



001506

ADP Architecture Limited

Kneller Hall School

001506-ADP-01-XX-SC-A-1050

Kneller Hall - Room by Room Alterations Schedule










S2-P2

21.09.22









To be read in conjunction with.

LXA-1629-KH-120 - 123 - KNELLER HALL SCHOOL - PROPOSED FLOOR FINISHES
001506-ADP-01-00-DR-A-1021- 1024 LEVEL 00 - R1 ALTERATIONS PLANS

Alterations key

	Refurbish
	Leaf replacement (historic)
	Leaf replacement (contemporary)
	Door refurbish (fixed/locked shut)
	Refurbish window & remove secondary glazing
	Refurbish window & remove vent
	Open up
	Block up
	Floor level raised

Skirting key

	Localised repairs and refurbishment to existing skirting
	New skirting with profile to match existing
	New panelling to match design of G13
	Coved skirting on vinyl flooring
	Boxing out skirting to conceal low level pipework (Detail 01)
	New skirting with pencil round and single square groove profile (Detail 02)
	New boxing detail to existing skirting/replica skirting profile (Detail 03)
	New skirting with pencil round skirting profile (Detail 04)

Kneller Hall School

Methodology for Restoration

Windows: Retain and repair all windows, removing detractive vents from glazed panels and to ensure all windows are eased and adjusted to open easily to provide natural ventilation to the spaces. Detractive secondary glazing will be removed to allow windows to be easily opened.

Refurbished window: Carry out strengthening of all tenon joints and where necessary tenon repairs to all sashes. All box frame and sill repairs carried out with scarfed timber and two part resin system with all new timber primed (excluding putties). Ease, adjust, lubricate or renew pulley wheels where necessary, renewing sash cords throughout with waxed sash cord. Align mid rails. Renew all staff & parting beads and install draft proofing.

Replacement window: All replacement sashes to match existing including molding and horn details.

See schedule for individual repairs/ refurbishment needed.

Historic Doors: Retain and repair all historic panelled doors. There is a relatively small number of panelled doors extant. Some of these door leaves (noted on the drawings) are on routes out of the building that need to be fire protected. Rather than propose to upgrade the individual door leaves to be fire rated, we propose that these are relocated close by in a new wall (so we can ensure that the new structural opening is the correct size) that is not part of the fire route. A reproduction fire rated panelled door to match the original would then be used in the original opening.

Non-historic Doors: Remove and replace non-historic poor quality door leaves. The majority of these would be replaced with clearly contemporary designs that include clear glass vision panels to aid pupil safeguarding. The doors are primarily to classrooms. Doors that open onto the Hall G14 would be of replica historic panelled design using the historic doors as a template. This will give the Hall design cohesion.

Blocked up Doors: A number of door openings are removed in the plan. These are doors with non-historic architraves and door leaves and the existing casings and doors will be removed from site.

Cornicing, skirting, panelling: All extant panelling, cornicing and skirting will be retained and redecorated. Where any cornicing is missing locally (due to later partitions or services having cut through) this will be repaired with profile to match the existing. Heights and profiles of skirting differ across the building and will be matched if infills are needed or if one wall within the room has skirting missing. Skirting to new partitions or to rooms without any existing skirting will be nominally 150mm high or to match existing height with a contemporary pen round profile.

Services: Services drawings are included as part of the planning and listed building application. All services will be energy efficient and designed as part of the site wide energy strategy. Routes for pipework within Kneller are complex, as in any historic building. This is exacerbated in Kneller due to shallow floor voids and structural limitations on notching joists which were revealed in the consented opening up works carried out in Summer 2022. Primary service routes will run high level in the central corridors with a new suspended plasterboard ceiling to conceal them. There are no cornices in these spaces and the very high ceiling levels in the main wing will allow this marginal lowering of ceiling height without impact on the quality of the space. Routes from the corridor into rooms are proposed on a room by room basis, and have been designed to achieve the lowest potential impact on decorative fabric, with proposed changes designed to be reversible, on the following premise:

Pipework and cabling to run in floor void where possible

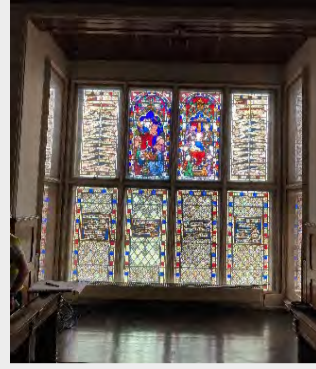
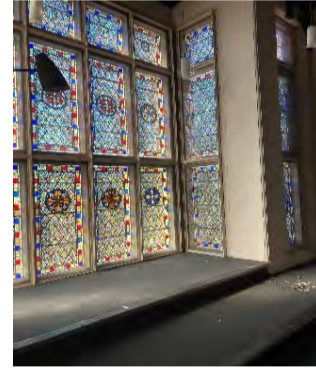
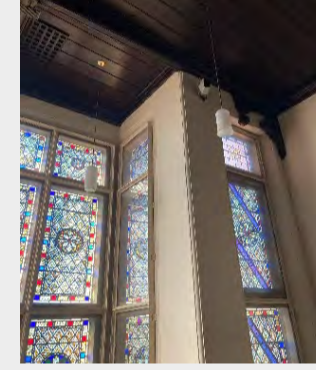


Pipework and cabling to run in a boxed out skirting along room walls where necessary.

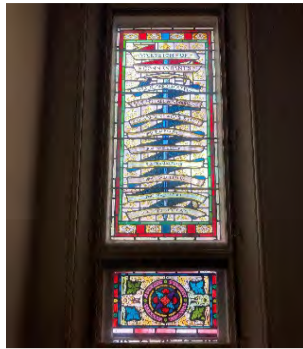
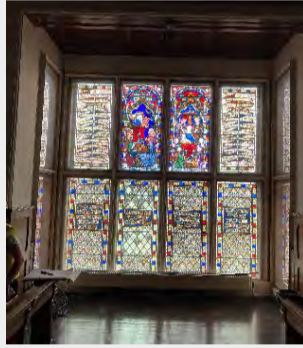

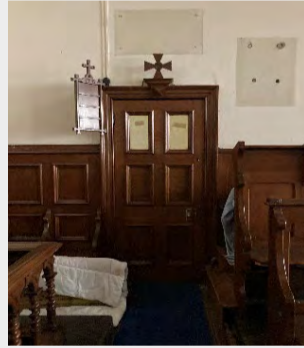
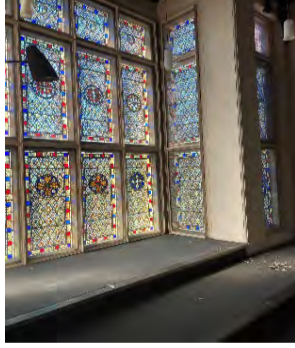
Where any historic skirting exists the boxed out skirting will sit in front of the existing and be lower in height. This will allow the top of the historic skirting to be visible. Where no existing skirting exists a 150mm high boxed skirting is proposed.


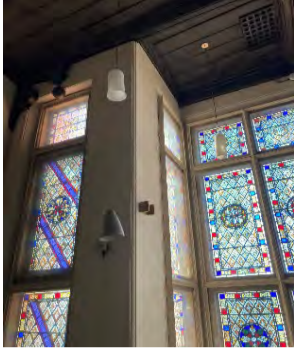




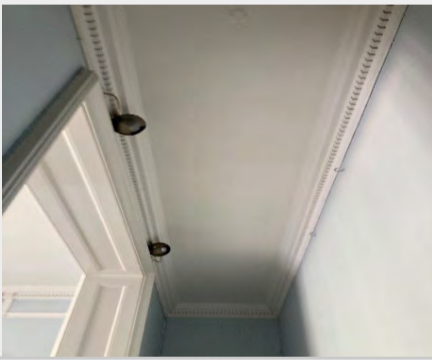


Where pipework cannot pass either through or above the floor it will be run at high level of the room below and be concealed by a shallow suspended ceiling. This is only proposed where there is no decorative cornicing. Where pipework needs to drop from ceiling level to floor level it will run within new partitions where these occur. If there is no new partition the pipework will be surface mounted on existing walls and boxed in and not chased into historic fabric.








Radiators: The majority of radiators will be new in a simple contemporary flat panel style in a grey colour. Locations are shown on the relevant drawings in the application. For a number of rooms we have proposed new traditional style column radiators where the greater level of decorative detail makes this more appropriate. This includes the main spaces on the ground floor and the more highly decorative rooms on the first floor. These are shown on the MEP drawings.

Fire Strategy: a number of protected lobbies and corridors are needed to fire escape routes to protect the routes in the event of a fire. These have been incorporated to minimise impact on the historic layout and the flow of pupils and staff around the building. These are shown as new partitions on the alterations drawings.








Level	Room No.	Element	Element Ref.	Comment	Picture	Key	Key 2
First	Chapel	Window	WF1	<p>Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p>			
First	Chapel	Window	WF2	Metal window refurbished as above			
First	Chapel	Window	WF3	Metal window refurbished as above			
First	Chapel	Window	WF4	<p>Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	Chapel	Window	WF5	Metal window refurbished as above			






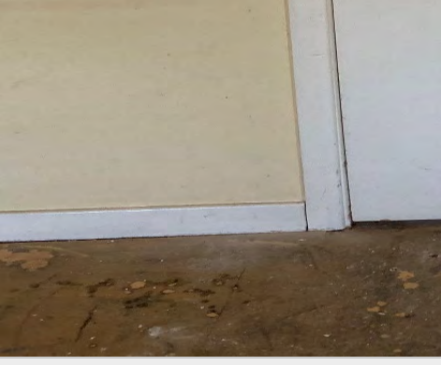

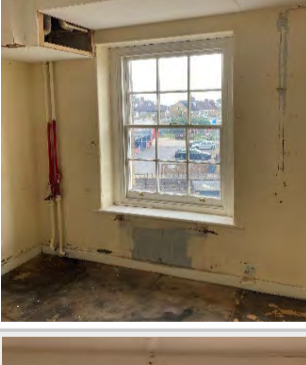

	Chapel	Window	WF63	<p>Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>	
First	Chapel	Window	WF63	Metal window refurbished as above	
First	Chapel	Doors	DF1	Door in good condition. No refurbishment needed	
First	Chapel	Doors	DF20	Door in good condition. No refurbishment needed	
Second	Chapel	Window	WS1 - 2	<p>Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>	



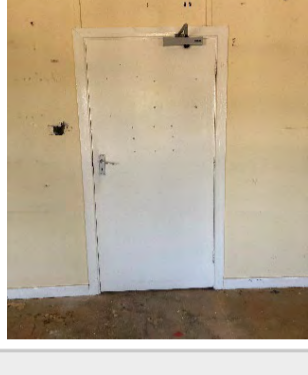

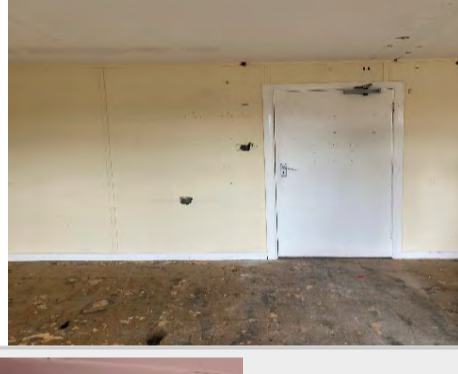
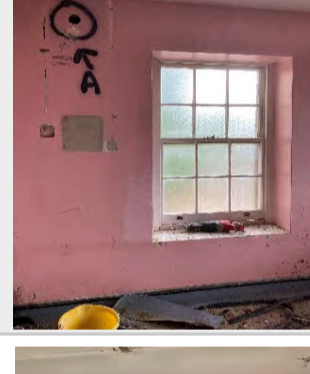
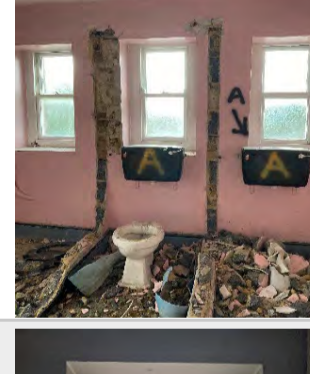

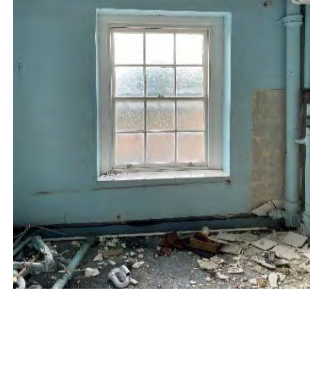
Second	Chapel	Window	WS3	Metal window refurbished as above			
Second	Chapel	Window	WS59 - 60	Metal window refurbished as above			
Second	Chapel	Doors	DS1	Door refurbished and redecorated and locked shut. Ironmongery will be both maintained and gently cleaned with soft cloths or brass brushes.			
Second	Chapel	Doors	DS22	Door refurbished, decorated. Ironmongery will be both maintained and gently cleaned with soft cloths or brass brushes.			
First	Chapel	Skirting	-	No existing or proposed skirting. Pipework to route at low level under seating.			
First	Chapel	Ceiling	-	No proposed alterations. Localised repairs where existing modern light fittings are removed if necessary.			
Ground	Circulation - G13	Ceiling	-	Existing ceiling and cornicing to be retained, refurbished with localised repairs where necessary. Proposed opening on south wall will not impact cornicing.			
Ground	Circulation - Pupil Entrance	Ceiling	-	Remove existing grid ceiling. Presence of existing cornicing unknown as obscured by existing ceiling, opening up work required. New plasterboard ceiling proposed with opening for lantern in existing position.			
Second	Circulation S09	Ceiling	-	Low ceiling height, existing ceiling to be retained and repaired where required.			

Second	Circulation West Wing	Ceiling	-	No existing cornicing. Repair and make good existing ceiling where partitions have been removed. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required for MEP servicing.			
Ground	East Stair	Doors	DG26	Replace with contemporary leaf			
Ground	East Stair	Doors	DG27	Refurbish Door. Historic ironmongery will be retained where possible. It will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.			
First	East Stair	Window	WF47	Refurbish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will preserved and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.	 		
First	East Stair	Window	WF48	Refurbish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will preserved and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.			
Second	East Stair	Window	WS44	as above			

				<p>Refurbish, repair crack in bottom window pane, remove film. Replace non-standard sill. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be preserved and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
Second	East Stair	Window	WS45				
				<p>Replace with panelled door.</p>			
Second	East Stair	Doors	DS26				
				<p>Localised repairs and refurbishment to existing skirting</p>			
Ground	East Stair	Skirting	-				
				<p>Localised repairs and refurbishment to existing skirting.</p>			
First	East Stair	Skirting	-				
				<p>Localised repairs and refurbishment to existing skirting.</p>			
Second	East Stair	Skirting	-				
				<p>No cornicing. Remove existing grid ceiling to landings and underside of stairs. New plasterboard ceiling proposed. Opening required to roof for new Automatic Vent Opening for fire strategy</p>			
All levels	East Stair	Ceiling	-				
				<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
First	F01	Window	WF26				
				<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
First	F01	Window	WF27				


First	F01	Window	WF28	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads. Install draught proofing.			
First	F01	Window	WF29	New sash window to match WF30 including moulding and horn details. Within existing door opening to fire escape stair.		Proposed window to match WF30	
First	F01	Skirting	-	Existing skirting to be sanded down, with localised repairs where needed. All skirting redecorated. Pencil round skirting to match existing on new partition.			
First	F01	Ceiling	-	No cornicing. New plasterboard ceiling proposed to conceal services.			
First	F02	Window	WF25	Refurbish, carry out major tenon repair. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sills with scarfed timber and two part resin system.			
First	F02	Window	WF30	Refurbish. Reglaze window. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
First	F02	Doors	DF14	Replace with contemporary leaf			
First	F02	Skirting	-	Existing skirting to be sanded down, with localised repairs where needed. All skirting redecorated			
First	F02	Ceiling	-	Low ceiling height, existing ceiling to be retained. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			

First	F03	Window	WF23	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sills with scarfed timber and two part resin system.				
First	F03	Window	WF24	Refurbish, carry out strengthening of all tenon joints. Replace RHS 4 pane bottom sash. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sills with scarfed timber and two part resin system.				
First	F03	Window	WF31	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Repair sill.				
First	F03	Window	WF32	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.				
First	F03	Doors	DF13	Replace with contemporary leaf				
First	F03	Skirting	-	Existing skirting to be sanded down, with localised repairs where needed. All skirting redecorated. Pencil round skirting to match existing on new partition (detail 04).				
First	F03	Ceiling	-	Low ceiling height, existing ceiling to be retained. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.				
First	F04	Window	WF20	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.				
First	F04	Window	WF21	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.				




First	F04	Window	WF22	Refurbish, carry out major tenon repair. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.				
First	F04	Window	WF33	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.				
First	F04	Doors	DF12	Block up opening				
First	F04	Skirting	-	Existing skirting to be sanded down, with localised repairs where needed. All skirting redecorated. Pencil round skirting to match existing on new partition (detail 04).				
First	F04	Ceiling	-	Low ceiling height, existing ceiling to be retained. Existing boxed out services to be removed. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.				
First	F05	Window	WF14	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.				
First	F05	Window	WF15 - W17	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Cill repairs where needed with scarfed timber and two part resin system and all new timber primed (excluding putties).				
First	F05	Window	WF18	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Cill repairs where needed with scarfed timber and two part resin system and all new timber primed (excluding putties).				
First	F05	Window	WF19	Refurbish, remove non-historic tiles on window sill. Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary as window currently stuck. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Cill repairs where needed with scarfed timber and two part resin system and all new timber primed (excluding putties).				








First	F05	Doors	DF8	Replace with contemporary leaf			
First	F05	Doors	DF9 - DF10	Replace with contemporary leaf			
First	F05	Skirting	-	Non-historic skirting concealed with covered skirting integrated with vinyl flooring			
First	F05	Ceiling	-	Low ceiling height, existing ceiling to be retained. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			
First	F06	Window	WF9	Refurbish, remove blue film. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be preserved and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.			
First	F06	Window	WF10	as above			
First	F06	Doors	DF6	Blocked up			
First	F06	Doors	DF7	Blocked up			






<p>First</p>	<p>F06</p>	<p>Skirting -</p>	<p>Non-historic skirting to be carefully removed and replaced with a contemporary skirting profile as per Skirting Detail 01. Boxed out skirting required to conceal low level pipework as per Skirting Detail 02 (see A-1401-Level 01 Skirting Plans for location)</p>			
<p>First</p>	<p>F06</p>	<p>Ceiling -</p>	<p>Remove existing grid ceiling. Presence of existing cornicing unknown as obscured by existing ceiling, opening up work required. New plasterboard ceiling proposed.</p>			
<p>First</p>	<p>F07</p>	<p>Window WF6</p>	<p>Refurbish, remove blue film. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
<p>First</p>	<p>F07</p>	<p>Window WF7</p>	<p>Refurbish, remove blue film. Ensure shutters are functional. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			





			<p>Refurbish, remove blue film. Ensure shutters are functional. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F07	Window	<p>Refurbish, remove blue film. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F07	Window	<p>Refurbish, remove blue film. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F07	Doors	<p>Replace with panelled door</p>			

First	F07	Doors	DF3	Replace with contemporary leaf				
First	F07	Doors	DF4	Replace leaf with panelled door. Door to be locked shut				
First	F07	Fireplace	FF02	Retain and refurbish existing fireplace surround and remove existing infill to reinstate historic fireplace opening				
First	F07	Skirting	-	Localised repairs and refurbishment to existing skirting. Redecorate				
First	F07	Ceiling	-	Repair and make good existing cornicing. Locally repair existing plasterboard ceiling.				
First	F08	Window	WF13	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.				
First	F08	Window	WF38	Refurbish window, ensure shutters are functional and remove modern textured plaster finish and blind pelmet. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.				




First	F08	Window	WF38	<p>Refurbish window, ensure shutters are functional and remove modern textured plaster finish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F08	Window	WF39	<p>Refurbish window, ensure shutters are functional and remove modern textured plaster finish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F08	Doors	DF16	Blocked up			
First	F08	Doors	DF17	Blocked up			
First	F08	Doors	DF18	Replace with contemporary leaf			
First	F08	Skirting	-	<p>Localised repairs and refurbishment to existing skirting. New boxing detail to existing skirting to conceal low level pipework as per Skirting Detail 03. Pencil round skirting and single square groove skirting proposed on new partition (Detail 02). (see A-1402-Level 01 Skirting Plans for location)</p>			



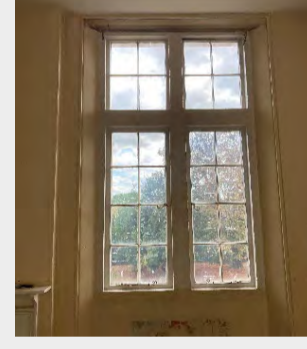
First	F08	Ceiling	-	Repair and make good existing cornicing where partitions have been removed. Locally repair existing plasterboard ceiling.			
First	F09	Window	WF40- WF42	<p>Refurbish window, ensure shutters are functional and remove modern textured plaster finish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F09	Doors	DF19	New door in archway			
First	F09	Doors	DF21	Refurbish, replace kickplate, refurbish existing ironmongery			
First	F09	Fireplace	FF01	Retain and refurbish existing fireplace surround and remove existing infill to reinstate historic fireplace opening			
First	F09	Ceiling	-	Existing ceiling and cornicing to be retained, refurbished with localised repairs where necessary. Ceiling rose to be refurbished.			
	F09	Ceiling Rose	-	Retain and redecorate ceiling rose			







First	F10	Window	WF45	<p>Refurbish window, ensure shutters are functional and remove modern textured plaster finish and blind pelmet. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F10	Window	WF46	<p>Refurbish window, ensure shutters are functional and remove modern textured plaster finish and blind pelmet. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F10	Fireplace	FF03	<p>Retain and refurbish existing fireplace surround and remove existing infill to reinstate historic fireplace opening</p>			
First	F10	Skirting	-	<p>Localised repairs and refurbishment to existing skirting. New boxing detail to existing skirting to conceal low level pipework as per Skirting Detail 03. (see A-1402-Level 01 Skirting Plans for location)</p>			
First	F10	Ceiling	-	<p>Existing ceiling and cornicing to be retained, refurbished with localised repairs where necessary. Ceiling rose to be refurbished.</p>			
	F10	Ceiling Rose	-	<p>Retain and redecorate ceiling rose</p>			









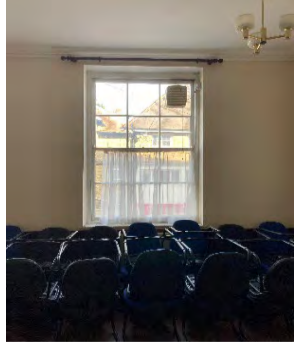
			<p>Refurbish window, metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		
<p>First</p>	<p>F11</p>	<p>Window</p>	<p>WF57</p>		
<p>First</p>	<p>F11</p>	<p>Window</p>	<p>WF58</p>		
<p>First</p>	<p>F11</p>	<p>Window</p>	<p>WF59</p>		

	First	F11	Window	WF60	<p>Refurbish window, metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
	First	F11	Doors	DF25	Replace with contemporary leaf			
	First	F11	Doors	DF26	Refurbish, remove non-historic hand rail			
	First	F11	Skirting	-	<p>Localised repairs and refurbishment to existing skirting. New boxing detail to existing skirting to conceal low level pipework as per Skirting Detail 03. Pencil round and single square groove skirting on new partition detail 02. (see A-1401-Level 01 Skirting Plans for location)</p>			
	First	F11	Ceiling	-	<p>Remove existing grid ceiling, condition above unknown as to whether there is an additional ceiling or exposed to the roof void. New plasterboard ceiling proposed.</p>			
	First	F12	Window	WF49	<p>Refurbish window, metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			

			<p>Refurbish and remove textured plaster finish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		
<p>First</p>	<p>F12</p>	<p>Window</p>	<p>WF50</p>		
<p>First</p>	<p>F12</p>	<p>Window</p>	<p>WF52</p>		

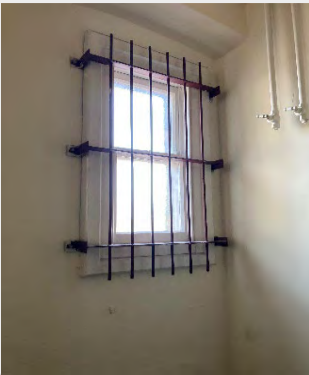


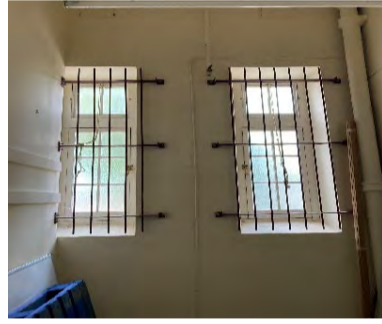
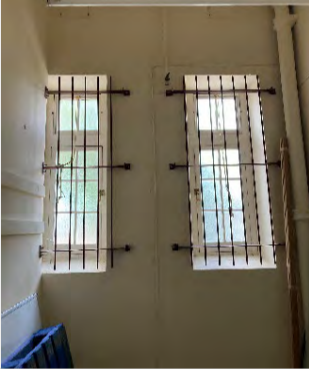
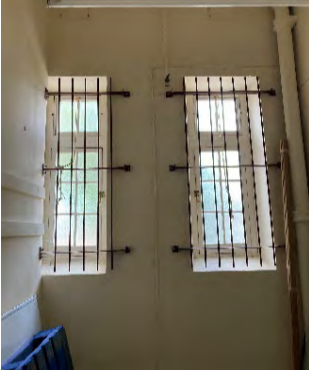



			<p>Refurbish, repair LHS top broken windowpane by reglazing the 4 pane sash with replacement putty installed where needed. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		
First	F12	Window	<p>Refurbish and remove textured plaster finish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		
First	F12	Window	<p>Refurbish and remove textured plaster finish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		








First	F12	Window	WF56	<p>Refurbish and remove textured plaster finish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
First	F12	Doors	DF29	Replace with contemporary leaf			
First	F12	Fireplace	FF04	Retain and refurbish existing fireplace surround and remove existing infill to reinstate historic fireplace opening			
First	F12	Skirting	-	Localised repairs and refurbishment to existing skirting. New boxing detail to existing skirting to conceal low level pipework as per Skirting Detail 03. (see A-1402-Level 01 Skirting Plans for location)			
First	F12	Ceiling	-	No existing corning. Repair and make good existing ceiling where partitions have been removed. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required for MEP servicing.			
First	F13	Window	WF61	<p>Refurbish, remove film. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			




First	F13	Window	WF62	<p>Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration.</p>			
Ground	G01	Window	WG18	<p>Remove film an fly-netting. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.</p>			
Ground	G01	Window	WG19	<p>Remove film an fly-netting. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.</p>			
Ground	G01	Window	WG20	<p>Remove film an fly-netting. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace 3 pane bottom sash to match existing</p>			
Ground	G01	Doors	DG14	<p>Replace with contemporary leaf</p>			
Ground	G01	Ceiling	-	<p>New plasterboard ceiling to line through with library extension, concealing services.</p>			
Ground	G02	Window	WG15	<p>Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.</p>			
Ground	G02	Window	WG16	<p>Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Ground	G02	Window	WG17	<p>Replaced with door for new fire exist. See 001506-ADP-01-XX-DR-A-1251-NORTH AND WEST ELEVATIONS PROPOSED for further details.</p>			

Ground	G02	Doors	DG13 (d)	Block up opening			
Ground	G02	Ceiling	-	Repair and make good existing cornicing. Locally repair existing plasterboard ceiling. Ceiling void used to service floor above. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			
Ground	G02	Floor	-	Floor to be raised by 335 mm, concealing modern skirting. Services routing through floor void with local drops to serve ceiling			
Ground	G04	Window	WG13	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.			
Ground	G04	Window	WG14	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system. Replace 6 pane bottom sash to match existing.			
Ground	G04	Doors	DG10 (d)	Block up opening			
Ground	G04	Doors	DG11	Replace with contemporary leaf			
Ground	G04	Doors	DG12	New Door in existing opening			
Ground	G04	Fireplace	FG02	Remove modern fireplace. Infill the chimney breast.			



Ground	G04	Ceiling	-	Repair and make good existing cornicing. Locally repair existing plasterboard ceiling. Ceiling void used to service floor above. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			
Ground	G04	Floor	-	Floor to be raised by 320 mm, concealing modern skirting. Services routing through floor void with local drops to serve ceiling			
Ground	G04 + G02	Skirting	-	Existing modern skirting concealed by raised access floor. Skirting re-instated as per Skirting Detail 01			
Ground	G06	Window	WG12	Refurbish - remove vent, reglazing the RHS window to match existing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Repair sill.			
Ground	G06	Doors	DG8 (d)	Block up opening.			
Ground	G06	Doors	DG9 (d)	Block up opening.			
Ground	G06	Skirting	-	Existing modern skirting concealed by raised access floor. Skirting re-instated as per Skirting Detail 01			
Ground	G06	Ceiling	-	Repair and make good existing cornicing. Locally repair existing plasterboard ceiling. Ceiling void used to service floor above. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			
Ground	G06	Floor	-	Floor to be raised by 335 mm, concealing modern skirting. Services routing through floor void with local drops to serve ceiling			

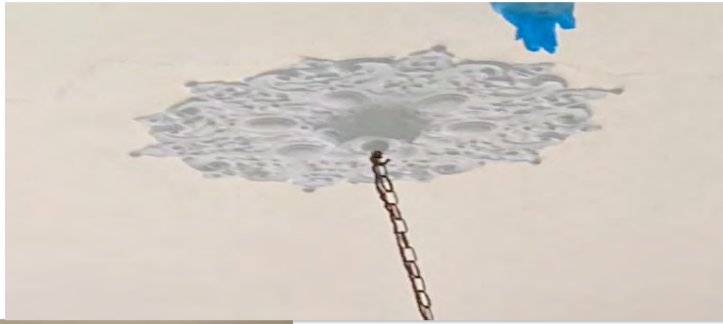


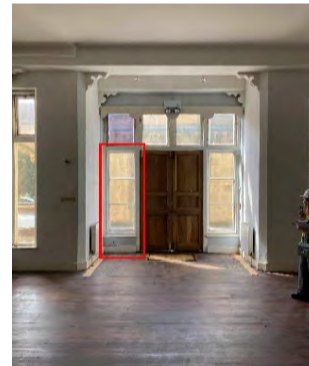
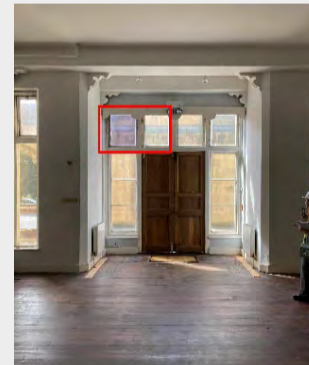


Ground	G07	Window	WG11	Block-up existing window, remove glazing bars			
Ground	G07	Skirting	-	Skirting to be refurbished, sanded down, local repairs where necessary and redecorated.			
Ground	G07	Floor	-	Floor to be raised by 160 mm, concealing modern skirting in order to create level access across the pupil entrance.			
Ground	G07+8	Ceiling	-	No existing cornicing, new plasterboard ceiling proposed.			
Ground	G08	Window	WG9	Repair, redecorate, ease and adjust windows. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.			
Ground	G08	Window	WG10	Repair, redecorate, ease and adjust windows. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.			
Ground	G08	Skirting	-	Non-historic skirting to concealed with covered skirting integrated with vinyl flooring			
Ground	G09	Doors	DG6 (d)	Block up non-original opening			
Ground	G10	Doors	DG4	Refurbish. Ironmongery will preserved and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.			








Ground	G10	Doors	DG5	Replace with contemporary leaf					
Ground	G10	Misc.	-	Relief to be retained in situ and no changes to their finishes are proposed	 				
Ground	G10	Skirting	-	Refurbish and locally repair existing skirting. Sand and redecorate.					
Ground	G10	Ceiling	-	No existing cornicing, new plasterboard ceiling proposed under existing beams. Ceiling level to be clear of existing marbles (see Section XX)					
Ground	G11	Skirting	-	Refurbish and locally repair existing historic skirting. Carefully remove non historic skirting on east wall (image 2) and replace with replica historic skirting profile (see A-1401-Level 00 Skirting Plans for location). Boxing on existing and replica skirting as per Detail 03.	 				
Ground	G11	Ceiling	-	Repair and make good existing cornicing, replicating the existing profile on new partitions. Locally repair existing plasterboard ceiling.					

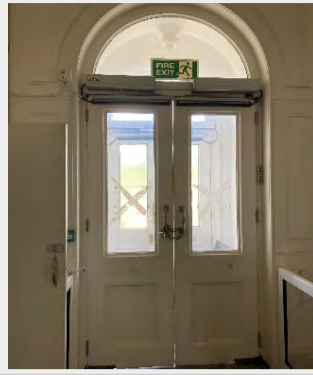




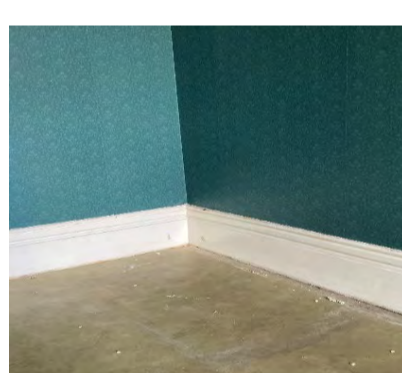


			<p>Refurbish, remove film and teleflex. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		
Ground	G12	Window	<p>Refurbish, remove film and teleflex. Remove vent and repair glazing where removed. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		
Ground	G12	Window	<p>Refurbish, remove film and teleflex. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		




Ground	G12	Window	WG6	 <p>Refurbish, remove film and teleflex. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>	
Ground	G12	Window	WG7	 <p>Refurbish, remove film and teleflex. Remove vent and repair glazing where removed. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>	
Ground	G12	Window	WG8	 <p>Refurbish, remove film and teleflex. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>	
Ground	G12	Skirting	-	 <p>Modern skirting to be carefully removed and replaced with a contemporary skirting profile as per Skirting Detail 01</p>	
Ground	G12	Ceiling	-	 <p>Remove existing grid ceiling. Presence of existing cornicing unknown as obscured by existing ceiling, opening up work required. New plasterboard ceiling proposed.</p>	




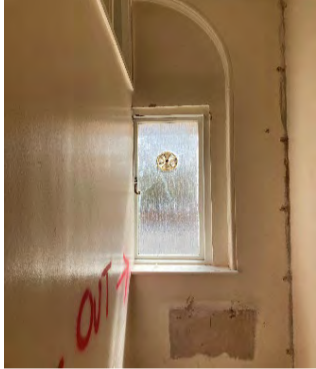



	G13	Window	WG26 - 28	<p>Refurbish, remove film and teleflex. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>				
Ground	G13	Doors	DG18	Replace leaf with panelled door				
Ground	G13	Doors	DG19	Refurbish				
Ground	G13	Doors	DG20	Refurbish				
Ground	G13	Doors	DG21	Rehang historic panelled door.				
Ground	G13	Fireplace	FG01	Retain and refurbish existing fireplace surround and remove existing infill to reinstate historic fireplace opening				
Ground	G13	Skirting	-	Localised repairs and refurbishment to existing skirting				


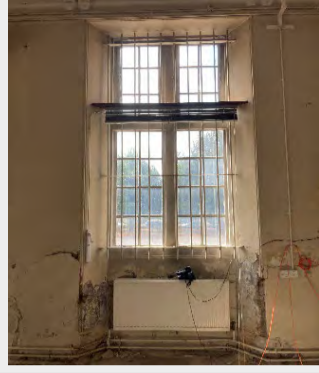





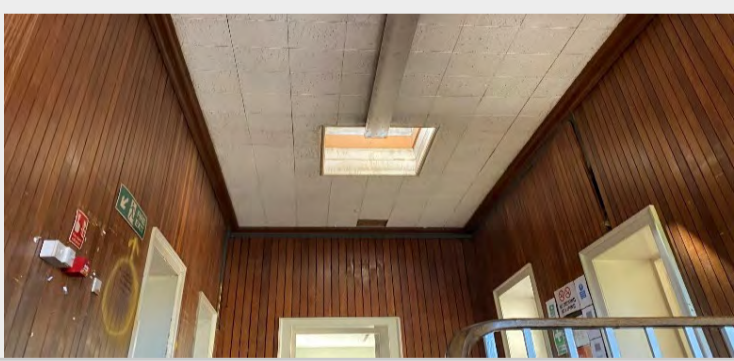

Ground	G13	Ceiling	-	Existing ceiling and cornicing to be retained, refurbished with localised repairs where necessary			
Ground	G13	Ceiling Rose	-	Retain and redecorate ceiling rose			
Ground	G14	Window	WG1	Fixed window. Replacement 3 pane sash to match existing including moulding and horn details. Cill repairs carried out with scarfed timber. Draught proofing undertaken.			
Ground	G14	Window	WG2	Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes. Draught proofing undertaken.			
Ground	G14	Window	WG45	Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes. Draught proofing undertaken.			
Ground	G14	Window	WG46	Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.			
Ground	G14	Window	WG47	Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.			
Ground	G14	Doors	DG1	Refurbish. Ironmongery will be preserved where possible and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.			
Ground	G14	Doors	DG2	Replace with panelled door.			


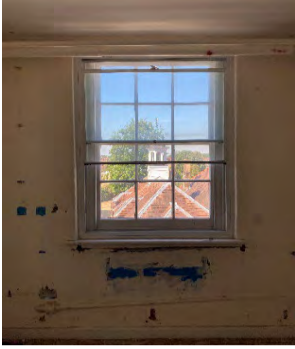

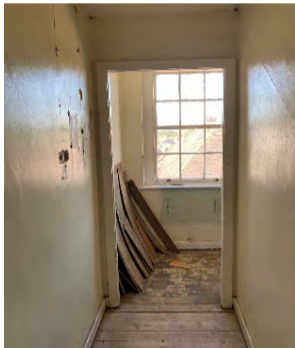



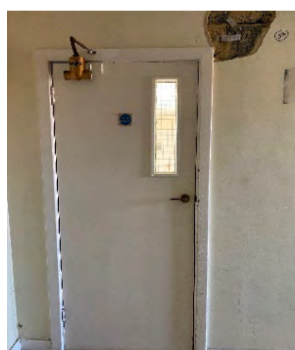
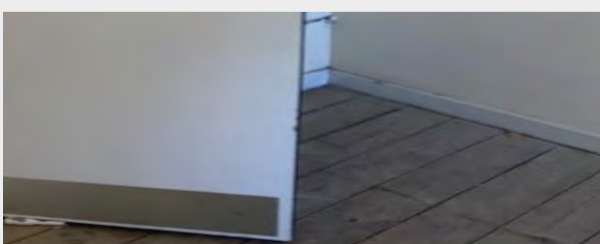
Ground	G14	Doors	DG17	Replace with panelled door, reinstate fanlight above.				
Ground	G14	Doors	DG33	Replace with panelled door				
Ground	G14	Skirting	-	Non-historic skirting to be carefully removed and replaced with Victorian profile skirting.				
Ground	G14	Ceiling	-	New plasterboard ceiling within the down stand beams to the north of the hall. Refer to 001506-ADP-01-XX-DR-A-1351-SHORT SECTIONS PROPOSED.				
	G14	Ceiling Rose	-	Retain and redecorate ceiling rose				
Ground	G15	Window	WG32	Refurbish, ensure shutters are functional. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned with replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.				
Ground	G15	Doors	DG3	Block up existing non-original opening.				



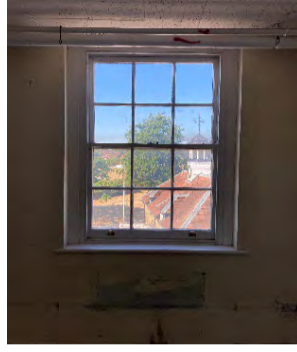






Ground	G15	Doors	DG22	Replaced with panelled fire rated door. Door swing reversed for Fire strategy				
Ground	G15	Doors	DG23 (d)	Carefully remove existing door, reinstating the historic open character of the porch. The door removal is to abide by the proposed Fire strategy				
Ground	G15	Doors	DG24	Door locked shut				
Ground	G15	Doors	DG25	Relocate Door to G16. Replace with FD30 Panelled Door				
Ground	G15	Fireplace	FG03	Retain and refurbish fireplace				
Ground	G15	Skirting	-	Localised repairs and refurbishment to existing skirting. Redecorate.				
Ground	G15	Ceiling	-	Existing ceiling and cornicing to be retained, refurbished with localised repairs where necessary.				
G15		Ceiling Rose	-	Retain and redecorate ceiling rose				










				<p>Refurbish, ensure shutters are functional. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned with replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system</p>			
Ground	G15	Window	WG33	<p>Refurbish, remove film, vent and repair glazing where removed with replacement putty installed where needed. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
Ground	G16	Window	WG41	<p>Refurbish, remove teleflex and blind pelmet. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Ground	G16	Window	WG42	<p>Refurbish, replace coloured glass, remove blind pelmet and teleflex. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Ground	G14	Window	WG48	<p>Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.</p>			
Ground	G16	Doors	DG32	<p>Refurbish door. Ironmongery will be preserved and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.</p>			




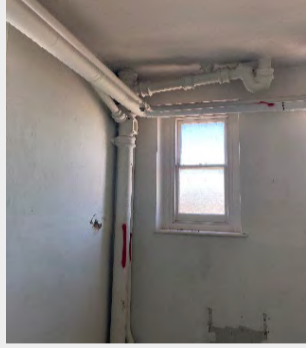

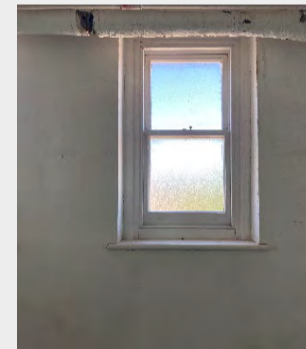

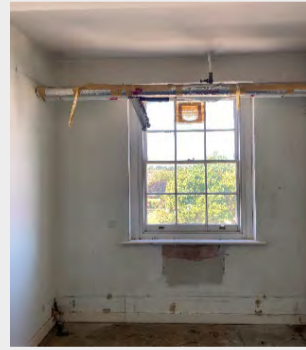

Ground	G16	Skirting	-	Existing skirting refurbished with additional boxed out skirting required to conceal low level pipework as per Skirting Detail 03 (see A-1401-Level 00 Skirting Plans for location). Pencil Round and single square groove skirting on the new partition.					
Ground	G16	Ceiling	-	Remove existing grid ceiling. Presence of existing cornicing unknown as obscured by existing ceiling, opening up work required. New plasterboard ceiling proposed.					
Ground	G17	Window	WG43	Repair, redecorate, ease and adjust window. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes. Draught proofing undertaken.					
Ground	G17	Window	WG44	Refurbish and remove vent, repairing glazing as existing. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes. Draught proofing undertaken.					
Ground	G17	Doors	DG30-31	Replace with contemporary leaf					
Ground	G18	Floor	-	Portion of the floor to be raised by 940 mm, reinstating the position of historic tiered seating revealed in the elements of chasing within plastered walls.					
Ground	G18	Window	WG34 - 36	Refurbish, remove teleflex and security bars. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. New glazing, where detractive vents are removed or panes are broken, will match existing glass in thickness. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.					










Ground	G18	Window	WG37	Refurbish, remove blind, teleflex, security bars and blue film. Metal frame treated as above.					
Ground	G18	Window	WG38	Refurbish, remove blind, teleflex and security bars. Metal frame treated as above.					
Ground	G18	Window	WG39	Refurbish, remove teleflex and security bars. Metal frame treated as above.					
Ground	G18	Doors	DG28	Replace with contemporary leaf					
Ground	G18	Doors	DG29	Door locked shut					
Ground	G18	Skirting	-	Modern skirting to be carefully removed and replaced with a contemporary skirting profile as per Skirting Detail 01. Boxed out skirting required where floor is not raised to conceal low level pipework as per Skirting Detail 02.					
Ground	G19	Misc.	-	Timber columns with plastered capitals in the Corinthian order. Columns to be retained in situ and no changes to their finishes are proposed.					
Second	General Circulation	Ceiling	-	New plasterboard drop ceiling within corridors to conceal services.					
Ground	Kneller Up	Ceiling	-	New plasterboard ceiling between existing down stand beams to conceal ceiling services. Existing corning to be maintained					









Ground	Library	Skirting	-	No existing skirting. New proposed pencil round and single square groove skirting profile as per Skirting Detail 02.			
Mezzanine	M01	Window	WM14	Refurbish, remove secondary glazing			
Mezzanine	M01	Window	WM15	Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M01	Window	WM16	Remove film and refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill and 6 pane bottom sash to match existing.			
Mezzanine	M01	Window	WM17	Remove film and refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill.			
Mezzanine	M01	Doors	DM9	New contemporary leaf			
Mezzanine	M01	Doors	DM10	New contemporary leaf			
Mezzanine	M01	Doors	DM11	New contemporary leaf, retain historic closer			
Mezzanine	M01	Skirting	-	Boxed out skirting as per Skirting Detail 01 and 02 (see A-1403-Level M1 Skirting Plans for location).			







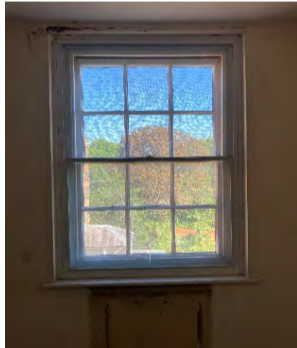


Mezzanine	M01	Ceiling	-	Low ceiling height, existing ceiling to be retained. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			
Mezzanine	M02	Window	WM12	Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M02	Window	WM13	Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M02	Window	WM18	Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Repair sill.			
Mezzanine	M02	Doors	DM8	New contemporary leaf			
Mezzanine	M02	Skirting	-	Non-historic skirting carefully removed and replaced with boxed out skirting required as per Skirting Detail 01 and 02 (see A-1403-Level M1 Skirting Plans for location).			
Mezzanine	M02	Ceiling	-	Low ceiling height, polystyrene ceiling tiles to be removed. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			
Mezzanine	M03	Window	WM10	Carry out 2 tenon repairs. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M03	Window	WM11	Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			




Mezzanine	M03	Window	WM19	Remove film and refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M03	Window	WM20	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M03	Doors	DM6	New contemporary leaf			
Mezzanine	M03	Doors	DM7	New contemporary leaf			
Mezzanine	M03	Skirting	-	Non-historic to be carefully removed and replaced with boxed out skirting to conceal low level pipework. As per skirting detail 02.			
Mezzanine	M03	Ceiling	-	Low ceiling height, existing ceiling to be retained. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			
Mezzanine	M04	Window	WM7	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.			
Mezzanine	M04	Window	WM8	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.			
Mezzanine	M04	Window	WM9	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			

Mezzanine	M04	Skirting	-	Boxed out skirting required as per Skirting Detail 01. Pencil Round and single square groove skirting on new partition. (see A-1403-Level M1 Skirting Plans for location).			
Mezzanine	M04	Ceiling	-	Low ceiling height, polystyrene ceiling tiles to be removed. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			
Mezzanine	M05	Window	WM1	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M05	Window	WM2	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M05	Window	WM3	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M05	Window	WM4	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M05	Window	WM5	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M05	Window	WM6	Refurbish, replace top window pane, remove film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M05	Window	WM24	Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.			


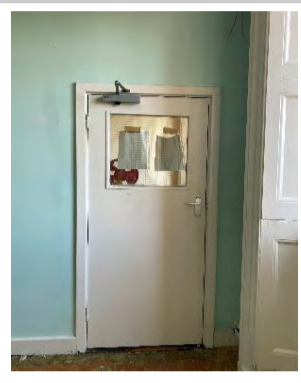
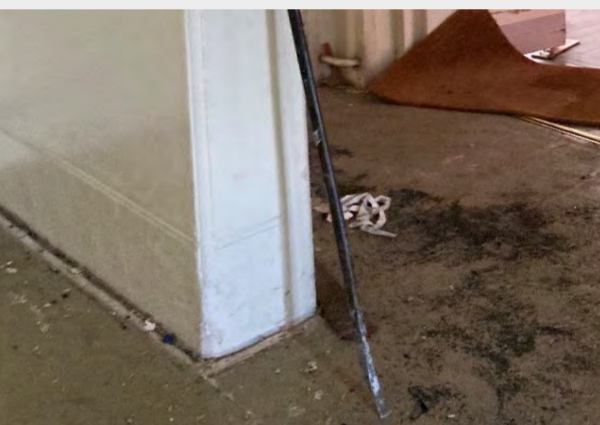

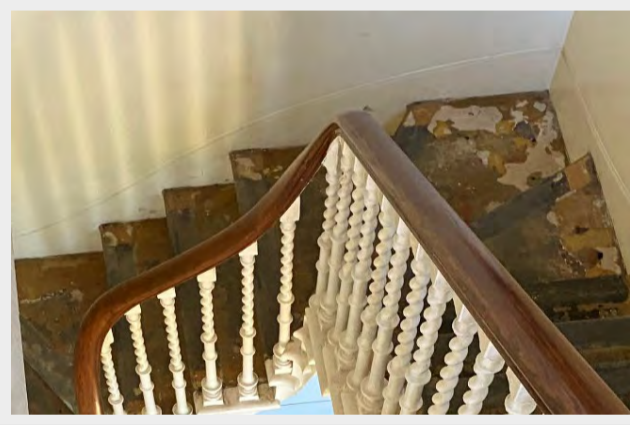


Mezzanine	M05	Window	WM25	Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.			
Mezzanine	M05	Window	WM26	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Repair sill.			
Mezzanine	M05	Window	WM27	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M05	Window	WM28	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	M05	Doors	DM1	New contemporary leaf			
Mezzanine	M05	Doors	DM2 - DM3	Refurbish and rehang existing doors. Opening outwards for riser.			
Mezzanine	M05	Doors	DM4	New contemporary leaf			
Mezzanine	M05	Skirting	-	Modern skirting to be concealed by coved skirting integrated with vinyl flooring			
Mezzanine	M05	Ceiling	-	Low ceiling height, existing ceiling to be retained. Opening up works required to access if services can be routed within the ceiling void. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required.			








Ground	Main Stair	Window	WG21	Obscured from view by the proposed integrated plumbing system panels of G05. Remove the vent and reglaze top pane.				
Ground	Main Stair	Window	WG22	Refurbish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be preserved and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.				
Ground	Main Stair	Window	WG23	Refurbish, removing modern plaster render. Metal window refurbished as above.				
Ground	Main Stair	Window	WG24	Refurbish, removing modern plaster render. Metal window refurbished as above.				
Ground	Main Stair	Window	WG25	Refurbish, removing modern plaster render and remove vents. Metal window refurbished as above.				
Ground	Main Stair	Doors	DG16	Replace with contemporary leaf				
First	Main Stair	Window	WF34	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.				
First	Main Stair	Window	WF35	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.				



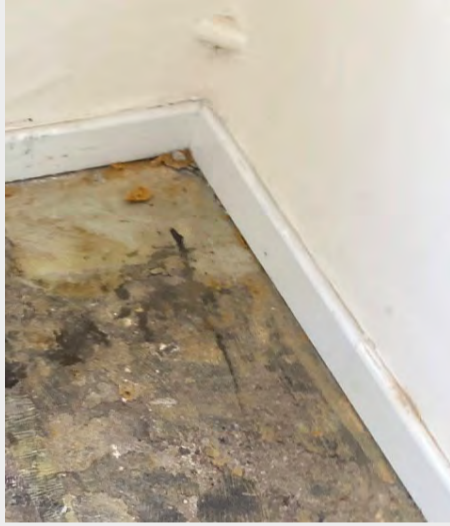



First	Main Stair	Window	WF36	Refurbish, replace top window pane, remove film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Reglaze to match existing.			
First	Main Stair	Doors	DF5	Replace with contemporary leaf			
Mezzanine	Main Stair	Window	WM21	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Mezzanine	Main Stair	Window	WM22	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with sill repairs carried out with scarfed timber and resin system.			
Mezzanine	Main Stair	Window	WM23	Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Second	Main Stair	Window	WS33	Refurbish, remove secondary glazing and mesh. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Second	Main Stair	Window	WS34	Refurbish, remove secondary glazing and mesh. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Second	Main Stair	Window	WS35	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Second	Main Stair	Window	WS65	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			




Second	Main Stair	Window	WS66	Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Second	Main Stair	Window	WS67	Refurbish and remove window film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
Second	Main Stair	Doors	DS14	Demolish door and widen opening			
Ground	Main Stair	Skirting	-	Modern skirting to be carefully removed and replaced with a contemporary skirting profile as per Skirting Detail 01			
Second	Main Stair	Ceiling	-	Whole floor removal on levels to accommodate new stair and lift proposal. Remove existing grid ceiling top floor. New plasterboard ceiling proposed. Opening required to roof for new Automatic Vent Opening for fire strategy.			
Ground	North Stair	Window	WG29	Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.			
Ground	North Stair	Window	WG30	Replace with fire rated panelled door			
Ground	North Stair	Window	WG31	Refurbish. Refurbish metal window as others above.			
First	North Stair	Window	WF43	Refurbish, remove window bars. Redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.			







First	North Stair	Window	WF44	Refurbish and remove textured plaster finish. Refurbish metal window as those above.		
First	North Stair	Doors	DF22	Replace with panelled leaf		
First	North Stair	Doors	DF23	Refurbish and redecorate. Ironmongery will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.		
First	North Stair	Doors	DF24	Door in good condition. No refurbishment needed		
Second	North Stair	Window	WS40	Repair, redecorate, ease and adjust window. Remove window bars. Ironmongery maintained and be gently cleaned with soft cloths or brass brushes.		
Second	North Stair	Window	WS41	Repair metal window as those above.		
Second	North Stair	Doors	DS18	Door refurbished and locked shut. Ironmongery will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.		

							
Second	North Stair	Doors	DS19	Replace with contemporary leaf			
							
Second	North Stair	Doors	DS20	Replace with contemporary leaf			
							
Ground	North Stair	Skirting	-	Localised repairs and refurbishment to existing skirting			
							
First	North Stair	Skirting	-	Localised repairs and refurbishment to existing skirting.			
							
Second	North Stair	Skirting	-	Localised repairs and refurbishment to existing skirting.			
							
All levels	North Stair	Ceiling	-	Existing ceiling and cornicing to be retained, on all levels, refurbished with localised repairs where necessary.			
							
Ground	North Stair - Circulation	Ceiling	-	Existing ceiling and cornicing to be retained. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required for MEP servicing.			


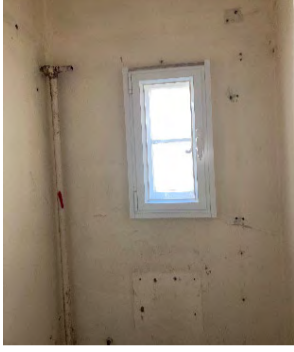
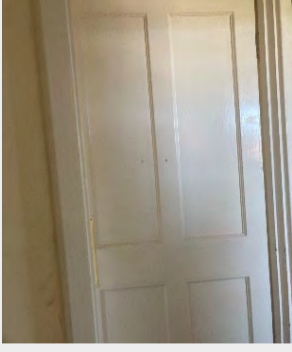



						
Ground	Pupil Entrance	Doors	DG7	Replace with contemporary leaf		
						
Ground	Pupil Entrance	Doors	DG15	Replace with contemporary leaf		
						
Ground	Pupil Entrance	Skirting	-	Modern skirting to be carefully removed and replaced as per Skirting Detail 01		
						
	R1	Roof vent	R1	Refurbish roof vent		
						
	R2	Lantern	R2	Lantern to be surveyed to establish if refurbishment is possible. If not, a replica will be inserted.		
						
Second	S01	Window	WS26	Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.		
						
Second	S01	Window	WS27	Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Repair sill.		






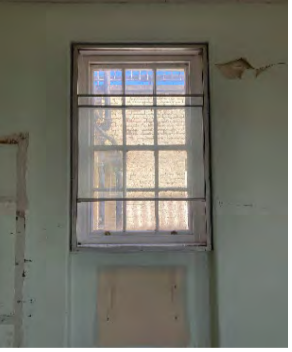
Second	S01	Window	WS28	<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.</p>			
Second	S01	Window	WS29	<p>Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing. Replace non-standard sill with scarfed timber and two part resin system.</p>			
Second	S01	Skirting	-	<p>Skirting to be refurbished, sanded down, local repairs where necessary and redecorated.</p>			
Second	S01	Ceiling	-	<p>No existing cornicing. Repair and make good existing ceiling where partitions have been removed. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required for MEP servicing.</p>			
Second	S02	Window	WS22	<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Second	S02	Window	WS23	<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			







Second	S02	Window	WS24	<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Second	S02	Window	WS25	<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Second	S02	Window	WS30	<p>Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Second	S02	Window	WS31	<p>Refurbish. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Second	S02	Skirting	-	<p>Skirting to be refurbished, sanded down, local repairs where necessary and redecorated.</p>			
Second	S02	Ceiling	-	<p>No existing cornicing. Repair and make good existing ceiling where partitions have been removed. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required for MEP servicing.</p>			

Second	S03	Window	WS18	<p>Refurbish, remove window vent, repairing glazing to match existing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>					
Second	S03	Window	WS19	<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>					
Second	S03	Window	WS20	<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>					
Second	S03	Window	WS21	<p>Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>					
Second	S03	Window	WS32	<p>Refurbish, carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>					
Second	S03	Skirting	-	<p>Skirting to be refurbished, sanded down, local repairs where necessary and redecorated. Pencil round skirting on new partition to match existing (detail 04).</p>					

Second	S03	Ceiling	-	No existing corning. Repair and make good existing ceiling where partitions have been removed. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required for MEP servicing.		
Second	S04	Window	WS13	Refurbish, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.		
Second	S04	Window	WS14	Refurbish, replacing the top glass pane where the vent has been removed. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.		
Second	S04	Window	WS15	Refurbish, replacing the top glass pane where the vent has been removed. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.		
Second	S04	Window	WS16	Refurbish and remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.		
Second	S04	Window	WS17	Refurbish, replacing the top glass pane where the vent has been removed. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.		

Second	S04	Window	WS63	<p>Refurbish and remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>		
Second	S04	Window	WS64	<p>Refurbish and remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>		
Second	S04	Doors	DS6	<p>Refurbish and rehang door to open outwards for riser. Ironmongery will be both maintained and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.</p>		
Second	S04	Doors	DS7	<p>Refurbish and rehang door to open outwards for riser. Ironmongery will be both maintained and gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.</p>		
Second	S04	Skirting	-	<p>Non-historic skirting to be carefully removed, replaced with coved skirting integrated with vinyl flooring</p>		
Second	S04	Ceiling	-	<p>Remove existing ceiling in poor condition. Replace with new plasterboard ceiling.</p>		

Second	S06	Window	WS9	<p>Refurbish window, remove secondary glazing, textured plaster finish and window film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>		
Second	S06	Window	WS10	<p>Refurbish window, remove secondary glazing, textured plaster finish and window film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>		
Second	S06	Window	WS11	<p>Refurbish window, remove secondary glazing, textured plaster finish and window film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>		
Second	S06	Window	WS12	<p>Refurbish window, remove secondary glazing, textured plaster finish and window film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>		
Second	S06	Window	WS61	<p>Refurbish window, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>		
Second	S06	Window	WS62	<p>Refurbish window, remove secondary glazing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>		


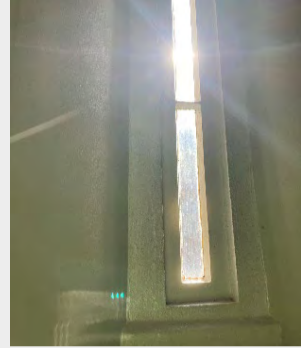
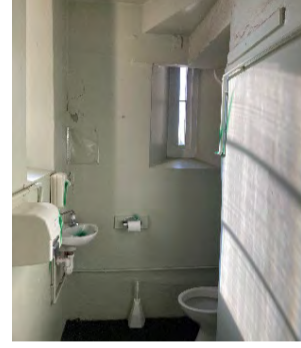



							
Second	S06	Doors	DS5	Replace with contemporary leaf			
							
Second	S06	Skirting	-	Non-historic skirting to be carefully removed and replaced with a contemporary skirting profile as per Skirting Detail 01.			
							
Second	S06	Ceiling	-	Remove existing grid ceiling, condition above unknown if there is an additional ceiling or exposed to the roof void. New plasterboard ceiling proposed.			
							
Second	S07	Window	WS36	Refurbish window, remove textured plaster finish and window film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
							
Second	S07	Window	WS37	Refurbish window, remove textured plaster finish and window film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			
							
Second	S07	Window	WS38	Refurbish window, remove textured plaster finish and window film. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.			






Second	S07	Doors	DS15	<p>Refurbish. Ironmongery will maintained where possible, gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.</p>			
Second	S07	Skirting	-	<p>Non-historic skirting to be carefully removed and replaced with a contemporary skirting profile and boxed out skirting as per Skirting Detail 01 and 02 (see A-1404-Level 02 Skirting Plans for location).</p>			
Second	S07	Ceiling	-	<p>No existing cornicing. Opening up in localised areas and subsequent repair to existing plasterboard ceiling required for MEP servicing.</p>			
Second	S08	Window	WS4	<p>Refurbish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
Second	S08	Window	WS5	<p>Refurbish, as above.</p>			
Second	S08	Window	WS6	<p>Remove textured plaster finish and window film. Metal window to be refurbished as above.</p>			







Second	S08	Window	WS7	Remove textured plaster finish and window film. Metal window to be refurbished as above.		Magenta	
Second	S08	Window	WS8	Remove textured plaster finish and window film. Metal window to be refurbished as above.			
Second	S08	Doors	DS2 - 3	Replace with contemporary leaf		Orange	
Second	S08	Doors	DS4	Replace with contemporary leaf			
Second	S08	Skirting	-	Non-historic skirting to be carefully removed and replaced with a contemporary skirting profile and boxed out skirting as per Skirting Detail 01 and 02 (see A-1404-Level 02 Skirting Plans for location).		Blue	Orange
Second	S08	Ceiling	-	Remove existing grid ceiling, condition above unknown if there is an additional ceiling or exposed to the roof void. New plasterboard ceiling proposed.			


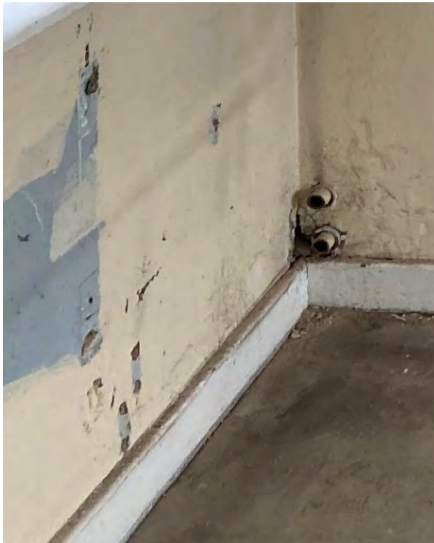

Second	S09	Window	WS39	<p>Refurbish window, reinstate shutters, remove textured plaster finish and window film. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed.</p> <p>A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		
Second	S09	Doors	DS16	<p>Refurbish and redecorate. Ironmongery will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.</p>		
Second	S09	Doors	DS17	<p>Replace with contemporary leaf</p>		
Second	S09	Skirting	-	<p>Localised repairs and refurbishment to existing skirting.</p>		
Second	S09	Ceiling	-	<p>Existing ceiling and cornicing to be retained, refurbished with localised repairs where necessary.</p>		

Second	S10	Window	WS42	Refurbish window, remove textured plaster finish and window film. Metal window refurbished as above.		
Second	S10	Window	WS43	Refurbish window, remove textured plaster finish and window film. Metal window refurbished as above.		
Second	S10	Skirting	-	Skirting to be refurbished, sanded down, local repairs where necessary and redecorated.		
Second	S10	Ceiling	-	Remove existing grid ceiling, condition above unknown if there is an additional ceiling or exposed to the roof void. New plasterboard ceiling proposed.		
Second	S11	Window	WS54	Refurbish, remove textured plaster finish and window film. Metal window refurbished as above.		
Second	S11	Window	WS55	Refurbish, remove textured plaster finish and window film. Metal window refurbished as above.		

Second	S11	Window	WS56	<p>Refurbish, remove textured plaster finish and window film. Metal window refurbished as above.</p>		
Second	S11	Window	WS57	<p>Refurbish. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>		
Second	S11	Window	WS58	<p>Refurbish as above</p>		
Second	S11	Doors	DS21	<p>Replace with contemporary leaf</p>		
Second	S11	Doors	DS23- 24	<p>Refurbish and redecorate. Ironmongery will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used.</p>		
Second	S11	Doors	DS25	<p>Replace with contemporary leaf</p>		

Second	S11	Skirting	-	<p>Skirting to be refurbished, sanded down, local repairs where necessary and redecorated. Boxed out skirting as per detail 03 for low level pipework. See 001506-ADP-01-02-DR-A-1404-LEVEL 02 - SKIRTING PLANS for locations.</p>			
Second	S11	Ceiling	-	<p>Remove existing grid ceiling, condition above unknown as to whether there is an additional ceiling or exposed to the roof void. New plasterboard ceiling proposed.</p>			
Second	S12	Window	WS46	<p>Refurbish, remove secondary glazing , textured plaster finish and window film. Window currently stuck and requires replacement 6 pane bottom sash to match existing. Carry out strengthening of all tenon joints. Ease, adjust, lubricate or renew pulley wheels where necessary. Renew sash cords throughout with waxed sash cord. Renew staff & parting beads and align mid rails. Install draught proofing.</p>			
Second	S12	Window	WS47	<p>Refurbish, remove secondary glazing , textured plaster finish and window film. Metal frames will be checked for sitting water. Any weep holes along the base will be checked for blockages and cleared. Any light rust will be removed by hand with a wire brush or sandpaper and frames sanded prior to decoration. More severely corroded metal windows will be cleaned of loose material. Ironmongery will be both maintained and preserved where possible and re-used; it will be gently cleaned with soft cloths or brass brushes. Abrasive creams or solvents will not be used. Moving components of window furniture will be treated with a thin oil to keep on iron and steel window moving components to keep free. Glazing will be carefully cleaned and reinstated and replacement putty installed where needed. A zinc based paint will be used as a primer to provide a protective layer to bare metal prior to painting with a suitable system.</p>			
Second	S12	Window	WS48	<p>Refurbish, remove secondary glazing , textured plaster finish and window film. Metal window refurbished in the same way as above.</p>			

Second	S12	Window	WS49	Refurbish, remove secondary glazing , textured plaster finish and window film. Metal window refurbished in the same way as above.			
Second	S12	Window	WS50	Refurbish, remove secondary glazing , textured plaster finish and window film. Metal window refurbished in the same way as above.			
Second	S12	Window	WS51	Refurbish, remove secondary glazing , textured plaster finish and window film. Metal window refurbished in the same way as above.			
Second	S12	Window	WS52	Refurbish, remove secondary glazing , textured plaster finish and window film. Metal window refurbished in the same way as above.			
Second	S12	Window	WS53	Refurbish, remove secondary glazing , textured plaster finish and window film. Metal window refurbished in the same way as above.			
Second	S12	Skirting	-	Skirting to be refurbished, sanded down, local repairs where necessary and redecorated.			

Second	S12	Ceiling	-	Remove existing grid ceiling, condition above unknown if there is an additional ceiling or exposed to the roof void. New plasterboard ceiling proposed.			
First	West Wing Circulation	Skirting	-	Skirting to be refurbished, sanded down, local repairs where necessary and redecorated.			
All levels	West Wing Stair	Ceiling	-	Low ceiling height, existing plasterboard ceiling to be retained and repaired where required.			
First	Chapel	Windows		Windows will be kept on display as free standing objects in the Chapel, where they're believed to have originated	