



Adelaide House, 16 Park Road, Teddington TW11 0AG

Schedule of Repairs & Construction Method Statement for works to a Listed Building

30 June 2022

1. Introduction

Simon Brown Architects have been appointed by the applicant, Mr. Ben Phillips, to submit a planning application to London Borough of Richmond upon Thames (LBRuT) for an : -

'Extension of the existing single storey out-building to rear, removal of the rear first floor WC extension, reinstatement of existing windows to rear and minor alterations to the existing internal walls of the Grade 2 listed property'.

This document provides a schedule of repairs to the property along with a method statement & detailing for the removal & extension of the existing extension.

SCHEDULE OF REPAIRS

A package of repairs is planned for the Listed Building's interior timber skirting & architraves and plasterwork mouldings. A specialist Heritage Plaster Services craftsman will be employed to undertake some or all of the following: -

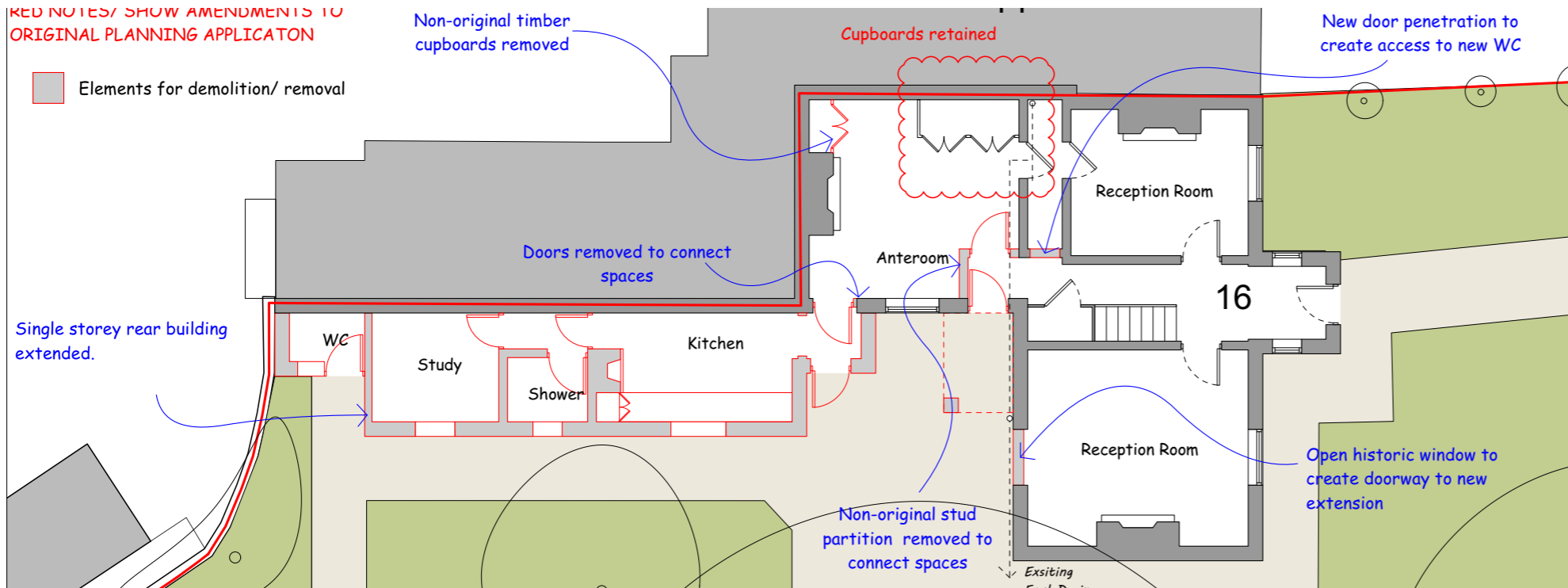
- Re-securing original ceiling and wall plaster
- Patch repairs to original ceiling and wall plaster
- Analysis of the original plaster
- Removing paint and tarnish to restore plaster mouldings to their original state
- Restoring damaged plaster mouldings by hand
- Modelling and mould making

All necessary boarding, screens and barriers will be used to keep the existing building protected during the works.

Existing Plans

2. Existing Building

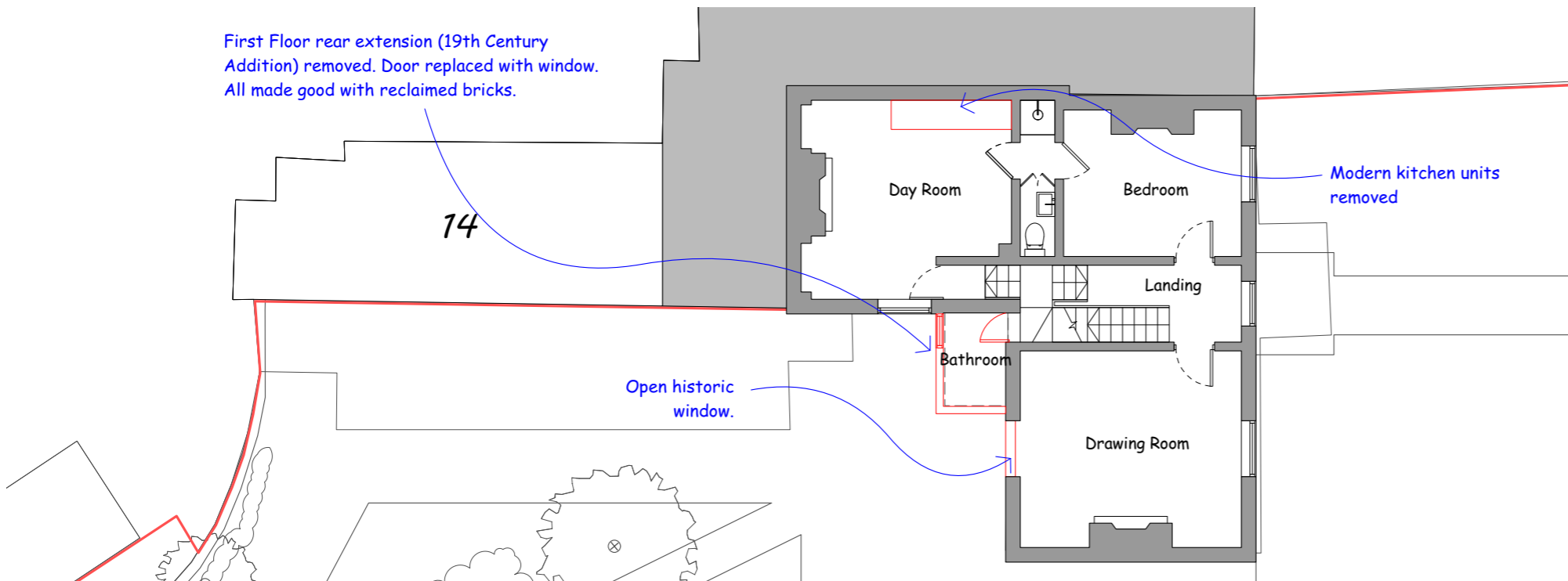
GA Plans



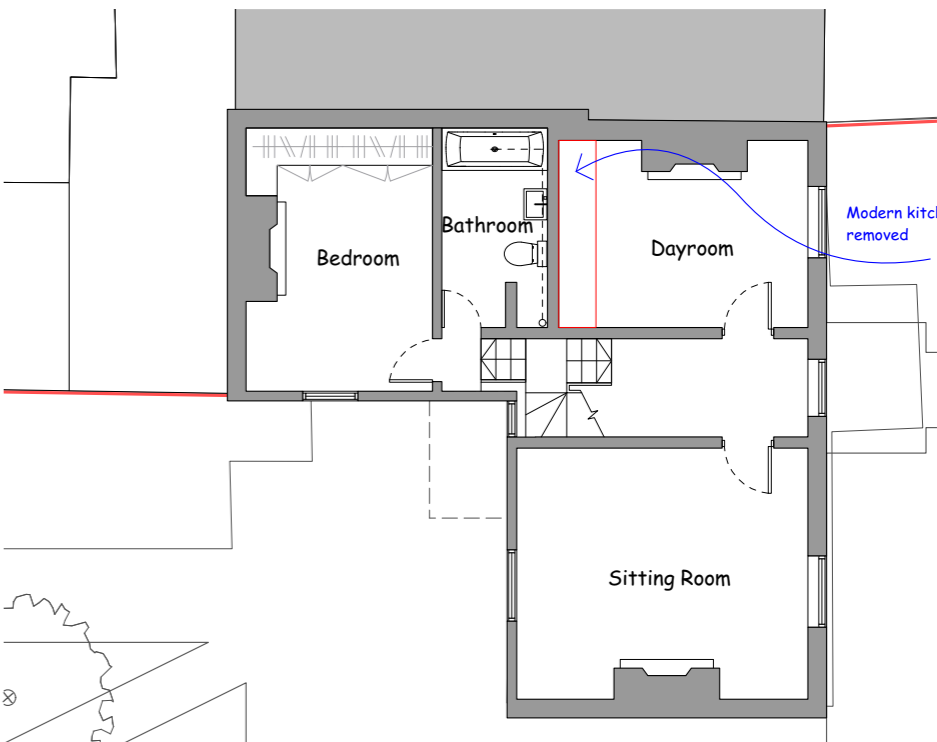
Existing Ground Floor Plan

Adelaide House (No.16) is a three storey, three bay house attached to the north to Clarence House (No 14 Park Road). The plan comprises a rectangular frontage block with rear wing on N side forming L-plan. Frontage block comprises off-centre entrance hall with one room to either side, and with stair to the rear. The rear wing appears originally to have been two storeys, with a second floor added in C19. There is a two storey extension to rear of this wing, with a further single storey range extending to the west.

Materials: Stock brick in Flemish bond, façades and return to No 14 stuccoed. Late C19 tile-hanging to rear second-floor elevations. Slate roofs.



Existing 1st Floor Plan



Existing 2nd Floor Plan

Schedule of Repairs

1. Hallway

1. Existing linoleum floor covering to be carefully removed and replace with Georgian style tiles.

2. Specialist cornice expert will carefully remove existing layers of paint on cornicing to reveal existing moulding and decorate.



1. Hallway

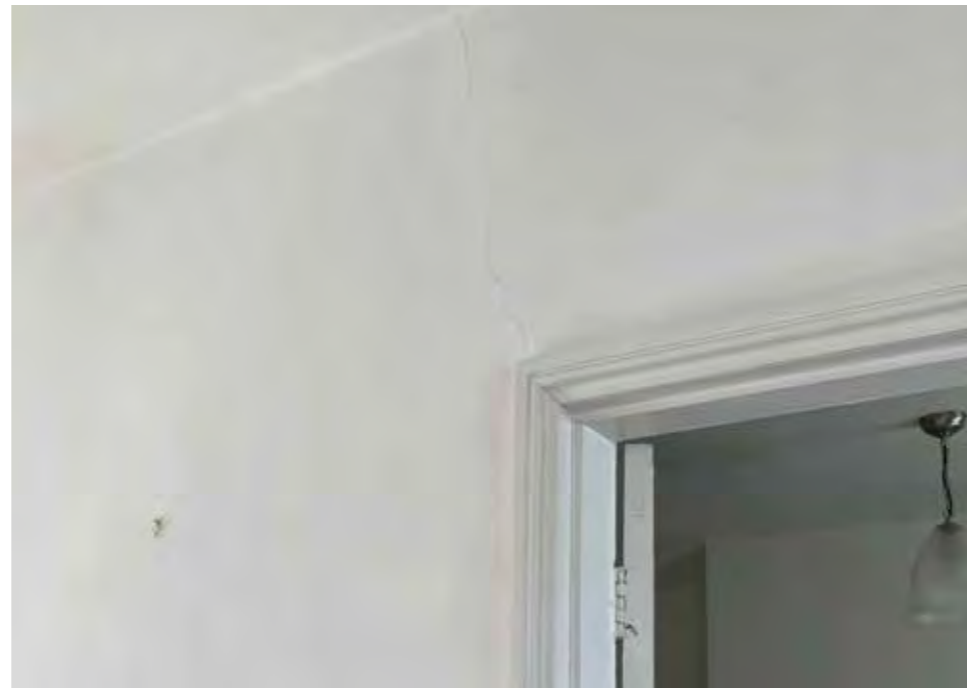
3. Existing front door and architrave retained, cleaned and cracks repaired where possible.

4. Existing skirting, architraves, window cills and woodwork filled, cleaned and made good.



1. Hallway

5. Damaged wall and ceiling linings removed and replaced.



2. Sitting Room

1. Existing fireplace retained and painted to make good.



2. Existing skirting repaired where required and redecorated to make good.



3. Existing damaged carpet flooring carefully removed to reveal original floorboards.



2. Sitting Room

4. Specialist cornice expert will carefully remove existing layers of paint on corncing to reveal existing moulding and decorate.

5. Damaged wall and ceiling linings removed and replaced.



3. Study

1. Existing skirting repaired where required and redecorated to make good.



2. Specialist cornice expert will carefully remove existing layers of paint on cornicing to reveal existing moulding and decorate.



5. Damaged wall and ceiling linings removed and replaced.



4. Master Bedroom

1. Cracks and disrepair of walls and skirting to be filled and decorated.



5. Existing First Floor Day Room

1. Existing modern kitchen to be removed



2. Damaged wall and ceilings to be repairs and made good.



6. Existing Second Floor Day Room

1. Existing modern kitchen has been removed

Before (photo taken 04.02.21) :



After (photo taken 11.04.22) :



1. Existing broken window repaired and frame made good.



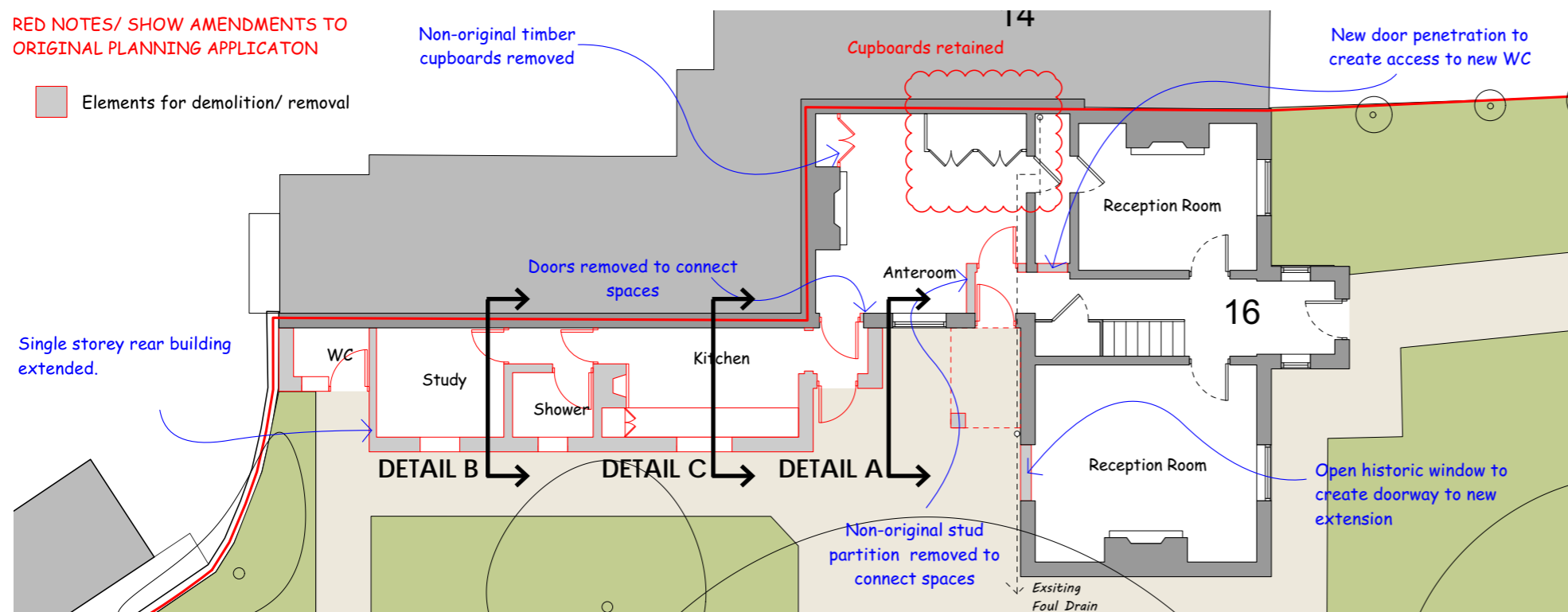
Construction Method Statement to Remove
and Extend an Existing Outbuilding



Photos of Existing Rear extension

RED NOTES/ SHOW AMENDMENTS TO ORIGINAL PLANNING APPLICATION

Elements for demolition/ removal



Existing Ground Floor Plan - showing location of detailed construction sections

INTRODUCTION

This method statement describes works to remove and extend the existing outbuilding to mitigate impact on the associated with the existing listed house at No.16 and adjoining outbuilding of no. 14.

It should be read in Conjunction with SBA drawings: -

- 404(PL)16-Roof Details - Sheet 1
- 404(PL)17-Roof Details - Sheet 2
- 404(PL)18-Roof Details - Sheet 3

Existing Construction

The existing outbuilding extension is constructed from a single skin of in brickwork, with timber roof joists, slate tiles.

Apart from the small lean to entrance on the right hand side, this structure abuts the solid brick Party Wall of No.14.

Three detailed construction drawings have been produced to clearly illustrate the existing & proposed structure at 3 key points along the length of the outbuilding as indicated on the plan opposite and photographs above.

Detail A: - Section through external rear return wall of no.16.

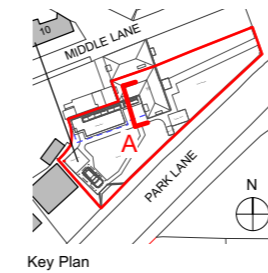
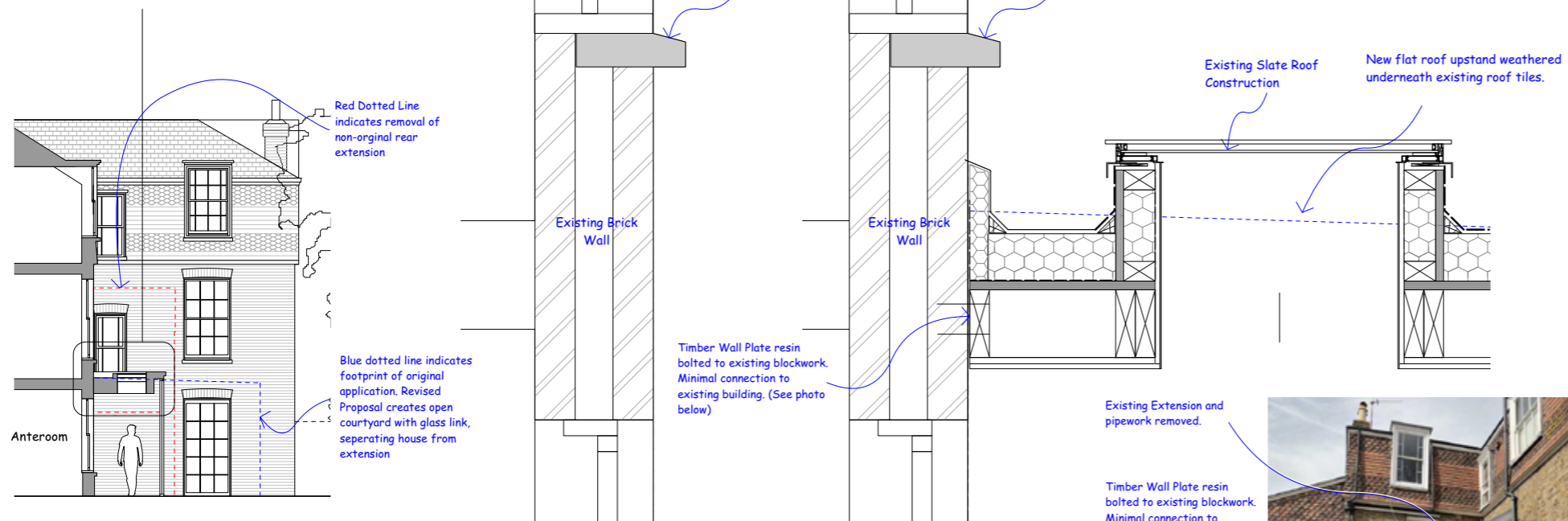
Detail B: - Section through party wall ridge tile, shared with No14's outbuilding next door.

Detail C: - Section through No.16 outbuilding roof and junction with hung tile party wall with No.14.

DETAIL A

The Extension and Link Structure will have minimal fixing to the existing building fabric.

See detailed structural drawings opposite showing how the new extension will physically connect to the new extension/linking corridor.



Detail A:- Section through external rear return wall of no.16.

See Drawing '404(PL)16-Roof Details - Sheet 1', opposite.

This drawing details the length of wall above the existing ground floor window (see image below) where the new glass link will be constructed.

There is no existing structure to be removed at this point.

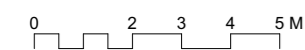
The proposal illustrates a timber wall plate bolted to the existing wall at discrete locations along its length.

The new roof will be supported from this wall plate and the new columns/ brick wall running along the outside of the new glass link.

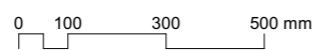
This presents absolute minimal damage to the existing structure.

The new structure is removable with without damage to the existing wall which will only require discreet repairs to drill holes.

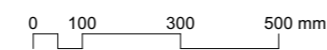
1 Proposed Rear Section A
Scale: 1:100



2 Existing Wall Detail A
Scale: 1:10



3 Proposed Wall Detail A
Scale: 1:10



Existing Extension and pipework removed.

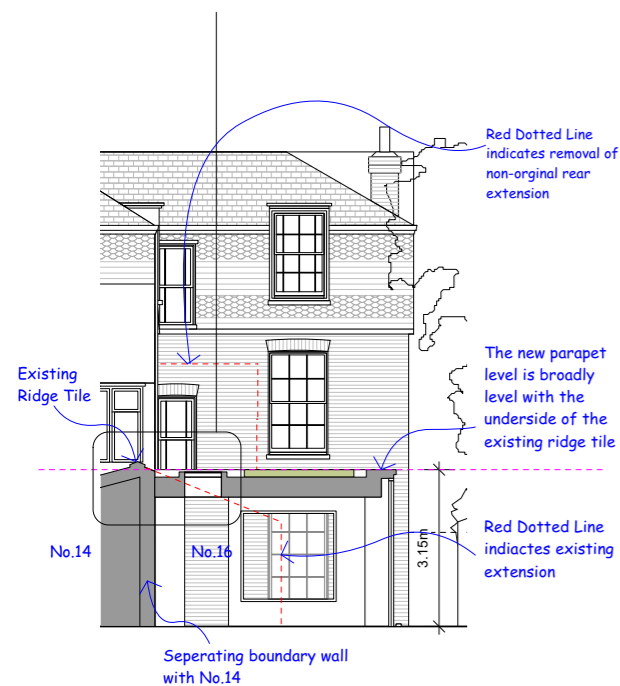
Timber Wall Plate resin bolted to existing blockwork. Minimal connection to existing building.



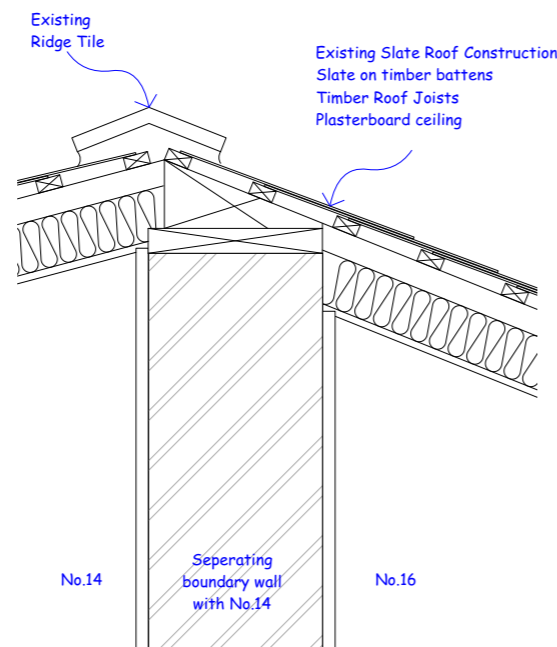
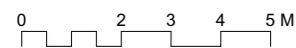
Illustration of Timber Wall Plate

DETAIL B

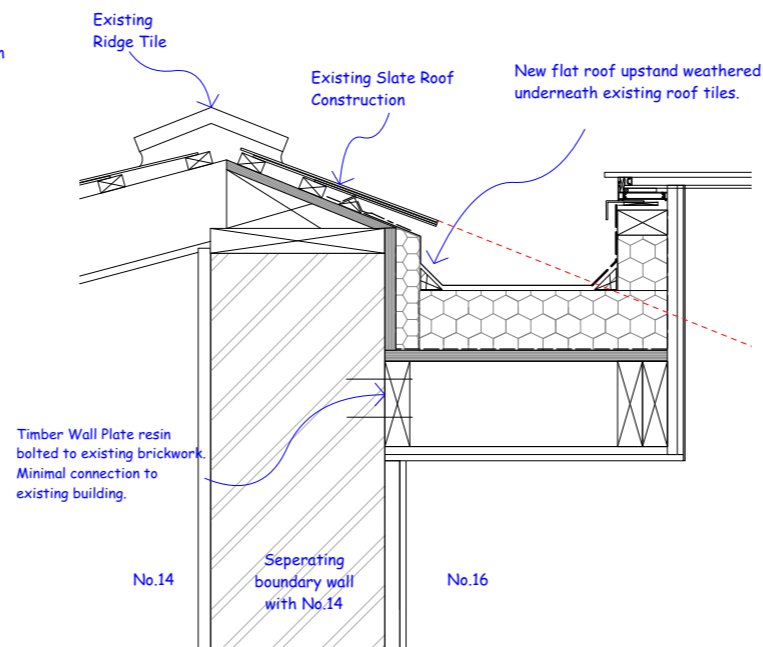
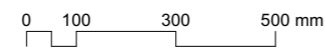
Note that this junction sits below the new parapet and will therefore not be visible from ground level



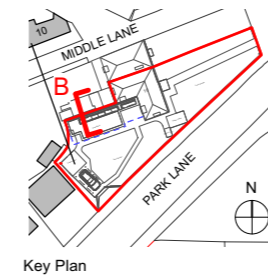
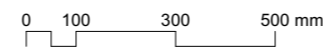
1 Proposed Rear Section B
Scale: 1:100



2 Existing Ridge Detail B
Scale: 1:10



3 Proposed Roof Ridge Detail B
Scale: 1:10



Detail B: - Section through party wall ridge tile, shared with No. 14's outbuilding next door.

See Drawing '404(PL)17-Roof Details - Sheet 2', opposite.

This drawing details the length of wall adjoining the outbuilding of No. 14 as indicated on the existing plan & photographs on page 18.

As can be seen from the 'Existing Ridge Detail B' opposite, the ridge tile does not sit centrally the Brick Party Wall. Therefore, there is no requirement to remove the ridge tile in the removal of the existing extension at No. 16.

No Brick structure will be removed or damaged.

The proposal illustrates a timber wall plate bolted to the existing wall at discrete locations along its length.

The new roof will be supported from this wall plate and the new columns/ brick wall running along the outside of the new glass link.

New Lead work will be dressed under the ridge tiles and top slate tiles. This will run down to a valley gutter constructed on top of the new Extension at No. 16.

This presents absolute minimal damage to the existing structure.

The new structure is removable with without damage to the existing wall which will only require discreet repairs to drill holes.

Detail C: - Section through No.16 outbuilding roof and junction with hung tile party wall with No.14.

See Drawing '404(PL)18-Roof Details - Sheet 3', opposite.

This drawing details the length of wall adjoining the hung tile party wall with No.16 next door as indicated on the existing plan & photographs on page 18 and opposite.

As can be seen from the 'Existing Ridge Detail C' opposite, the existing No.16 outbuilding is built of an existing timber wall plate connected to the Brick Party Wall. This wall plate will remain in place.

No Brick structure will be removed or damaged.

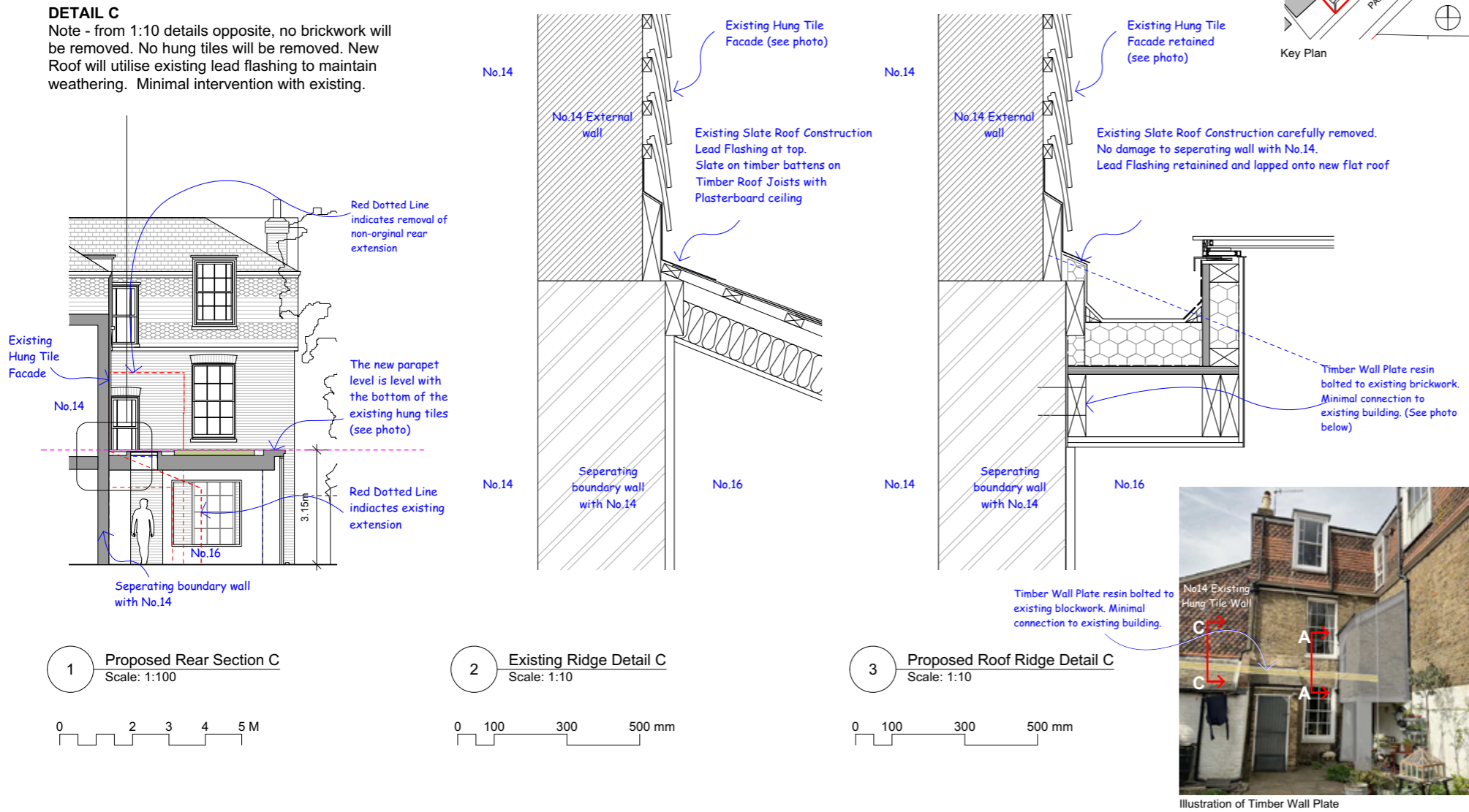
The proposal illustrates a new timber wall plate bolted to the existing wall at discrete locations along its length at a lower level than the existing.

The new roof will be supported from this wall pate and the new columns/ brick wall running along the outside of the new glass link.

New Lead work will be dressed under the hung wall tiles. This will run down to a valley gutter constructed on top of the new Extension at No.16.

This presents absolute minimal damage to the existing structure.

The new structure is removable with without damage to the existing wall which will only require discreet repairs to drill holes.



CONCLUSION

As can be seen from the details provided, removal of the existing brick outbuilding and construction of the new replacement extension presents absolute minimal damage to the existing structure.

The new structure is removable with without damage to the existing wall which will only require discreet repairs to drill holes.