



Adelaide House, 16 Park Road, Teddington TW11 0AG

Heritage Statement
September 2021

Team

Sara Davidson BA(Hons) MSc IHBC
Director – HCUK Group
Heritage Environmental Consultancy
t: 0330 107 2944
e: sara@hcukgroup.co.uk
w: www.hcukgroup.co.uk/



Simon Brown Architects
6 Phoenix Wharf, Eel Pie Island, Twickenham TW1 3DY
t: 020 8158 8880
e: sb@simonbrownarchitects.com
w: www.simonbrownarchitects.com

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1. Introduction

Introduction

Introduction

This Heritage Statement has been produced in conjunction with HCUK Group to support the application for planning permission for an 'Part demolition and extension of the existing single storey out-building to rear, removal of the rear first floor WC extension, reinstatement of existing windows to rear and minor alterations to the existing internal walls of the Grade 2 listed property' at Adelaide House, at No.16 Park Road, Teddington.

Adelaide house, No.16 Park Road is a grade II listed building as identified from Historic England's National Heritage List. The site is also set within the Park Road, Teddington (No.22) Conservation Area.

Assessment

In accordance with the requirements of Paragraph 194 of the National Planning Policy Framework (NPPF, 2021) this statement describes the significance of the identified designated heritage assets.

The purpose of this report is to assist with the determination of the applications by informing the decision takers on the effects of the proposed development on the historic built environment. Value judgements on the significance of the heritage assets affected are presented and the effects of the proposals upon that significance are appraised. The heritage assets affected have been observed and assessed by the author following a site visit. Specifically, this report assesses the significance of the listed building and the effect of the proposed development upon that significance. The report sets out how the proposal complies with the guidance and policy of the NPPF and local planning policy.

Documentary Research - References

This report has been compiled using the following sources: -

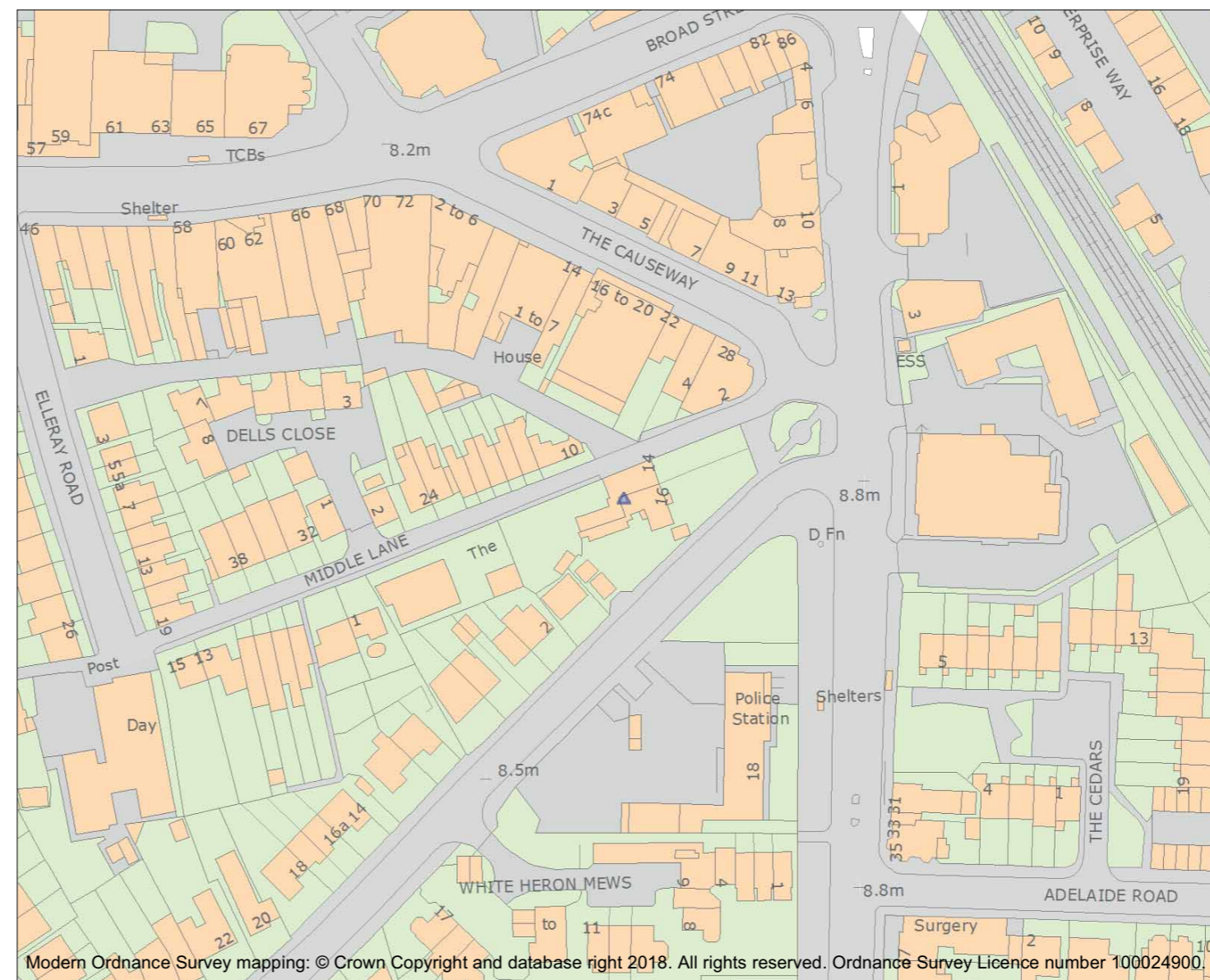
- [Historic England: List Entry for Adelaide House](#)
- [National Library Of Scotland: Historical Maps](#)

- 'The History of Park Road - Part 9 - The History of No's 14 & 16 Park Road' - by P.A.Ching (January 2000)

SBA met with Janine Stanford, Archivist serving Richmond and Wandsworth Councils, at the Local Studies Library & Archive Old Town Hall, Whittaker Ave, Richmond TW9 1TP on 14 April 2021. (Contact: Janine.Stanford@richmondandwandsworth.gov.uk / 020 8734 3309).

Purpose, Scope & Structure of the Statement

The purpose of this study is to establish the **significance and special interest** of Adelaide House, No.16 Park Road, Teddington, including the **Significance** of its various extensions and to demonstrate that the proposal will not harm the listed building.



Modern Ordnance Survey mapping: © Crown Copyright and database right 2018. All rights reserved. Ordnance Survey Licence number 100024900.

Historic England Listing Entry: 1391771

Heritage Category:	Listing
List Entry No :	1391771
Grade:	II
County:	Greater London Authority
District:	Richmond upon Thames
Parish:	Non Civil Parish

For all entries pre-dating 4 April 2011 maps and national grid references do not form part of the official record of a listed building. In such cases the map here and the national grid reference are generated from the list entry in the official record and added later to aid identification of the principal listed building or buildings.

For all list entries made on or after 4 April 2011 the map here and the national grid reference do form part of the official record. In such cases the map and the national grid reference are to aid identification of the principal listed building or buildings only and must be read in conjunction with other information in the record.

Any object or structure fixed to the principal building or buildings and any object or structure within the curtilage of the building, which, although not fixed to the building, forms part of the land and has done so since before 1st July, 1948 is by law to be treated as part of the listed building.

This map was delivered electronically and when printed may not be to scale and may be subject to distortions.

List Entry NGR:	TQ 15825 70909
Map Scale:	1:1250
Print Date:	5 May 2021

2. Heritage Assets

2. Heritage Assets

Historic England Listing



Adelaide House, 16 Park Road/ (Left)

Given the building was only recently listed in 2006 it has a far more detailed list description than many assets do. Historic England have, within this list description, clearly identified the special interest of the building rather than just providing a brief visual description of the asset.

The following extract is taken from the original text as found at www.historicengland.org.uk.

We have highlighted some key aspects in red.

HISTORIC ENGLAND GRADE 2 LISTING

22/01/10199 Park Road 22-Sep-06 14 & 16

Heritage Category: Listed Building

Grade: II

List Entry Number : 1391771

Date first listed: 22-Sep-2006

Details: Pair of semi-detached houses of different build. Early-mid C19. No 14 may be a remodelling of an earlier house of 1728. **No 16 is thought to have been built in 1835. C19 extensions to rear. Rear elevations altered late C19.**

History: The houses occupy the site of a pair of cottages, possibly of C17 or earlier date. No 14 is thought to have been built on the site of the northern cottage in 1728. **In 1834 the cottage to the south was sold, and a new house built on the site the following year, believed to be No 16 Park Road.**

Materials: Stock brick in Flemish bond, façades and return to No 14 stuccoed. Late C19 tile-hanging to rear second-floor elevations. Slate roofs.

Plan: No 16 is a three storeys and three bays house. **The plan comprises a rectangular frontage block with rear wing on N side forming L-plan.** Frontage block comprises off-centre entrance hall with one room to either side, and with stair to

the rear. **The rear wing appears originally to have been two storeys, with a second floor added in C19. There is a two storey extension to rear of this wing, with a further single storey range extending to W.**

Exterior: The porch is placed slightly off-centre to right, with pilasters and side windows with margin-light sashes. Six-panel door. Moulded architraves to windows. Six-over-six pane sashes. Hipped roof behind parapet with moulded cornice. **Rear elevation: Ground and first-floor windows to the main house are blocked.** Second-floor stair landing has sash window with coloured margin lights. The late C19 windows to the second floor are raised above parapet level. **C20 brick toilet extension in angle of house and rear wing.**

Interior: Doors to ground-floor rooms, and entrance, of main house have reeded architraves with corner rosettes. Plaster modillion cornice to hall and first-floor landing. The dog-leg stair with winder to turn has slender turned newels (that to ground floor replaced), stick balusters and mahogany handrail. The interior retains much early-mid C19 joinery, including six-panelled doors, door and window architraves, some plaster cornices and ground and first floor, shutters, skirtings, and chimney places, some with original grates. Later C19 cornice to upper floor S room; that to N room modified.

Summary of Importance: **Of special interest as pair of early-mid C19 neo-classical houses which retain their essential plan form,** staircases and a number of original features. They are important survivals of the elegant houses built throughout the Georgian period when Teddington, like neighbouring Twickenham and Richmond, was an affluent, semi-rural retreat from London.

3. Significance & Contribution

3. Significance & Contribution

Introduction

This chapter of the report establishes the significance of the relevant heritage assets. In accordance with paragraph 189 of the NPPF, the descriptions are proportionate to the assets' significance and are sufficient to understand the nature of any impact the proposals may have upon that significance.

It is recognised that not all parts of a heritage asset will necessarily be of equal significance. In some cases, certain aspects or elements could accommodate change without affecting the Government's objective, which includes the conservation of heritage assets and which seeks to ensure that decisions are based on the nature, extent and level of significance of heritage assets. Change is only considered to be harmful if it erodes an asset's significance. Understanding the significance of any heritage asset affected is therefore fundamental to understanding the scope for and acceptability of change.



1928 Aerial photograph © Britain From Above (ref: EPW023402)



1928 Aerial photograph © Britain From Above (ref: EPW023405)

3. Significance & Contribution

Conservation Area

CONSERVATION AREA: PARK ROAD (TEDDINGTON) NO.22

Designated on 10.12.1974, extended 20.09.1988 & 07.11.2005.

The site is located within the Park Road (Teddington) conservation area (No.22,) located just to the south of Teddington centre. It is contained by the railway line to the east and Bushy Park to the south.

The Park Road (Teddington) Conservation Area was first designated in 1974 with later extensions to the boundary in 1988 and 2005. The designated area is irregularly shaped and focuses on the area south of Teddington, to the west of the railway line and north of Bushey Park and includes a large number of 19th and early 20th century residential properties, many of which are listed or identified as Buildings of Townscape Merit (non-designated heritage assets).

The history of the conservation area is well summarised within the adopted Character Appraisal and Management Plan for the Park Road (Teddington) Conservation Area (2008) and not replicated here for brevity.

In order to reflect the varying character of the area, the conservation area is divided into three sub-areas of distinct character:

- Park Road (West);
- Around the Railway Station; and
- Clarence Road (south)

The application site is located within the Park Road (West) character area which is defined by the Conservation Area Appraisal as "a spacious group of grand early to mid 18th century and later buildings along the west side of the wide avenue that is Park Road." It is then described in more detail as:

"Park Road from Middle Lane to Clarence Road is the

oldest part of the conservation area. The footway on the west side is extremely wide, consisting of a pavement and a broad tarmac strip that was formerly a grass verge. In the strip are located many mature horse-chestnut trees that, together with the mature trees in the front gardens of properties and their front boundary walls, reinforces the C18 ambience of this part of Park Road. In this strip is also located a drinking fountain of 1887, erected by Teddington residents to commemorate Queen Victoria's Silver Jubilee. The entrance to the conservation area from Teddington is framed by Adelaide House and Clarence House on the west side, and the more grandiose Park Lodge hotel on the east side. Three large early to late C18 houses remain on the west side, each set in extensive grounds: The Elms, Norfolk Lodge and Old Manor Cottage. The C18 scale of this side is interrupted by the 1960s Police Station and, to a lesser extent, Tudor Court."

It is clear that the architectural and historic interest of this part of the conservation area primarily relates to the quality of built form within it and the way in which this demonstrates the 18th and 19th century development of the area and the prosperity and popularity of Teddington in these periods.

Adelaide House, as a high status early 19th century dwelling, makes a strong positive contribution to the character, appearance and significance of the sub area and wider conservation area. This contribution primarily relates to the building's front elevation which, alongside that of Clarence House, is a prominent element of the townscape of Park Road. The side and rear elevations of Adelaide House are not clearly appreciable from the surrounding streets due to the existing boundary wall in place alongside dense boundary planting. As such, these parts of the building make only a wholly limited contribution to the conservation area.



LBRuT Conservation Area No.22, Park Road, Teddington

3. Significance & Contribution

Map Regression & Background

The houses occupy the site of a pair of cottages, possibly of C17 or earlier date. No 14 is thought to have been built on the site of the northern cottage in 1728. In 1834 the cottage to the south was sold, and a new house built on the site the following year, believed to be No 16 Park Road.



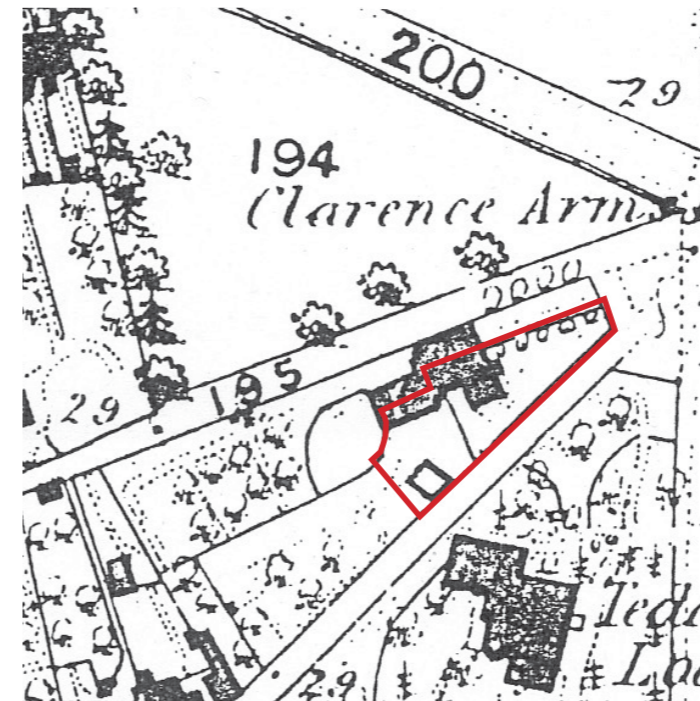
An extract of the map published by John Roque -1742. (https://biblio.unibe.ch/web-apps/maps/zoomify.php?pic=Ryh_1813_23.jpg&col=ryh)

Early entries in the Manor records suggest that in 1690 there was one cottage on the site which may have been rebuilt and that by 1728 there were two houses on the site, as identified on the John Roque map above, published in 1742.



Extract from Enclosure Award of 1800 (The History of Park Road - Part 9 - The History of No's 14 & 16 Park Road' - by P.A.Ching (January 2000)

By 1800, two houses and gardens are shown on the Enclosure Map on the piece of land between two roads known as Middle Lane and Park lane. The northernmost is thought to have been built in 1728 and may be part of the present Clarence House. The southernmost house was pulled down in 1834 and Adelaide House was built in 1835



OS Map of 1863/64 (<https://maps.nls.uk>)

The First Ordnance Survey of Teddington was published in 1863/64. The division both front and back can clearly be seen, with rear extension buildings now also evident. However it is not clear as to whether the rear extensions were accessed internally from Adelaide house or were separately accessed from outside.



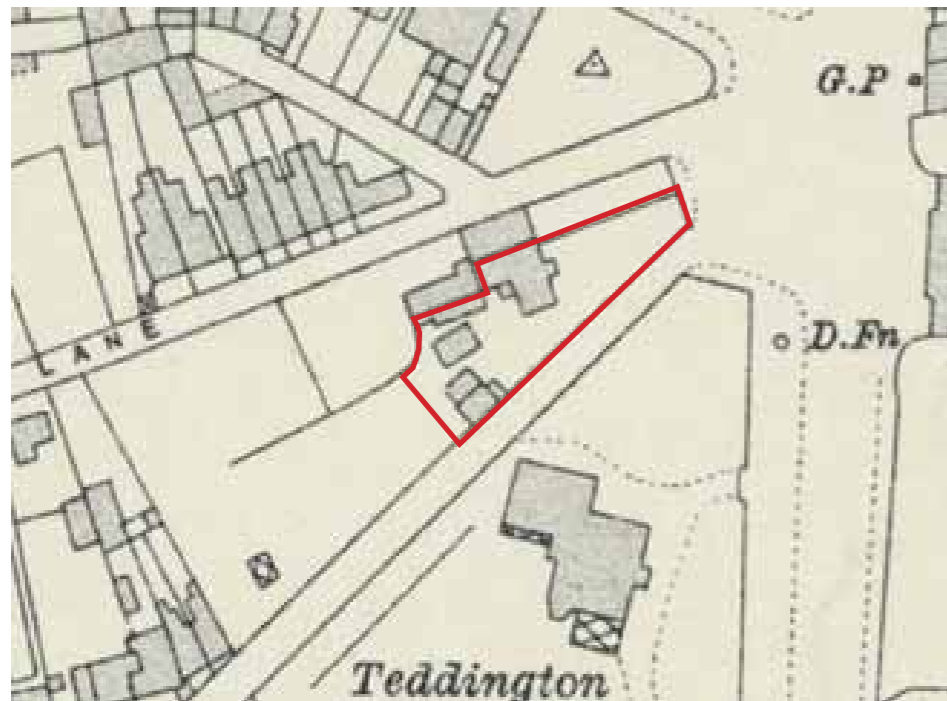
OS Map of 1894/96 (<https://maps.nls.uk>)

The next Ordnance Survey map available illustrates a clearer picture of the rear extension buildings to both properties, with a clear courtyard separate these from the rear of the main building. The 1st floor WC rear extension can also be seen.

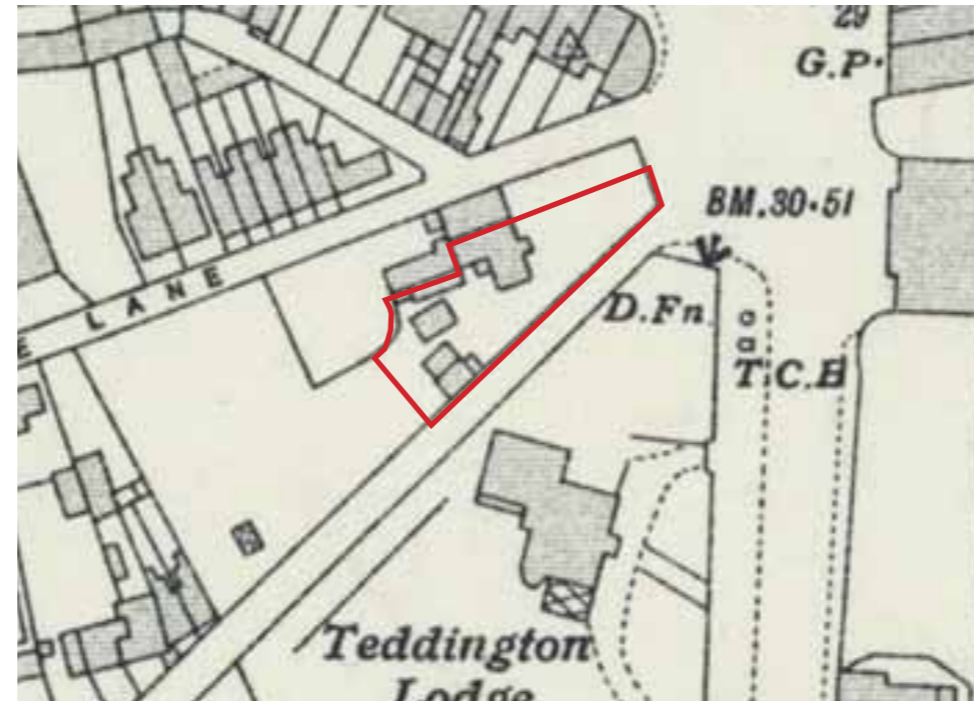
3. Significance & Contribution

Map Regression & Background

The following two Ordnance Survey maps dated between 1915 and 1936, clearly illustrate the presence of an additional large outbuilding beside the single storey rear extension. This building can no longer be seen by the 2013 OS Map and indeed is not on site today.



1915 OS Map (revised 1913)
(<https://maps.nls.uk>)



1936 OS Map (revised 1934)
(<https://maps.nls.uk>)



2013 OS Map
(Historic England Listing Entry: 139177)

3. Significance & Contribution

History of Buildings on Site

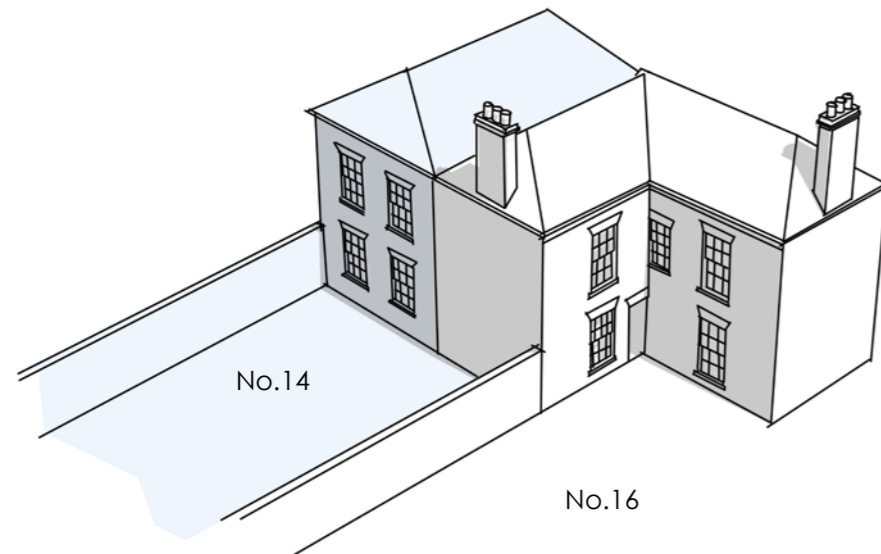
The history of development of existing buildings at No.16 has been determined as follows: -

1. In 1690 manor court records suggest there was one cottage on the site, later to become 2 cottages.
2. No 14 (Clarence House) may be a remodeling of an earlier house of 1728.
3. In 1834 the old cottage to the south was sold and No 16 is thought to have been built in 1835. The plan comprises a rectangular frontage block with rear wing on N side forming L-plan
4. The rear wing appears originally to have been two storeys, with a second floor added in C19.
5. There is a two storey extension to rear of this wing, with a further single storey range extending to West. Ground and first-floor windows to the main house are blocked.
6. C20 brick toilet extension in angle of house and rear wing.

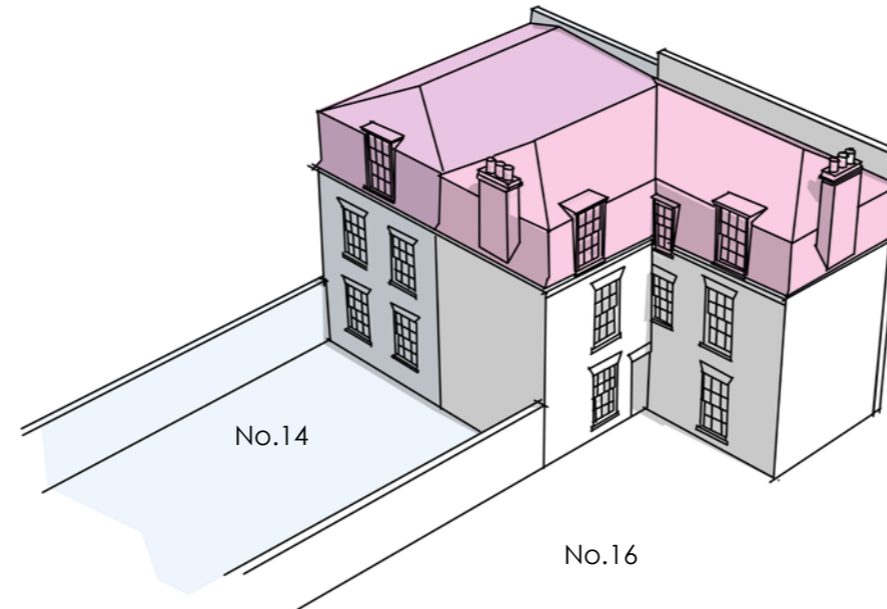
The diagrams opposite illustrate this progression from Construction of 16 Adelaide House in 1835.

This cronology was compiled using the following sources: -

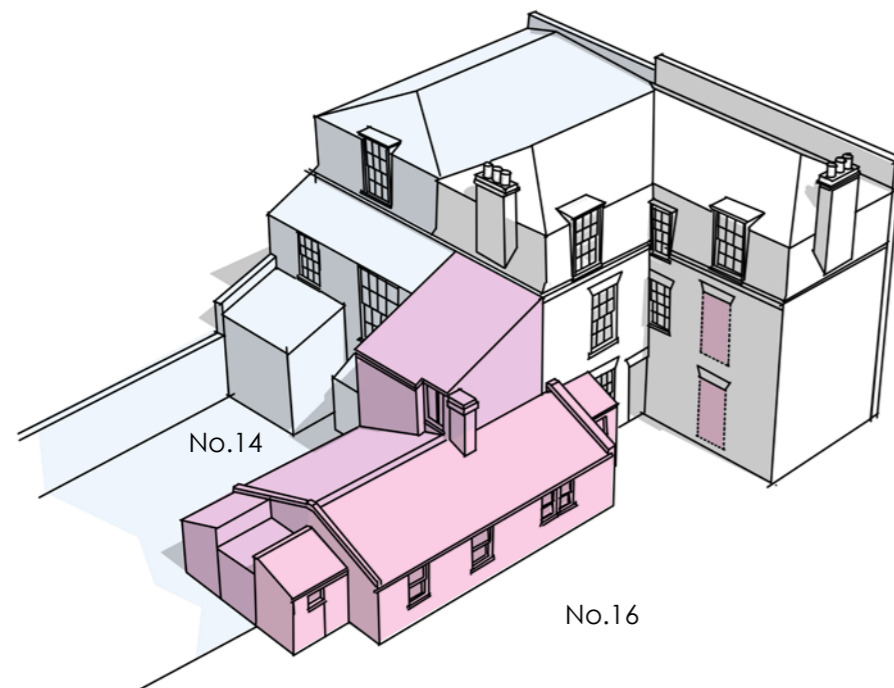
- 'The History of Park Road - Part 9 - The History of No's 14 & 16 Park Road' - by P.A.Ching (January 2000)
- Historic England: List Entry for Adelaide House



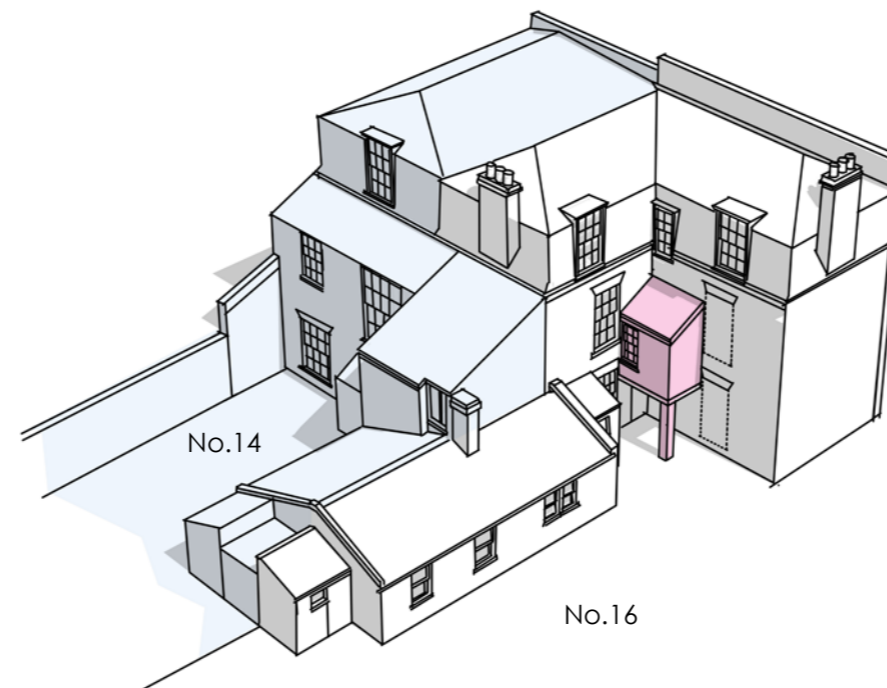
3. 1835 - No.16 built. The plan comprises a rectangular frontage block with rear wing on North side forming L-plan.



4. Late 1800's - Second floor added.



5. Late 1800's - 2 storey and additional single storey rear extension. Ground and first-floor windows blocked.



6. 1900's Brick toilet extension in angle of house and rear wing.

3. Significance & Contribution

Conclusion on Significance & Contribution



Historical Photographs from 'The History of Park Road - Part 9 - The History of No's 14 & 16 Park Road' - by P.A.Ching (January 2000)

- No 16 is thought to have been built in 1835 with a plan comprising a rectangular frontage block with rear wing on its north side, forming an L-plan.
- The historic mapping shows that single storey rear extension was not part of the original 1835 building - nor does the 1st floor WC rear extension, both added between 1870 and 1893.
- Brick Arches on the rear elevation at ground and first floor, indicate that 2 windows have been bricked up at some point in the building's history. As window tax was abolished in 1851, this was likely just a change in tastes or way the building was used leading to the blocking up of the windows.
- The significance & contribution of No. 16 Adelaide House is identified in its Listing as one of a pair of early-mid C19 neo-classical houses which retain their essential plan form, staircases and a number of original features. They are important survivals of the elegant houses built throughout the Regency or late Georgian period.
- The single storey rear extension is a later (mid to late 19th century) addition to the building which does not relate to the original 1835 phase of construction. This part of the building is entirely utilitarian in character, being a later added service range, being constructed of painted brickwork with a slate lean-to roof. A smaller modern extension has been added to the western end of the range. Internally the range maintains a utilitarian character that is at contrast with the earlier core of the building but is reflective of a service range of this period. The only notable feature internally is the small chimney breast which features a Victorian surround and cast iron inset grate.
- The location of the single storey rear extension, hidden behind the main 3 storey building. It cannot

be viewed from Park Lane with only its roof partially visible from Park Lane over the existing 1.9m high brick boundary wall.

- In conclusion, the single storey mid to late 19th century extension to Adelaide House is not of any special interest in its own right being a later 19th century extension of standardised form and character. Nonetheless, as a later added service range with a late 19th century chimney (no other original features survive internally) the addition does make some wholly limited contribution to the significance of the listed building demonstrating later domestic enhancements to the structure. The siting of the extension is particularly important insofar as it has been off-set away from the rear elevation of the earlier building (rather than butting up against it) which has allowed space to appreciate the original features of the main rear facade.

4. Impact Assessment of Proposal

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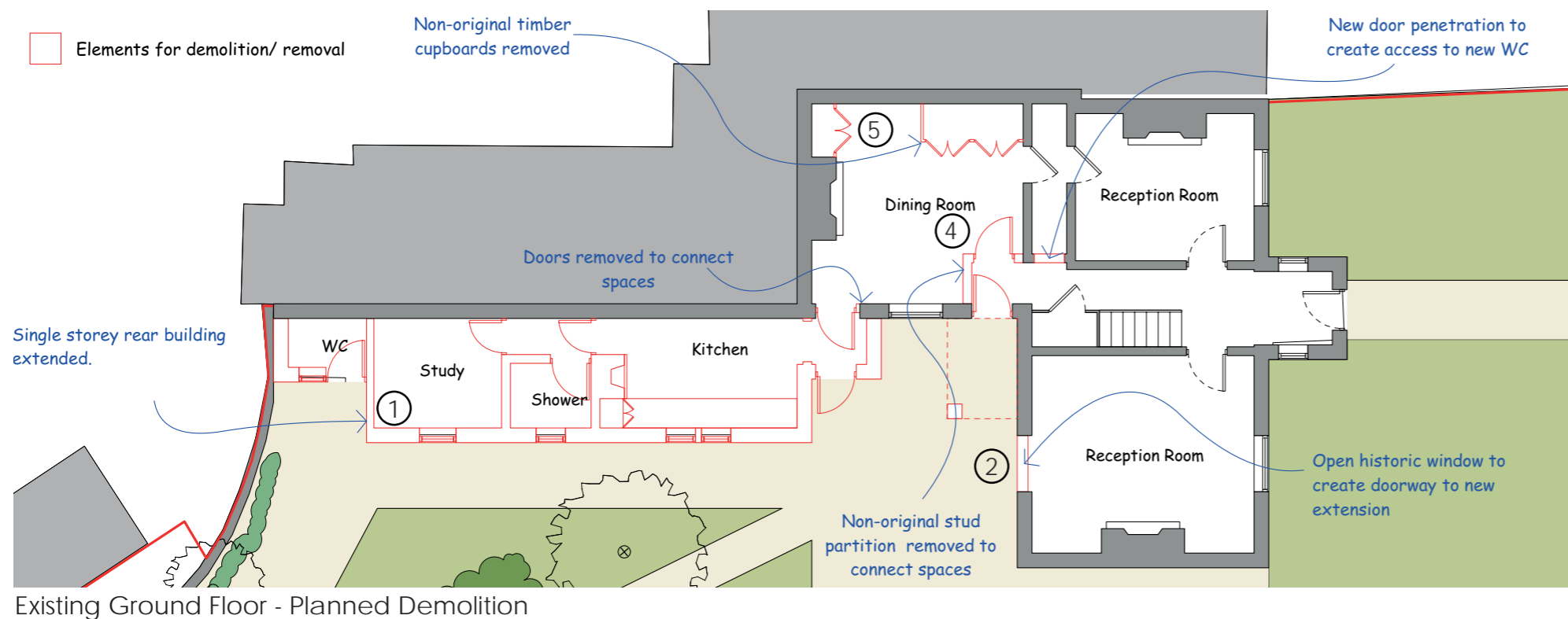
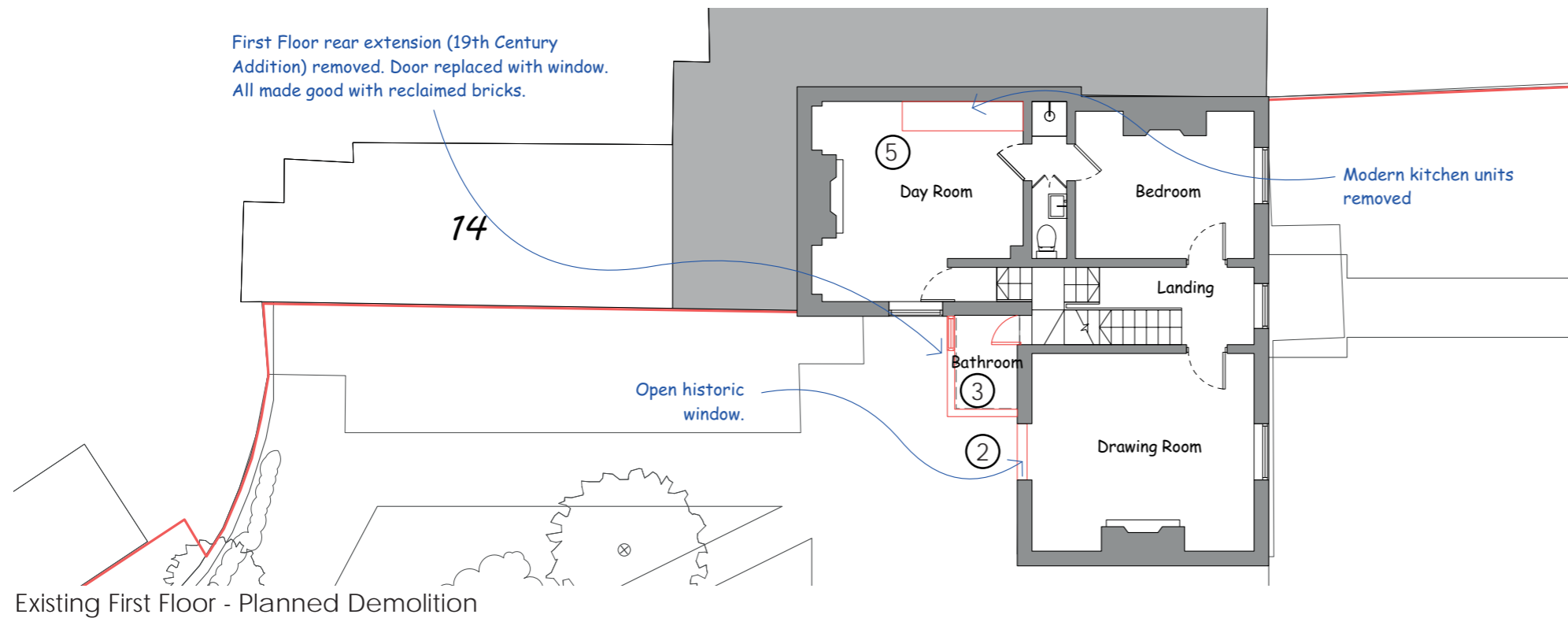
The Proposal

A key element of the proposal, is the opportunity to preserve, enhance and reinstate the building to its original architectural significance.

The proposal looks to make the following changes to the original building: -

1. Replace and extend the existing single storey rear building, preserving its original nature as a subservient and separate entity from the main house.
2. Reinstall the original window openings at ground & first floors. Extend Ground floor window cill to create doorway and reintroduce 6 over 6 timber sliding sash window to first floor window to match existing.
3. Remove 20th Century 1st floor WC extension, as it is a detracting feature, and introduce new window opening on principal rear elevation in place of staircase doorway behind. Use reclaimed bricks to make good facade.
4. Remove the non-structural internal wall and doors to the ground floor dining room. (Not original features).
5. Remove non-original Joinery to ground floor dining room and modern kitchen units to 1st & 2nd floors.

This Section looks at the Impact of each of the proposed changes and evaluates their impact against the Listed building.



4. Impact Assessment of Proposal

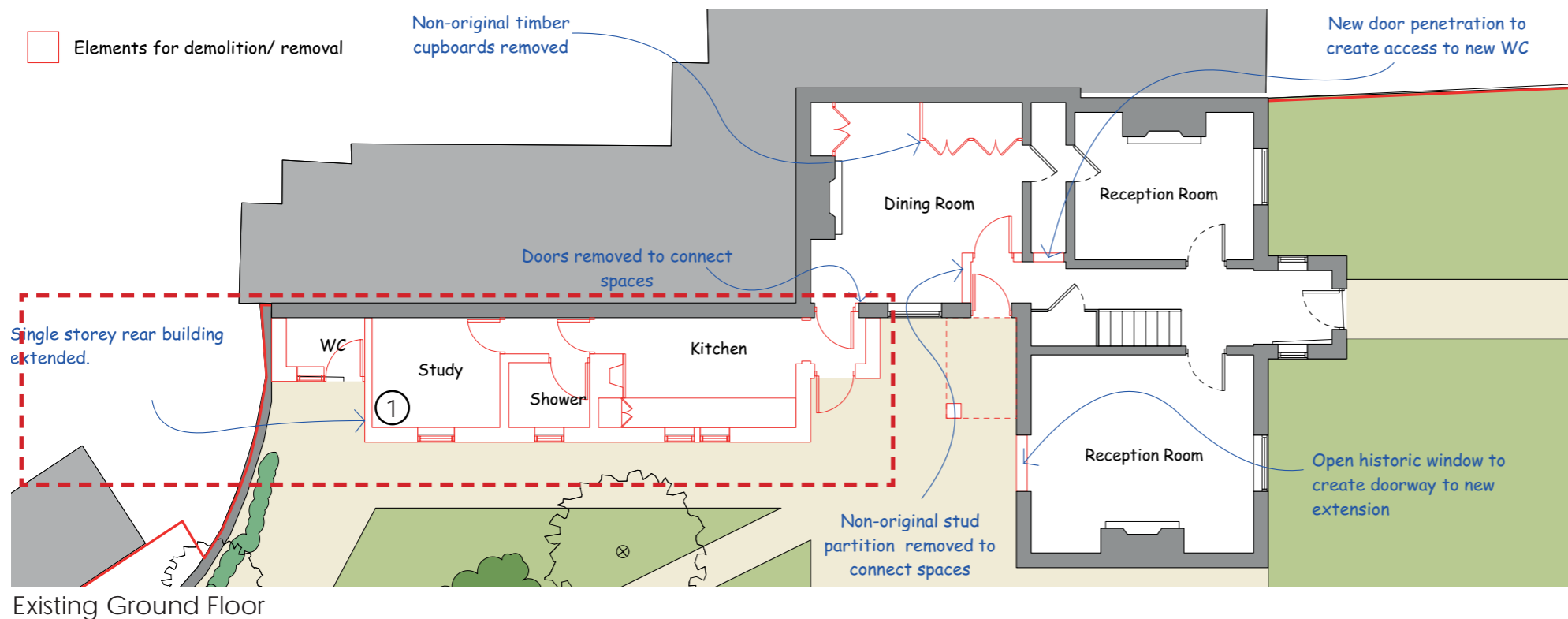
The Proposal



1. Existing Rear Building



1. Existing Rear Building



1. Extend the existing single storey rear building, preserving its original nature as a subservient and separate entity from the main house.

The Assessment of the Significance & Contribution of the single storey rear building has been covered in the previous chapter and can be summarised as follows: -

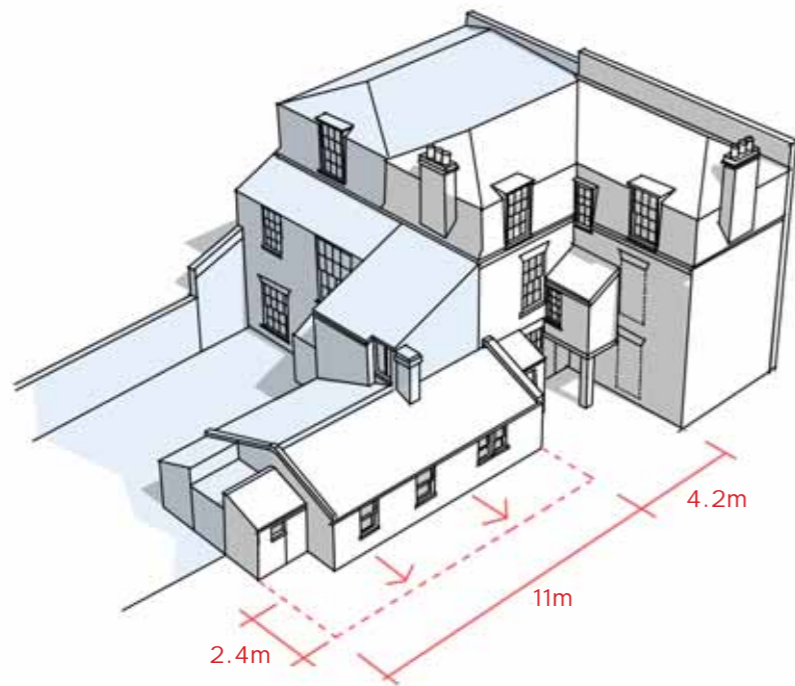
- The single storey rear extension does not appear to be part of the original 1835 building - but added later between c1870 and c1893.
- The significance & special interest of No.16 Adelaide House is identified in Historic England's Grade II listing as one of pair of early-mid C19 neo-classical houses which retain their essential plan form, staircases and a number of original features. They are important survivals of the elegant houses built throughout the Georgian period.
- The Single Storey rear extension is a later addition which, while not of any particular significance or special interest in its own right, does contribute to the significance of Adelaide House as a simplistically designed later service range. This demonstrates the changing domestic requirements of the building in the later 19th century.
- The location of the rear extension, hidden behind the main 3 storey building. It cannot be viewed from Park Lane with only its roof partially visible from Park Lane over the existing 1.9m high brick boundary wall. The way in which the extension is set back from the original rear elevation is an important component of its siting allowing the historic 1835 rear elevation to be unaffected
- In conclusion, the single storey addition is of some heritage value and contributes (in a limited way) to the significance of Adelaide House as a whole. This primarily relates to the ancillary 19th century character of the extension and the way in which it was carefully sited set back from the original rear facade

4. Impact Assessment of Proposal

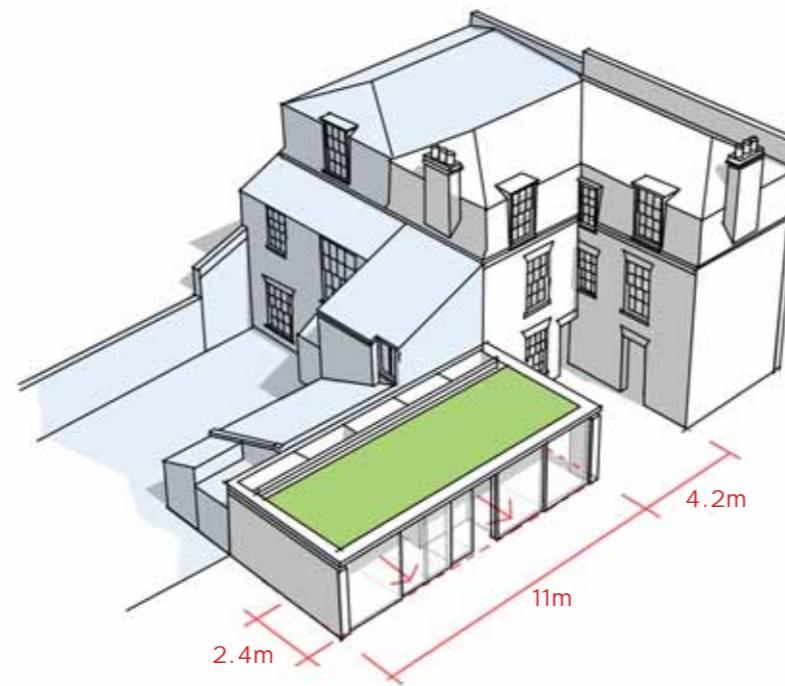
The Proposal

The proposal looks to extend the existing single storey rear building.

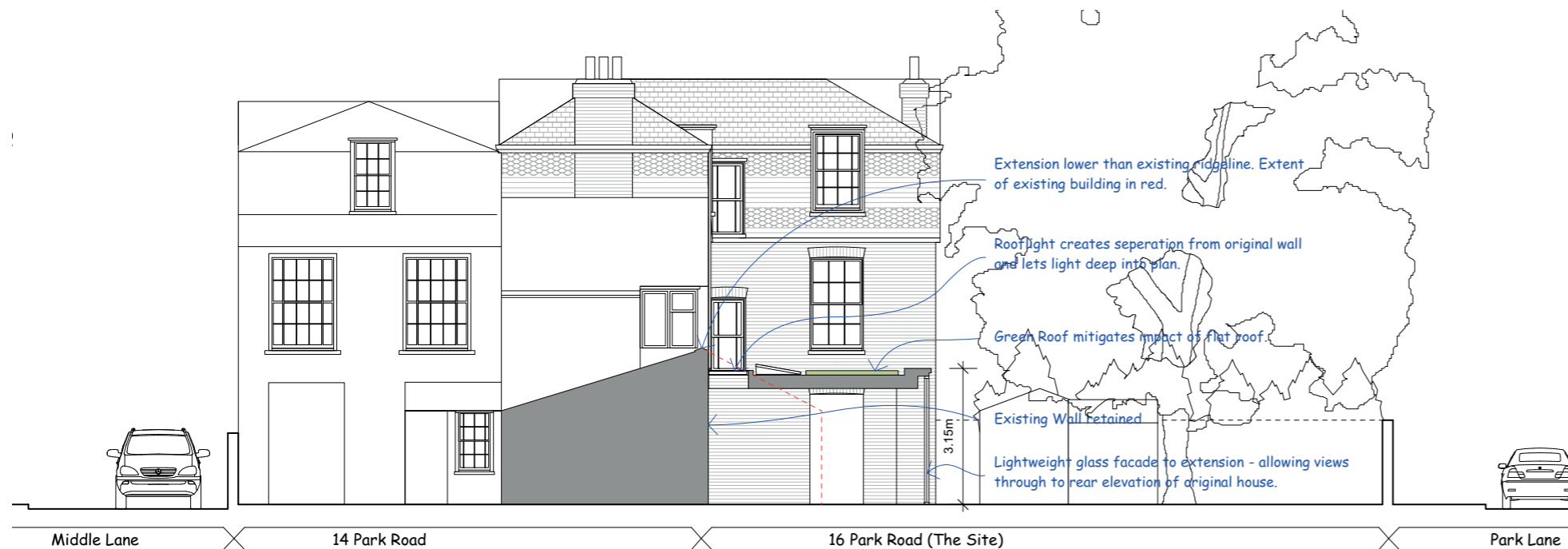
1. The existing back wall will be retained, replacing the pitched tile roof with a flat green roof and extending the front elevation further towards garden by 2.4m with a contemporary glass elevation.
2. The restrained, transparent, contemporary elevation will be deferential to the Georgian style of the main house creating views through to the original architecture. Delicate, thin frame glazed doors will echo and compliment the delicate thin bars on the 6 over 6 sliding sash windows.
3. The height of the replacement extension will be no greater than the ridge line of the existing rear extension.
4. At 11m, the width of the replacement extension will be the same as the existing footprint, leaving the existing 4.2m gap between the single storey building and the original house. This gap will be maintained using a glass link way which will provide a highly transparent visual divide between the extension and the listed building.
5. The proposal will use reclaimed bricks to match with the existing property.
6. The lightweight design forms a looking glass to the side of the listed building.



Existing Building



Proposed Extension



Proposed Section BB - Through extension

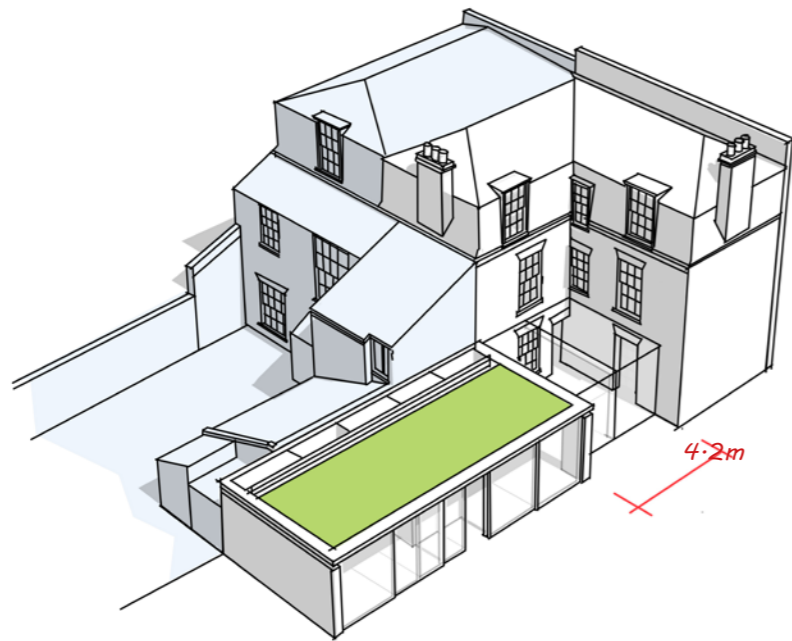
4. Impact Assessment of Proposal

The Proposal

It is acknowledged that the removal of the historic elements of the existing single storey extension would result in some effect on the significance of Adelaide House through the removal of a later 19th century (c.1870-1893) single storey outrigger range. This effect primarily relates to the removal of some historic, though not original, fabric (including the chimney breast and fire surround) and the partial loss of illustrative value as to the development of the building during the later 19th century. However, it is important to note that:

- The single storey extension is not found to be of any special interest in and of its own right being a later extension which has been altered and extended itself;
- The later 19th century development of the building is well demonstrated by other more prominent changes to the building (and these changes are not a facet of the building's special interest as confirmed by the list description's 'summary of importance');
- The removal of the single storey extension would not affect any original (i.e. 1835) fabric of the grade II listed building which, as evidenced by the list description primarily relates to the building's being an important survival of elegant neo-classical houses which "retain their essential plan form, staircases and a number of original features".

The replacement extension has been carefully designed following detailed pre-application advice with the Council. While larger in footprint to the existing structure, the proposed extension (due to its scale, form and height) remains subservient and ancillary to the original dwelling. Importantly the separation between the single storey range and the rear elevation of the building has been maintained through the use of the glazed link. As a result, the replacement extension would not, in and of its own right, result in any detrimental effect on the significance of either Adelaide House or the Park Road (Teddington) Conservation Area.



Proposed Glass link



Examples of Glass Links on Heritage Buildings



Visual showing view through Glass Link

4. Impact Assessment of Proposal

The Proposal



2. Rear Elevation. Brick Lintels indicate location of original windows.



2A. Original window opening to first floor Drawing Room



2A. Original 1st floor brick arch.



2B. Original ground floor brick arch.



2B. Original window opening to ground floor Sitting Room

2. Reinstate the original window openings at ground & first floors. Extend Ground floor window sill to create doorway and reintroduce 6 over 6 timber sliding sash window to first floor window to match existing.

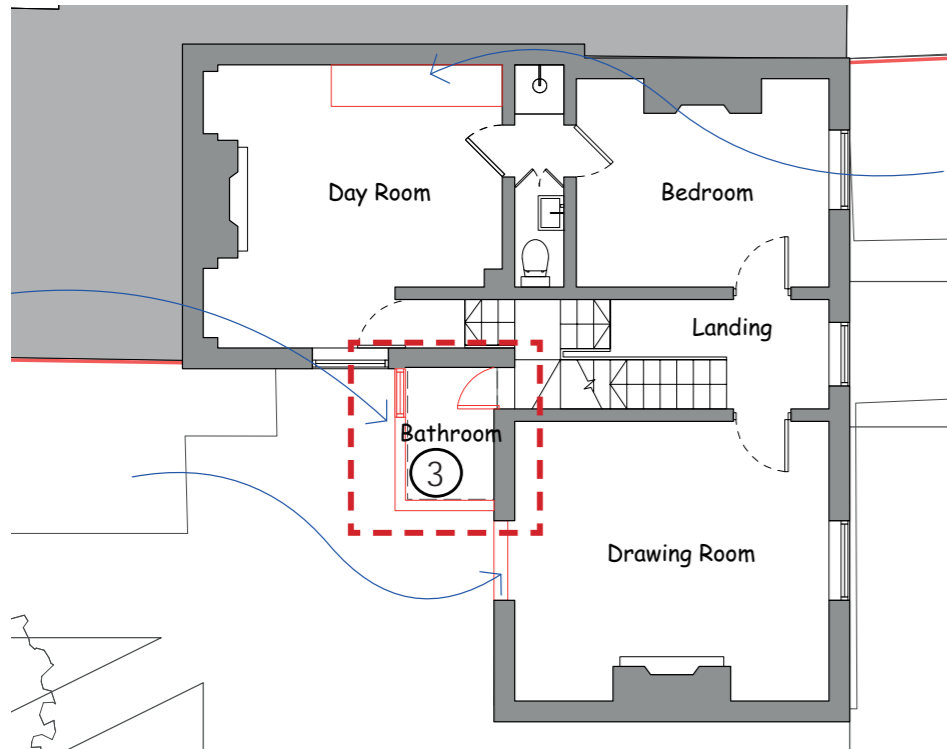
- Brick Arches on the rear elevation at ground and first floor, indicate that 2 windows have been bricked up at some point in the building's history.
- Brickwork will be carefully removed to establish original opening, using white render to head and jambs to match existing windows. Any bricks removed will be retained for use in replacing damaged brickwork.

These works would result in a clear enhancement to the significance of the grade II listed building, reinstating important elements of fenestration to the rear elevation and enhancing natural light within these spaces.

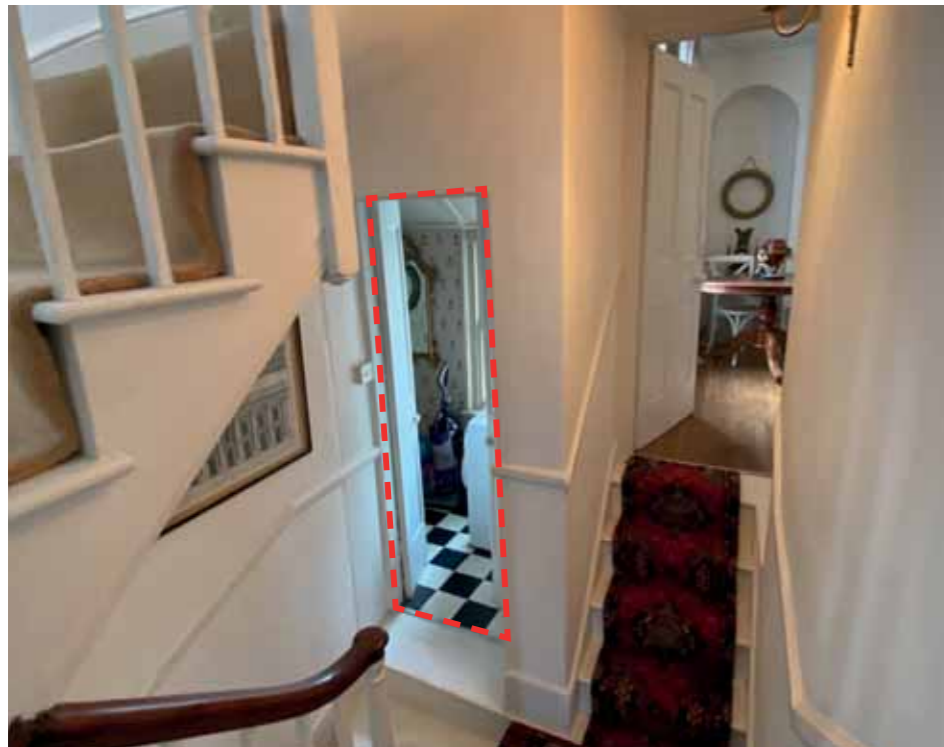
While the rear of the building does not hold particular prominence within the conservation area, these works to reinstate lost features within Adelaide House, an important component of the conservation area, could also be viewed as resulting in a modest enhancement to the significance of the Park Road (Teddington) Conservation Area.

4. Impact Assessment of Proposal

The Proposal



First Floor Plan showing WC 1st floor extension and internal door from staircase



3. Internal door to WC replaced with window and brick fill below.



3. Rear Elevation. WC Extension removed

3. Remove 19 Century 1st floor WC extension and introduce new window opening on principal rear elevation in place of staircase doorway behind. Use reclaimed bricks to make good facade.

As this extension is a 20th century addition it has no significance according to the Historic England listing. Additionally, it is of poor quality and a detracting feature. The brickwork is not stitched into the existing house and can therefore be carefully removed without damage to the existing brickwork behind.

Where the internal door is removed, a window to match the style of the original building will be added. Where required, bricks to match the existing will be added under the new window.

These works result in a clear enhancement to the architectural and historic interest of the building, removing a poor quality and detracting feature from the rear elevation and potentially reinstating an original window into the staircore. This has a beneficial effect on the significance of both Adelaide House as a grade II listed building and the Park Road (Teddington) Conservation Area.

4. Impact Assessment of Proposal

The Proposal

4. Remove the non-structural internal wall and doors to the ground floor dining room. (No original features).

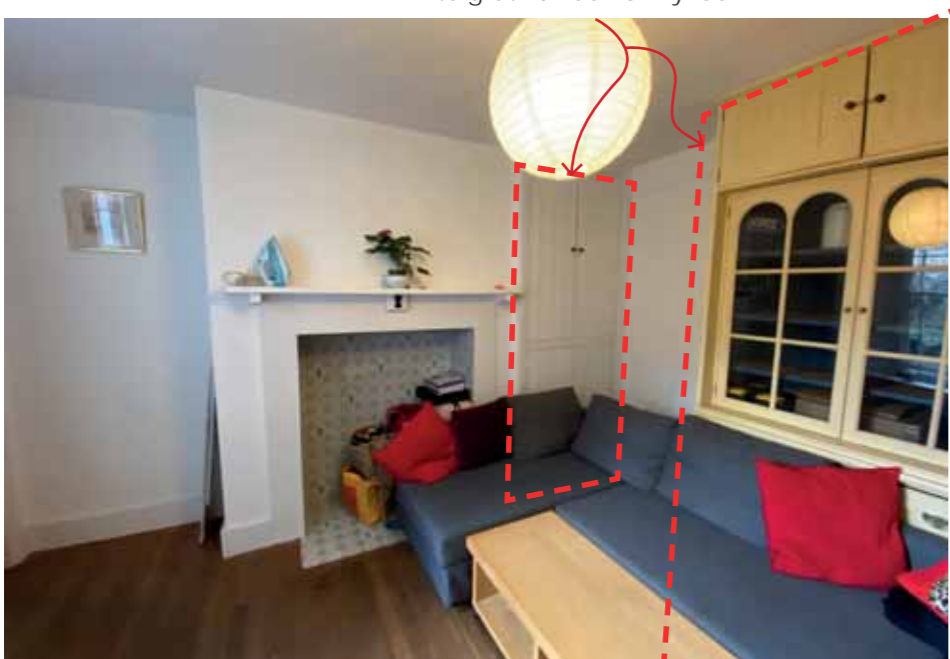
This partitions to be removed are non-structural and likely added at a later date. There is no cornicing or original features on this partition. Removing this will not have any impact of the essential 19th century plan form.

This is a modern feature and no historic fabric would be affected by the removal of this partition. Beneficially, the works would allow the original proportions of the room to be better revealed.



4. Internal Partition removed

Removed non-original cupboards to ground floor family room



5. Remove non-original cupboard

5. Remove non-original joinery to ground floor dining room and modern kitchen units to 1st & 2nd floors.

Remove non-original joinery as identified on the photograph to the left. No cornices in this room. Not considered as part of the original building.

Modern kitchens can be seen in Photographs Section - Pg. 9.

Similarly, this is a modern feature and no historic fabric would be affected by the removal of these non-original cupboard. Again, the works would allow the original proportions of the room to be better revealed.

4. Impact Assessment of Proposal

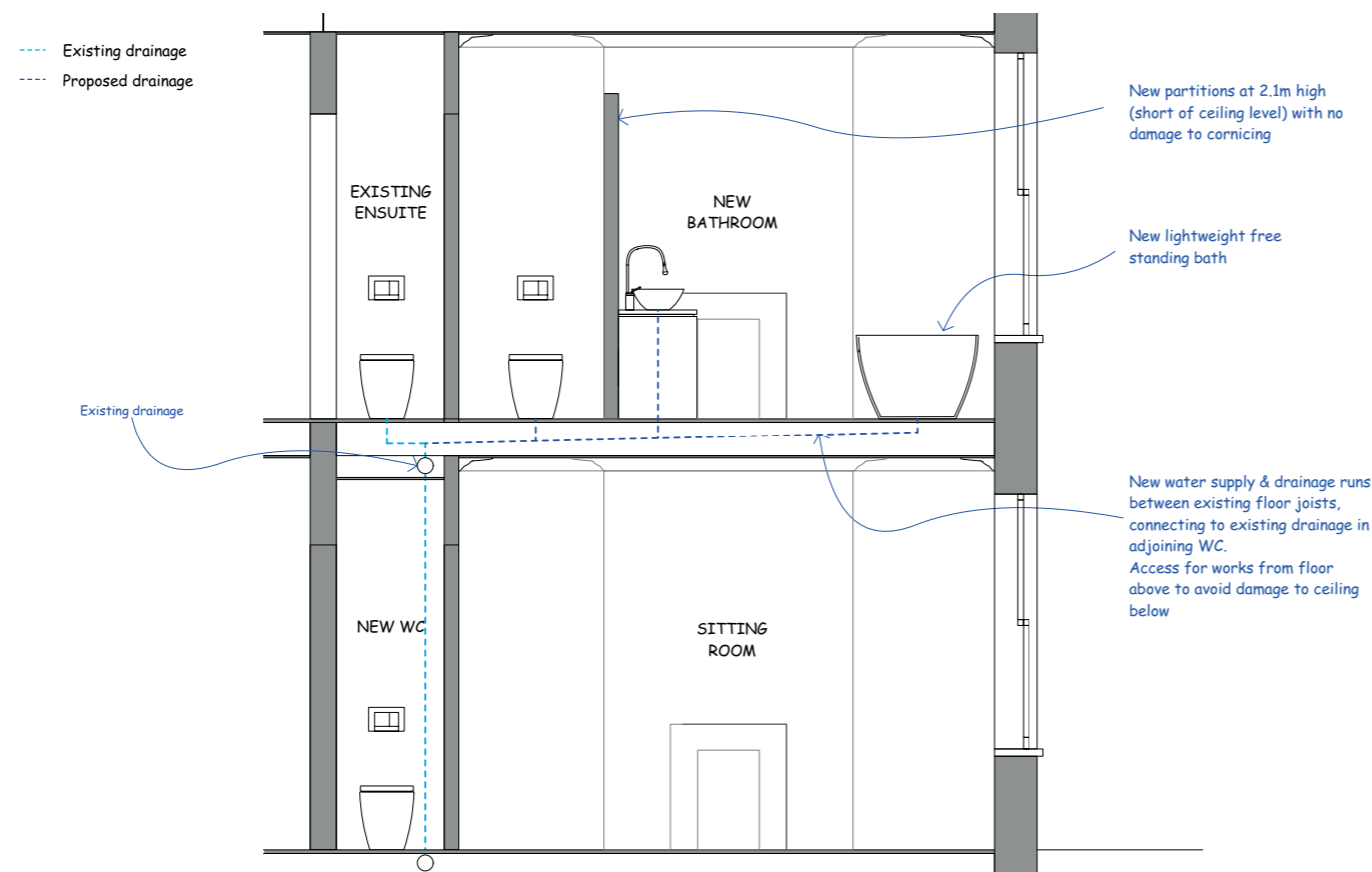
The Proposal

A new bathroom is proposed in place of a bedroom at first floor level.

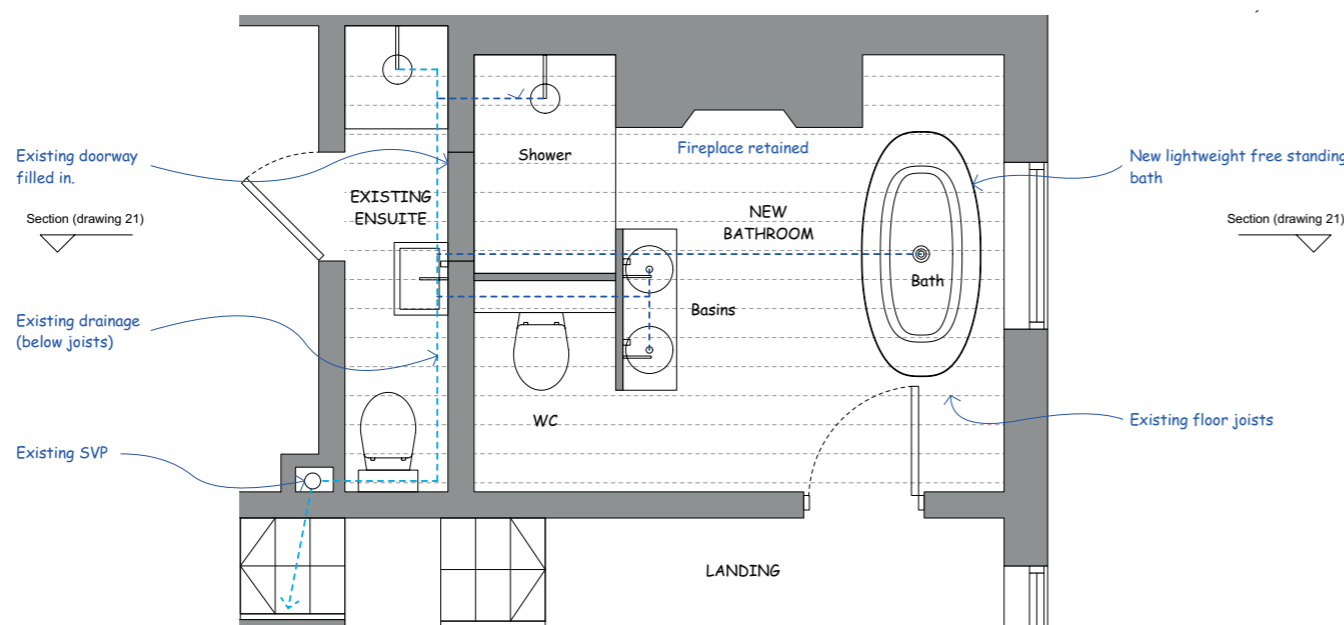
In order to avoid additional structure, a lightweight bath has been specified.

Internal Partitions are free standing and do not touch the ceiling, therefore avoiding damage of any existing cornice or skirting and allow the historic proportions of the room to be understood despite some partitions to create privacy.

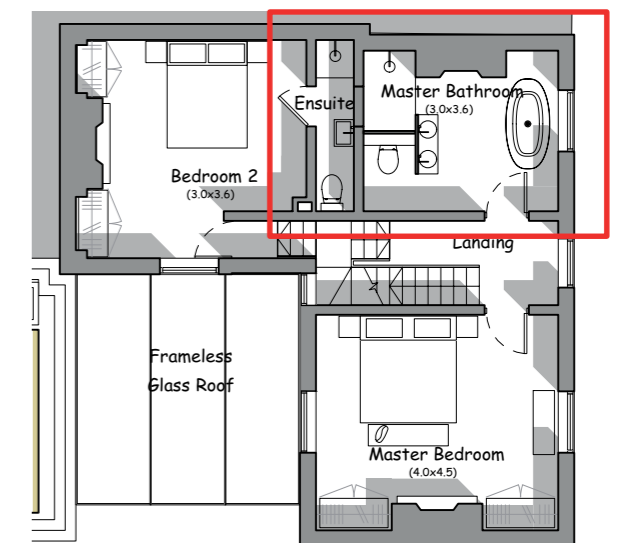
The detailed drawings to the left illustrate proposals for services which have been design so as to run between the existing timber joists, connecting into an existing Soil pipe run in the existing Ensuite next door.



Proposed Section of Bathroom



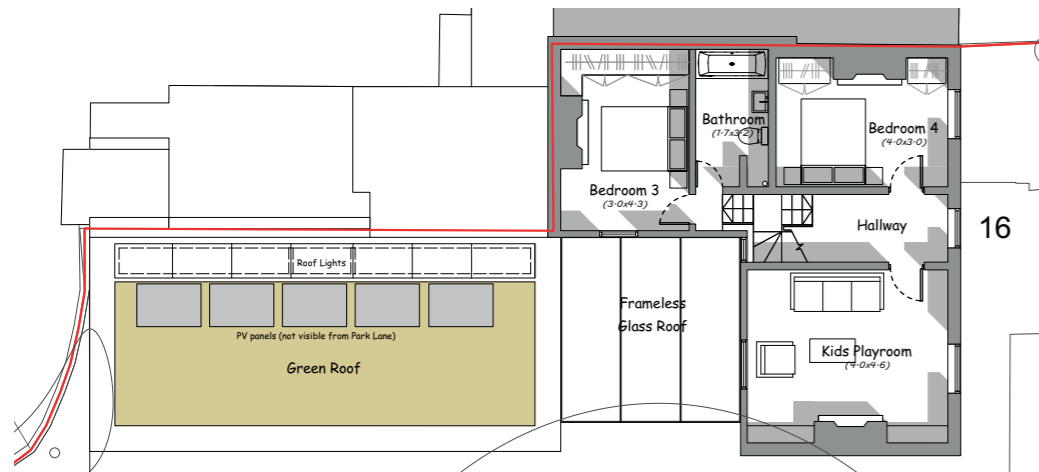
Proposed Plan of Bathroom



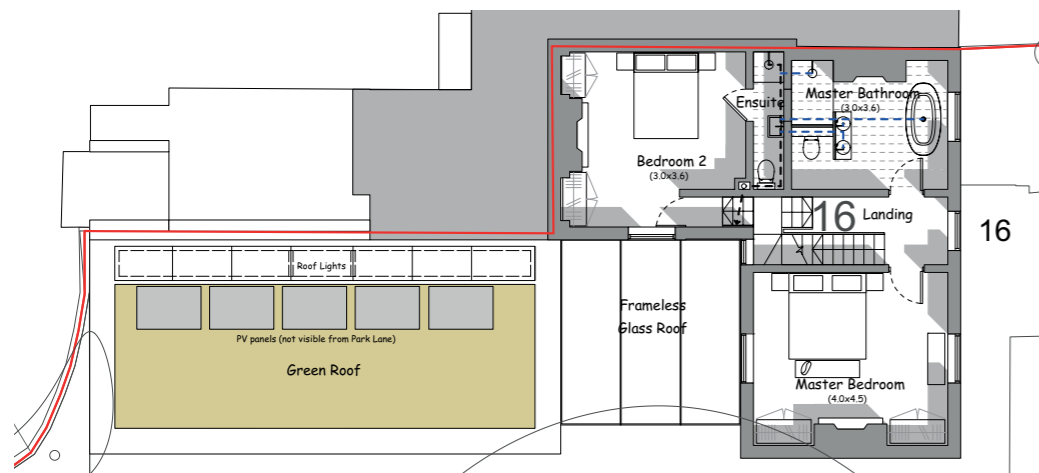
Key Plan

5. Summary & Conclusions

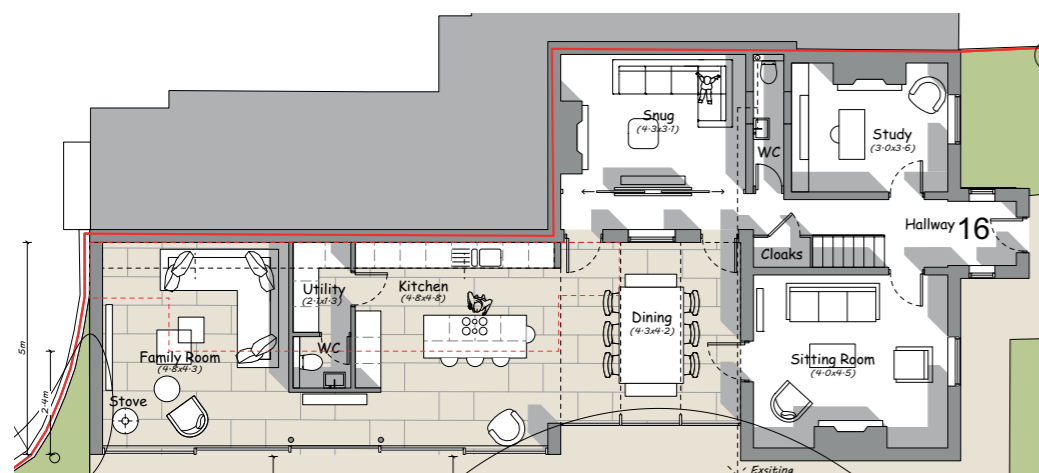
5. Summary & Conclusions



Proposed Second Floor



Proposed First Floor



Proposed Ground Floor

This Heritage Statement has satisfied the requirements of the NPPF insofar as it provides a proportionate assessment of the significance of heritage assets affected by proposals, namely the grade II listed Adelaide House (part of a pair listed alongside Clarence House) and the Park Road (Teddington) Conservation Area. This is followed by an assessment of the effect of the proposals on that significance.

As identified within this report and within the submitted Design and Access Statement, the proposals entail the replacement of an existing late 19th century single storey rear extension to the building alongside a number of minor external and internal works.

The preceding section of this report concludes that the removal of the later 19th century single storey range has the potential to result in a wholly limited effect on the significance of the building (commensurate with a low level of less than substantial harm). However, in accordance with paragraph 202 of the NPPF public benefits of an application (which can include heritage based benefits, paragraph 020 of the PPG) must also be considered.

The proposed development secures a number of heritage benefits which amount to enhancements to the significance of the listed building and, in some cases, the conservation area. These enhancing works can be summarised as:

- The reinstatement of formerly blocked up windows to the rear elevation of Adelaide House which restores the lost character of the rear elevation;
- The removal of the poor quality and detracting first floor WC addition which better reveals the historic

form of the rear elevation and potentially reinstates an original window to the stair core; and

- The removal of modern partitions and cupboards within Adelaide House which allow original room proportions to be better revealed.

These heritage based public benefits clearly outweigh the wholly limited effect of the removal of the single storey extension leading to a scheme which, when considered holistically, would preserve the significance of the grade II listed Adelaide House and preserve and enhance the significance of the Park Road (Teddington) Conservation Area. As such, there would be preservation for the purposes of the decision makers duty under sections 16, 66 and 72 of the Planning (Listed Building and Conservation Area) Act 1990. The proposed development would also comply with the following relevant local planning policies:

- CP7 Maintaining and Improving the Local Environment
- DM HD 1 Conservation Areas – designation, protection and enhancement
- DM HD 2 Conservation of Listed Buildings and Scheduled Monuments
- HC1 of the London Plan 2021



Heritage Environmental Consultancy
t: 0330 107 2944 e: sara@hcukgroup.co.uk w: www.hcukgroup.co.uk/

SIMONBROWN ARCHITECTS

6 Phoenix Wharf, Eel Pie Island, Twickenham TW1 3DY
t: 020 8158 8880 e: mail@simonbrownarchitects.com w: www.simonbrownarchitects.com