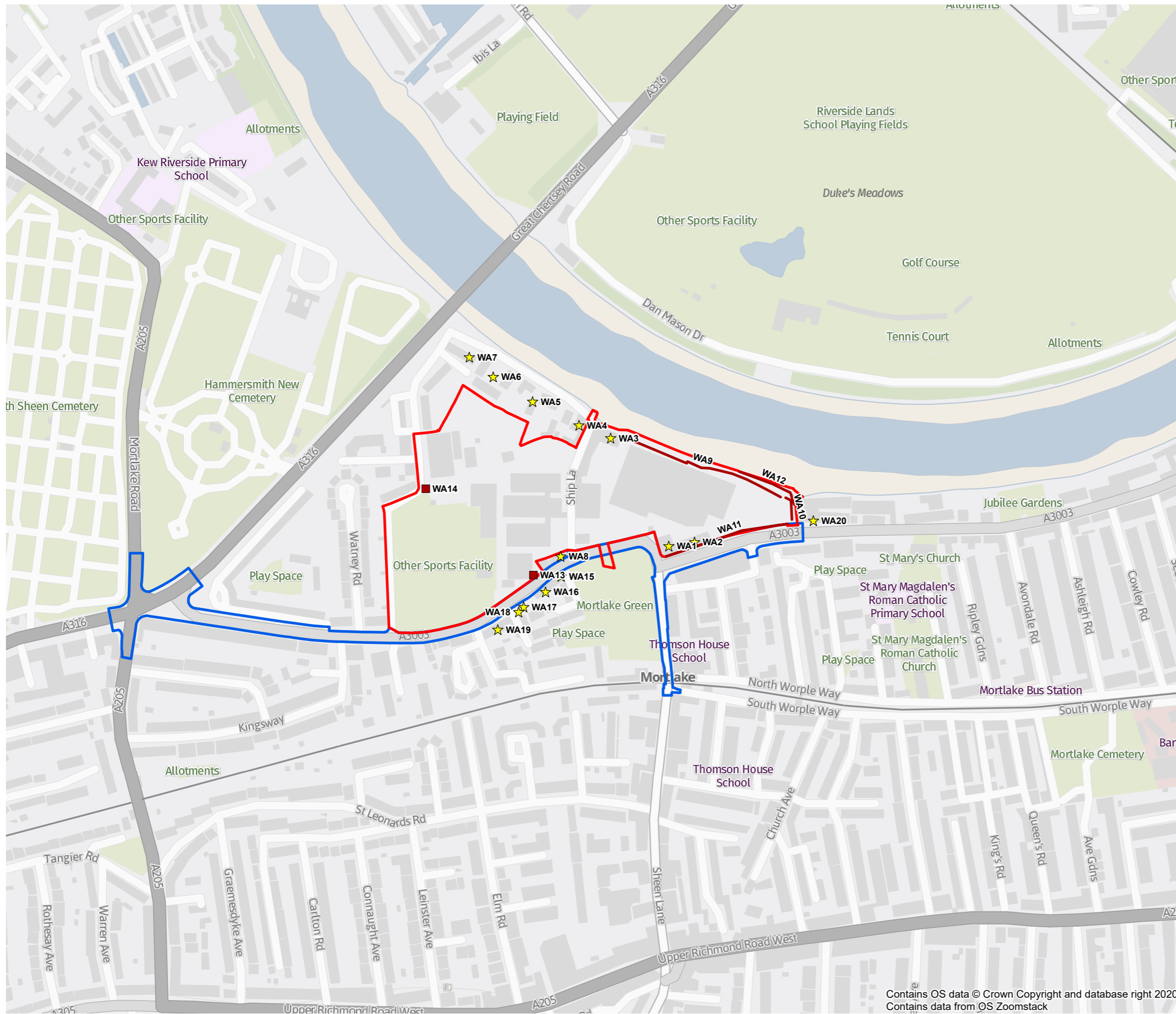


- Planning Application Boundary
- S278 Works Boundary
- ▲ Listed Buildings
- Conservation Areas**
- Cowley Road
- Grove Park
- Holmesdale Avenue
- Model Cottages
- Mortlake
- Mortlake Green
- Queen's Road (Mortlake)
- Sheen Lane (Mortlake)

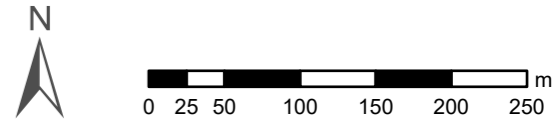


Project Details	WIE18671-105: Stag Brewery
Figure Title	Figure 2: Listed Buildings and Conservation Areas
Figure Ref	WIE18671-105-GIS-HER-2A
Date	January 2022
File Location	\\s-incswiel\projects\wie18671\105\gis\her

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- Planning Application Boundary
- S278 Works Boundary
- ★ Buildings of Townscape Merit
- Non-Designated Heritage Asset
- Non-Designated Heritage Asset



Project Details	WIE18671-105: Stag Brewery
Figure Title	Figure 3: Buildings of Townscape Merit and Non-Designated Built Heritage Assets
Figure Ref	WIE18671-105-GIS-HER-3A
Date	January 2022
File Location	\\s-inc\swiel\projects\wie18671\105\gis\her

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B. Historic Environment Gazetteer

Designated Heritage Assets (within 500m of the Site)

National Heritage List Entry No.	Name	Grade	Description	Significance
1390737 and 1031877	Chiswick Bridge and Attached Balustrades	II	<p>Arched road bridge, 1930-33. Engineer Alfred Dryland with Herbert Baker as consulting architect, and giving the bridge its distinctly Georgian character. Mass concrete footings and abutments; reinforced concrete arches of cellular construction; cladding of Portland stone. Like Twickenham Bridge it is 70 ft. wide between the parapets; three spans, the centre being 150 ft. and the shore arches 125 ft.; one c60 ft. roadway arch on each bank. Pedestrian access to broad pavement by handsome brick stairs; riverside walkway spanned by arches which on the Hounslow side provide storage for boat club. On line of piers a polygonal viewing platform has been provided to each side. The centre span is the longest concrete arch of any bridge spanning the Thames.</p>	Medium

Appendices

Former Stag Brewery, Mortlake

Project Number: WIE18671

Document Reference: WIE18671-100-R-9-2-2

National Heritage List Entry No.	Name	Grade	Description	Significance
1065392	Mausoleum of Sir Richard and Lady Burton, Churchyard of St Mary Magdalen	II*	c. 1890. Mausoleum in the shape of a Bedouin tent made of Carrara marble and Forest of Dean stone, 12 feet square and 18 feet high. The roof has a gilt tailed 9 point star, the pediment was enriched with stars and crescents, and the rear originally had a stained glass panel showing the Burton monogram, now replaced in clear glass. Entrance, now blocked, has a crucifix above. Door has inscription "To Sir Richard Francis Burton 1821-1890 and Isabel d.1896". Beneath is a poem by Justin Huntly McCarthy. Interior, visible through rear glass panel contains above ground ornate tapering coffin with extensive gilt enrichment for Sir Richard Burton, with crucifix and camel bells. There is a more conventional mahogany coffin for Lady Burton. Painted roof representing the heavens with stars and seraphim and strings of camel bells. Shrine to rear wall and religious paintings of Christ with Magdalene and Crucifixion to sides and Arabic lamps on floor. This burial was a response to Sir Richard Burton's horror of darkness. An extra ordinary mixture of chapelle ardente and Bedouin tent.	High
1065426	Acacia House	II	Late C18, 3-storey house. Four windows wide. Brown brick with red brick window heads. Door, approached with flight of steps, has wood doorcase with console-bracketed cornice hood. Interior not seen.	Medium
1065427	117, High Street SW14	II	Late C18, 2-storey house. Five window bays wide. Parapeted brick front with rendered ground floor. Tiled gambrel roof with 3 dormers. Early C19 doorcase with reeded architrave and rosette stops. To the left a C19 bay window. River elevation irregular, with large 3-storey, 3-bay bow with early C19 cast-iron balcony with tented lead canopy. Interior not seen.	Medium

Appendices

Former Stag Brewery, Mortlake

Project Number: WIE18671

Document Reference: WIE18671-100-R-9-2-2

National Heritage List Entry No.	Name	Grade	Description	Significance
1065428	Limes House and Forecourt Piers	II*	Circa 1720 with a front probably circa 1770. Two storeys, hipped slated gambrel roof with three dormers. Five windows wide with centre bay shallow projection. Central Roman Doric pedimented portico with triglyph frieze and paired columns. Later full height wings to either side without attic. Riverfront similar with similar porch. Interior has spacious entrance hall with good doorcases and staircase of circa 1720-40. There is a painting of the house by J M W Turner in the Frick collection, New York and National Gallery, Washington.	High
1252970	Tudor Lodge	II	C18, 2-storey house, 2 windows wide. Brick built with mansard roof having C19 ornamental ridge tiles and dormers. Later canted bay to left ground floor. Entrance to right. Molded flush-framed sashes with glazing bars above.	Medium
1252971	Thames Bank House	II	C18. Cement faced. Two storeys, 4 round-headed sash windows to floor level. Early C19 cast-iron first floor balcony with lead verandah, parapet. At the rear, an earlier C18 square brick mansion of 3 storeys with segmental sash windows.	Medium
1252972	Leyden House	II	C18. Brick rendered. Steeply pitched roof with casement dormers behind parapet. Two storeys, 5 bays wide, the central (entrance) bay with canted, 2-storey bar. Band course to canted bar between ground and first floor and above first floor windows. Entrance doorway semi-circular headed.	Medium
1253022	44 and 46, Victoria Road	II	Probably 1870s. Pair of cottages. In situ mass concrete, using method resembling that of Joseph Tall, pioneer of concrete shuttering. Stuccoed. Original flat concrete roof to parapet. Each 2 storeys, 2 windows wide. The outer bay of each cottage recessed with entrance. Advanced bay of each cottage has corniced polygonal bow window. Square headed windows and doors with stucco keystones and moulded architraves to upper windows. Sash windows with original glazing bars. Cornice to parapet. Internally concrete floors and stairs. Shallow segmental barrel to entrance ceiling. "Concrete" December 1977.	Medium

Appendices

Former Stag Brewery, Mortlake

Project Number: WIE18671

Document Reference: WIE18671-100-R-9-2-2

National Heritage List Entry No.	Name	Grade	Description	Significance
1254107	Riverside House	II	Detached house. Circa early C18, extended C19 and altered C20. Rendered brick. Slate to front pitch of roof, falling to parapet; steeper concrete tiled roof to rear. 3 storeys to front facade; 2 storeys plus dormers to rear. 5 main bays. Slightly projecting centre of 3 bays, C20, with entrance, Square headed windows (first floor outer windows formerly arched). Raised bands between storeys. Interior contains two well preserved early C18 rooms, sited on ground floor (east of centre on the ground floor), both retaining their panelling, fireplaces and cornices etc.	Medium
1254175	28, Sheen Lane	II	House. Early C18; refronted c1850. Brick, with stucco front of c1830; roughcast to rear; brick-coped gambrel roof, with Welsh slates to front and concrete tiles to rear; brick right end stack; and rear stack to outshut. 2-unit plan with rear outshut. 2 storeys and attic; one window range. C20 shop front. c1830 tripartite sash with glazing bars (removed from centre) to first floor. C19 flat-roofed dormer with C20 casements. Facade is flanked by raised pilasters and has bracketed eaves. Side walls have large semi-circular arched recesses, with two early C18 twelve-pane sashes to left and one to right, all with original thick glazing bars. Interior: early C18 open-well staircase with winders, stick balusters and wreathed mahogany handrail. First floor has early C19 marble fireplace and horizontally-sliding window shutters to first floor. Early C19 panelled doors.	Medium
1261445	Garden Wall to East of Number 1 To 8 Riverside House and Extending Behind Numbers 1 To 24 Reid Court	II	Garden wall. Circa early C18. Red brick Approximately 12 ft. high ramping down to approx 4 ft. in front of Riverside House. Included for group value only.	Medium
1261996	Thames Cottage	II	C18. Stucco with old tile roof rising to a point. Three sash windows wide, with projecting central porch with modern cornice and consoles to canopy. Later triple dormer, replacing 2 original hipped casement dormers. Segmental heads to ground storey windows.	Medium

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Former Stag Brewery, Mortlake

Project Number: WIE18671

Document Reference: WIE18671-100-R-9-2-2

National Heritage List Entry No.	Name	Grade	Description	Significance
1286039	Suthrey House with Attached Railings	II	C18. L-shaped with right end to street and small courtyard entrance with C18 railings. Two storeys, stock brick with red dressings to main fronts. Three blank windows to road, 4 flush-framed windows to courtyard. River front is 2-storeys, 6 window bays wide. Central pilastered doorcase. Tiled roof behind parapet. Interior not seen.	Medium
1357705	Parish Church of St Mary	II*	Founded 1348 on a site to west of present church, which dates from 1543. The tower is of that date. The building was enlarged in 1725 and 1845. The chancel is of 1885, the nave and south aisle of 1906 by Sir A Blomfield. Vestry House, adjoining, of 1660-70 possibly with some earlier work. Western tower has 4 stages with later cupola. Chequer work of stone and flint to third storey. Tudor brick with stone dressings above. Polygonal stair turret to north-east corner. North aisle of church brick. Rest now rubblestone, late C19 and C20. Perpendicular style clerestory. Low pitched lead roof. Chancel lower than nave Vestry House, adjoining north aisle towards west: a red brick building of 2 storeys. Slate hipped roof. Two windows wide. Upper windows square headed, 2-light with timber mullions and transom. One similar window to left below, but set in chanfered stone recess with segmental relieving arch set in brickwork above. Right-hand lower window retains 2 chanfered mullions.	High
1395422	Air Raid Shelter	II	Air raid shelter, built in 1939 and extended in late 1940- early 1941, to serve St Leonard's Court which was built in 1934-38 by local builder Mr F.G Fox. Designed to hold forty-eight people, at the time there were eighty-three flats.	Medium

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Former Stag Brewery, Mortlake

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National Heritage List Entry No.	Name	Grade	Description	Significance
1400834	Mortlake Crematorium	II	Mortlake Crematorium was a joint municipal venture, undertaken by the boroughs of Hammersmith, Richmond, Barnes and Acton, and set up under an Act of 1936. Designed by F. Douglas Barton, borough surveyor to Hammersmith, it was opened in January 1939 by the most prominent doctor of the day, Lord Horder. Centrally planned, with an axial chapel with oven chamber behind, flanked to the front by offices and reception rooms; behind are cloistered walks. A tower is attached to the south-east of the central range.	Medium
1400837	Hammersmith Memorial to World War II Civilian Dead, Mortlake Cemetery	II	This memorial marks the mass grave of 156 of the 485 civilian victims of German attack, the others being buried in private graves elsewhere. It forms an interesting counterpoint to the Imperial War Graves Commission cross of sacrifice, honouring military interments, which is situated just to the south. This is one of a number of comparable municipal memorials in cemeteries marking such civilian graves notable from the Second World War, and possesses considerable community interest. It is also an elegant, and characteristically restrained, example of a post-war public cemetery memorial.	Medium
1417979	Gateway, formerly to Cromwell House	II	Gate piers and foot-gate of c.1700 (piers) and early/mid C18 (gate); architect not known. Bath stone piers with wrought-iron gate and surrounding panels. The gateway was previously located on the Cromwell Lane frontage of the site of Cromwell House. This, originally the Thames-side manor house of Mortlake, was held from 1536-40 by Thomas Cromwell (d.1540, Earl of Essex and Henry VIII's Chancellor). That house was rebuilt soon after 1700, with this gateway giving access to a small forecourt between forward-projecting wings. That building was in turn demolished in 1857-8. The gateway, however, remained in situ until the land was redeveloped for a large brewery in the early 1960s. In 1962 the gateway was taken down and re-erected nearby at the head of the northward run of Williams Lane, where it served as the foot-gate to a company bowling green, today a sports ground.	Medium

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Former Stag Brewery, Mortlake

Project Number: WIE18671

Document Reference: WIE18671-100-R-9-2-2

Non-Designated Built Heritage Assets

Waterman ID	Name	Description	Significance
WA1	The Former Hotel Building	Building of Townscape Merit. Late 19th century, three-storey building. It is located on the corner of Mortlake High Street and Lower Richmond Road, adjacent and connected to the former Bottling building that fronts the High Street. The former Hotel's frontage follows the curve of the bend in the road between the High Street and Lower Richmond Road	Low
WA2	The Former Bottling Building	Building of Townscape Merit. former Bottling building, built mid-19th century. The principal elevation terminates at a parapet of varying heights and contains two decorative roundels / medallions and the large carved "Mortlake Brewery 1869" sign between them.	Low
WA3	The Maltings Building	Building of Townscape Merit. Early 20th century former Maltings building, 8-9 storeys in height.	Low
WA4	The Ship Public House	Building of Townscape Merit. Mid-19th century public house.	Low
WA5	The Old Stables	Building of Townscape Merit. 19th century stable block.	Low
WA6	1-14 Parliament Mews	Building of Townscape Merit. 1-14 Parliament Mews is a modern group of apartments built in 1992, designed in a Neo-Georgian style.	Neutral
WA7	6 and 7 Thames Bank	Building of Townscape Merit. 19th century residential building.	Low
WA8	The Jolly Gardeners Public House	Building of Townscape Merit. Mid-19th century public house.	Low
WA9	Northern Boundary Wall	Boundary wall forming part of the northern boundary of the Brewery Site, along the River Thames. It comprises a mix of former 19th century buildings and later additions.	Neutral / Low
WA10	Eastern Boundary Wall	The boundary wall on the eastern side of the Site comprises two sections of wall that run along Bulls Alley between Mortlake High Street and the bank of the Thames. These were constructed using London stock brick and comprehensively rebuilt during the 20th century, including the incorporation of a flood defence wall and pedestrian steps in the alley itself.	Neutral
WA11	Southern Boundary Wall	Boundary wall extending along Mortlake High Street. 19th century date.	Low

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Former Stag Brewery, Mortlake

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Waterman ID	Name	Description	Significance
WA12	Railway Tracks, Granite Paving and River Moorings	Sections of surviving historic railway tracks, granite paving setts and timber river moorings associated with the Stag Brewery Site.	Low
WA13	Memorials	Two memorial plaques. The larger of the two is a War Memorial commemorating members of staff from the original Watney's Stag Brewery in Victoria who died between 1914-18, and 1939-45. The second commemorates the death of two engineers from the brewery who died attempting to rescue another during a fire in 1975.	Low
WA14	Historic Gates	Two sets of cast metal historic Watney's Brewery gates.	Low
WA15	The Tapestry Public House	Building of Townscape Merit. Late 19th century public house.	Low
WA16	3 to 9 Lower Richmond Road	Buildings of Townscape Merit. Late 19 century date residential properties.	Low
WA17	33 Lower Richmond Road	Building of Townscape Merit. Late 19 century date residential property.	Low
WA18	35 Lower Richmond Road	Building of Townscape Merit. Late 19 century date residential property.	Low
WA19	37 to 51 Lower Richmond Road	Buildings of Townscape Merit. Late 19 century date residential properties.	Low
WA20	61-69 Mortlake High Street	Building of Townscape Merit. Site of former 18th century Maltings, extensively redeveloped in the 1990s.	Low

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Former Stag Brewery, Mortlake

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Document Reference: WIE18671-100-R-9-2-2

C. Legislation and Policy

Legislation, Policy & Guidance	Document	Section/Policy
Legislation	Ancient Monuments and Archaeological Areas Act 1979	Under the Ancient Monuments and Archaeological Areas Act 1979, the Secretary of State (Department of Culture, Media and Sport (DCMS)) can schedule any site which appears to be of national importance because of its historic, architectural, traditional, artistic or archaeological interest. Additional controls are placed upon works affecting Scheduled Monuments and Areas of Archaeological Importance under the Act. The consent of the DCMS, as advised by Historic England, is required for certain works affecting Scheduled Monuments.
Legislation	Planning (Listed Buildings and Conservation Areas Act) 1990	In England, under Section 1 of the Planning (Listed Buildings and Conservation Areas) Act 1990, the Secretary of State (Department of Culture, Media and Sport (DCMS)) is required to compile lists of buildings of special architectural or historic interest, on advice from Historic England. Works affecting Listed Buildings are subject to additional planning controls administered by Local Planning Authorities. Historic England are a statutory consultee in certain works affecting Listed Buildings. Under certain circumstances, Listed Building Consent is required for works affecting Listed Buildings.
National Planning Policy	Department for Levelling Up, Housing and Communities, 2021, National Planning Policy Framework, 2021	<p>Section 16 of the National Planning Policy Framework (NPPF) sets out the Core Planning Principles of which 'Conserving and Enhancing the Historic Environment' is one.</p> <p>NPPF determines that heritage assets should be afforded proportionate weight to their significance when determining acceptable impacts on the asset or its setting. Developments affecting heritage assets are required to submit a statement describing the significance and any contribution of the assets setting. Any impact on a heritage asset should be weighed against public benefits of the proposal.</p>
Local Policy	London Borough of Richmond upon Thames, Local Plan: adopted 2018 and 2020	<p>Policy LP3: Designated Heritage Asset</p> <p>A. The Council will require development to conserve and, where possible, take opportunities to make a positive contribution to, the historic environment of the borough. Development proposals likely to adversely affect the significance of heritage assets will be assessed against the requirement to seek to avoid harm and the justification for the proposal. The significance (including the settings) of the borough's designated heritage assets, encompassing Conservation Areas, listed buildings, Scheduled Monuments as well as the Registered Historic Parks and Gardens, will be conserved and enhanced by the following means:</p> <ol style="list-style-type: none"> 1. Give great weight to the conservation of the heritage asset when considering the impact of a proposed development on the significance of the asset. 2. Resist the demolition in whole, or in part, of listed building. Consent for demolition of Grade II listed buildings will only be granted in exceptional circumstances and for Grade II* and Grade I listed buildings in wholly exceptional circumstances following a

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Legislation, Policy & Guidance	Document	Section/Policy
		<p>thorough assessment of the justification for the proposal and the significance of the asset.</p> <p>3. Resist the change of use of listed buildings where their significance would be harmed, particularly where the current use contributes to the character of the surrounding area and to its sense of place.</p> <p>4. Require the retention and preservation of the original structure, layout, architectural features, materials as well as later features of interest within listed buildings, and resist the removal or modification of features that are both internally and externally of architectural importance or that contribute to the significance of the asset.</p> <p>5. Demolitions (in whole or in part), alterations, extensions and any other modifications to listed buildings should be based on an accurate understanding of the significance of the heritage asset.</p> <p>6. Require, where appropriate, the reinstatement of internal and external features of special architectural or historic significance within listed buildings, and the removal of internal and external features that harm the significance of the asset, commensurate with the extent of proposed development.</p> <p>7. Require the use of appropriate materials and techniques and strongly encourage any works or repairs to a designated heritage asset to be carried out in a correct, scholarly manner by appropriate specialists.</p> <p>8. Protect and enhance the borough's registered Historic Parks and Gardens by ensuring that proposals do not have an adverse effect on their significance, including their setting and/or views to and from the registered landscape.</p> <p>9. Protect Scheduled Monuments by ensuring proposals do not have an adverse impact on their significance.</p> <p>B. Resist substantial demolition in Conservation Areas and any changes that could harm heritage assets, unless it can be demonstrated that:</p> <ol style="list-style-type: none"> 1. in the case of substantial harm or loss to the significance of the heritage asset, it is necessary to achieve substantial public benefits that outweigh that harm or loss; 2. in the case of less than substantial harm to the significance of the heritage asset, that the public benefits, including securing the optimum viable use, outweigh that harm; or 3. the building or part of the building or structure makes no positive contribution to the character or distinctiveness of the area. <p>C. All proposals in Conservation Areas are required to preserve and, where possible, enhance the character or the appearance of the Conservation Area.</p> <p>D. Where there is evidence of intentional damage or deliberate neglect to a designated heritage asset, its current condition will not be taken into account in the decision-making process.</p>

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Legislation, Policy & Guidance	Document	Section/Policy
		<p>E. Outline planning applications will not be accepted in Conservation Areas. The Council's Conservation Area Statements, and where available Conservation Area Studies, and/or Management Plans, will be used as a basis for assessing development proposals within, or where it would affect the setting of, Conservation Areas, together with other policy guidance, such as Village Planning Guidance SPDs.</p>
		<p>LP 4: Non-Designated Heritage Assets</p> <p>The Council will seek to preserve, and where possible enhance, the significance, character and setting of non-designated heritage assets, including Buildings of Townscape Merit, memorials, particularly war memorials, and other local historic features. There will be a presumption against the demolition of Buildings of Townscape Merit</p>
		<p>LP 5: Views and Vistas</p> <p>The Council will protect the quality of the views, vistas, gaps and the skyline, all of which contribute significantly to the character, distinctiveness and quality of the local and wider area, by the following means:</p> <ol style="list-style-type: none"> 1. protect the quality of the views and vistas as identified on the Policies Map, and demonstrate such through computer-generated imagery (CGI) and visual impact assessments; 2. resist development which interrupts, disrupts or detracts from strategic and local vistas, views, gaps and the skyline; 3. require developments whose visual impacts extend beyond that of the immediate street to demonstrate how views are protected or enhanced; 4. require development to respect the setting of a landmark, taking care not to create intrusive elements in its foreground, middle ground or background; 5. seek improvements to views, vistas, gaps and the skyline, particularly where views or vistas have been obscured; 6. seek improvements to views within Conservation Areas, which: <ol style="list-style-type: none"> a. are identified in Conservation Area Statements and Studies and Village Plans; b. are within, into, and out of Conservation Areas; c. are affected by development on sites within the setting of, or adjacent to, Conservation Areas and listed buildings.
Local Policy	Mortlake Village Planning Guidance, Supplementary Planning Document, December 2015	<p>The purpose of the Village Planning Guidance Supplementary Planning Document (SPD) is primarily to establish a vision and planning policy aims for, and assist in defining, maintaining and enhancing the character of Mortlake Village, and to provide guidance in this regard. The SPD forms part of the wider Village Plan. By identifying key features of the village, the SPD clarifies the most important aspects and features that contribute to local character to guide those seeking to make changes to their properties or to develop new properties in the area, as well as being a material consideration in determining planning applications</p>
Local Policy	London Plan, March	Policy HC1 Heritage Conservation and Growth

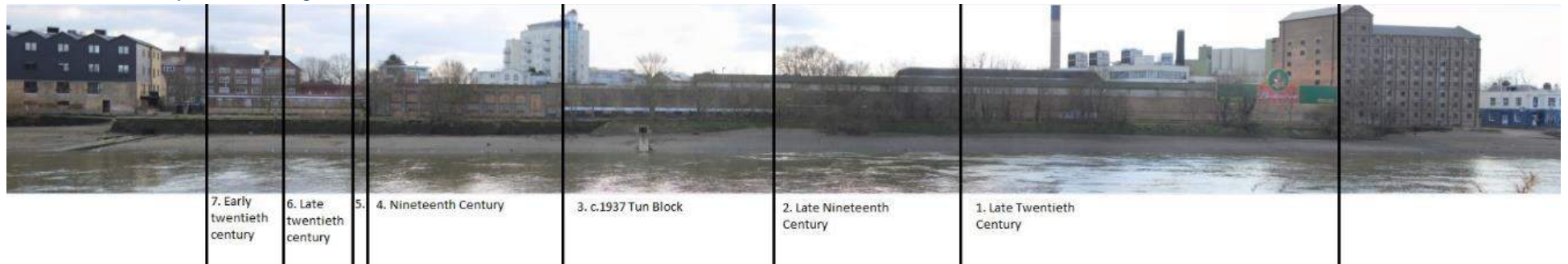
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Legislation, Policy & Guidance	Document	Section/Policy
	2021	<p>A. Boroughs should, in consultation with Historic England, local communities and other statutory and relevant organisations, develop evidence that demonstrates a clear understanding of London’s historic environment. This evidence should be used for identifying, understanding, conserving, and enhancing the historic environment and heritage assets, and improving access to, and interpretation of, the heritage assets, landscapes and archaeology within their area.</p> <p>B Development Plans and strategies should demonstrate a clear understanding of the historic environment and the heritage values of sites or areas and their relationship with their surroundings. This knowledge should be used to inform the effective integration of London’s heritage in regenerative change by:</p> <ol style="list-style-type: none"> 1) setting out a clear vision that recognises and embeds the role of heritage in place-making 2) utilising the heritage significance of a site or area in the planning and design process 3) integrating the conservation and enhancement of heritage assets and their settings with innovative and creative contextual architectural responses that contribute to their significance and sense of place 4) delivering positive benefits that conserve and enhance the historic environment, as well as contributing to the economic viability, accessibility and environmental quality of a place, and to social wellbeing. <p>C Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets’ significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.</p> <p>D Development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Where applicable, development should make provision for the protection of significant archaeological assets and landscapes. The protection of undesignated heritage assets of archaeological interest equivalent to a scheduled monument should be given equivalent weight to designated heritage assets.</p> <p>E Where heritage assets have been identified as being At Risk, boroughs should identify specific opportunities for them to contribute to regeneration and place-making, and they should set out strategies for their repair and re-use.</p>

Appendices

D. Boundary Wall Montages

Northern Boundary Wall Montage



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Former Stag Brewery, Mortlake

Project Number: WIE18671

Document Reference: WIE18671-100-R-9-2-2

Southern Boundary Wall Montage



1. Nineteenth century

2. Nineteenth, rebuilt in twentieth century

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Former Stag Brewery, Mortlake

Project Number: WIE18671

Document Reference: WIE18671-100-R-9-2-2

UK and Ireland Office Locations

