



Adelaide House, 16 Park Road, Teddington TW11 0AG

Construction Method Statement for works to a Listed Building

04 October 2022

1. Introduction

Simon Brown Architects have been appointed by the applicant, Mr. Ben Phillips, to submit a planning application to London Borough of Richmond upon Thames (LBRuT) for an :-

'Extension of the existing single storey out-building to rear, removal of the rear first floor WC extension, reinstatement of existing windows to rear and minor alterations to the existing internal walls of the Grade 2 listed property'.

This document provides: -

- 1. A Construction Method Statement**, detailing the removal of the existing elements as listed above and construction of the new replacement extension.

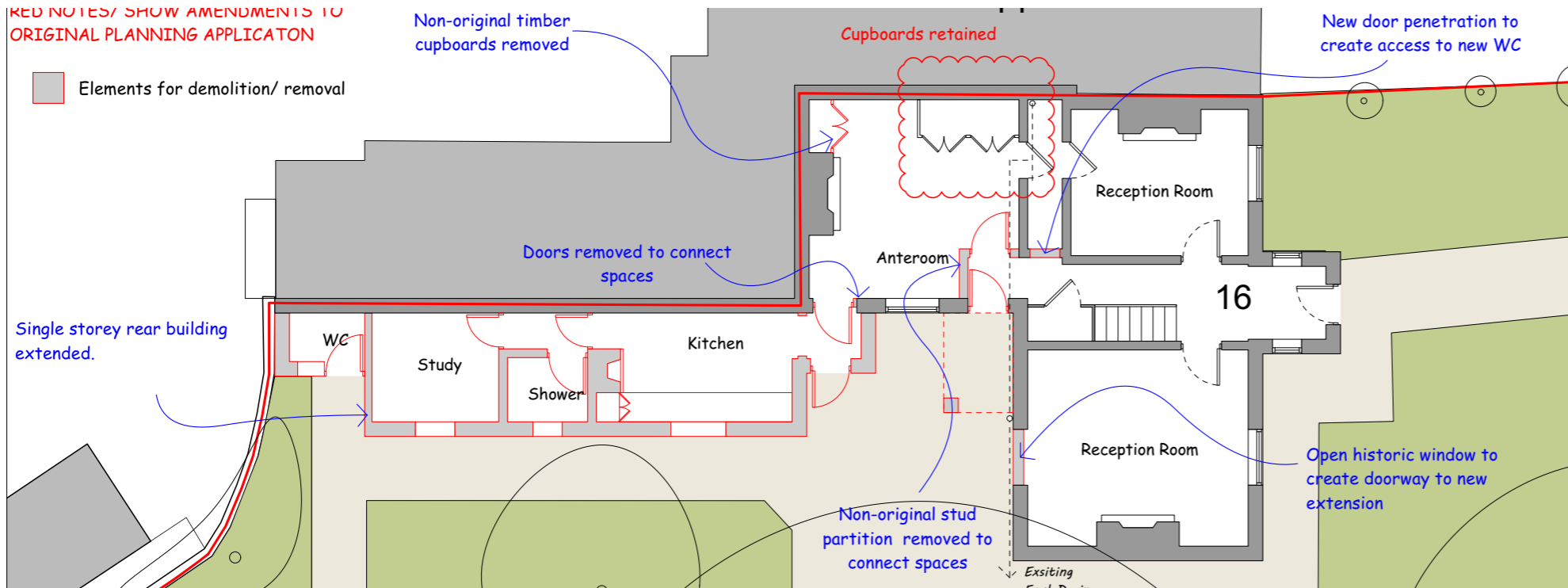
This report should be read in conjunction with other documents submitted separately in support of this application, including:

- 2. A Schedule of Repairs** to the existing listed property, including specialist heritage contractors & suppliers to be used [\(in blue\)](#).
- 3. Heritage Statement** - prepared with Heritage Environmental Consultancy (HCUK) to establish the significance and special interest of Adelaide House, No.16 Park Road, Teddington, concluding the **Limited Significance** of 2 later addition extensions to be removed.
- 4. Enhancements to a Listed Building** - additional enhancements to the scheme that will benefit the Listed building, giving considerable weight and importance to the identified harm as required by the NPPF.

Existing Plans

2. Existing Building

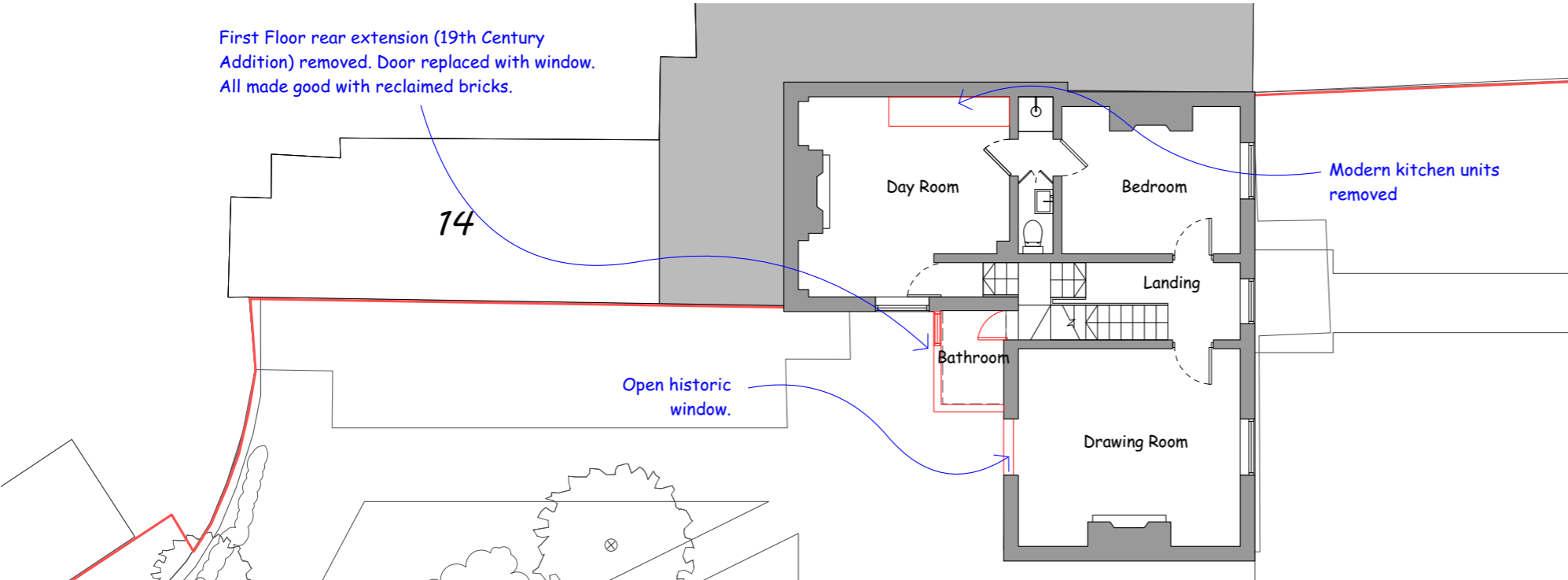
GA Plans



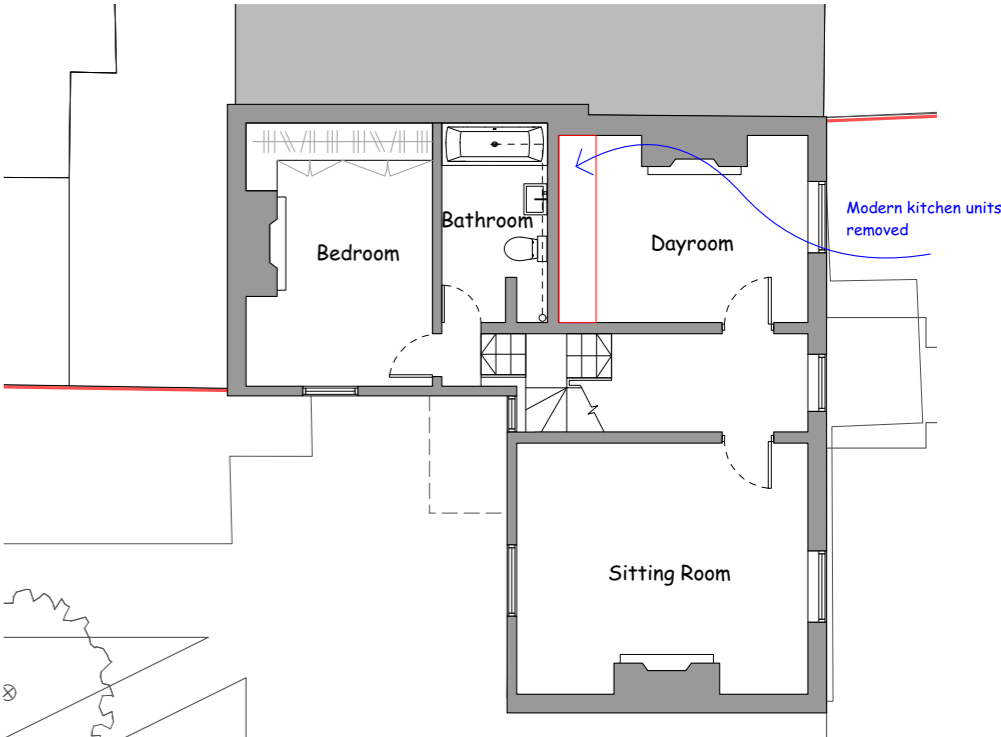
Existing Ground Floor Plan

Adelaide House (No.16) is a three storey, three bay house attached to the north to Clarence House (No 14 Park Road). The plan comprises a rectangular frontage block with rear wing on N side forming L-plan. Frontage block comprises off-centre entrance hall with one room to either side, and with stair to the rear. The rear wing appears originally to have been two storeys, with a second floor added in C19. There is a two storey extension to rear of this wing, with a further single storey range extending to the west.

Materials: Stock brick in Flemish bond, façades and return to No 14 stuccoed. Late C19 tile-hanging to rear second-floor elevations. Slate roofs.



Existing 1st Floor Plan

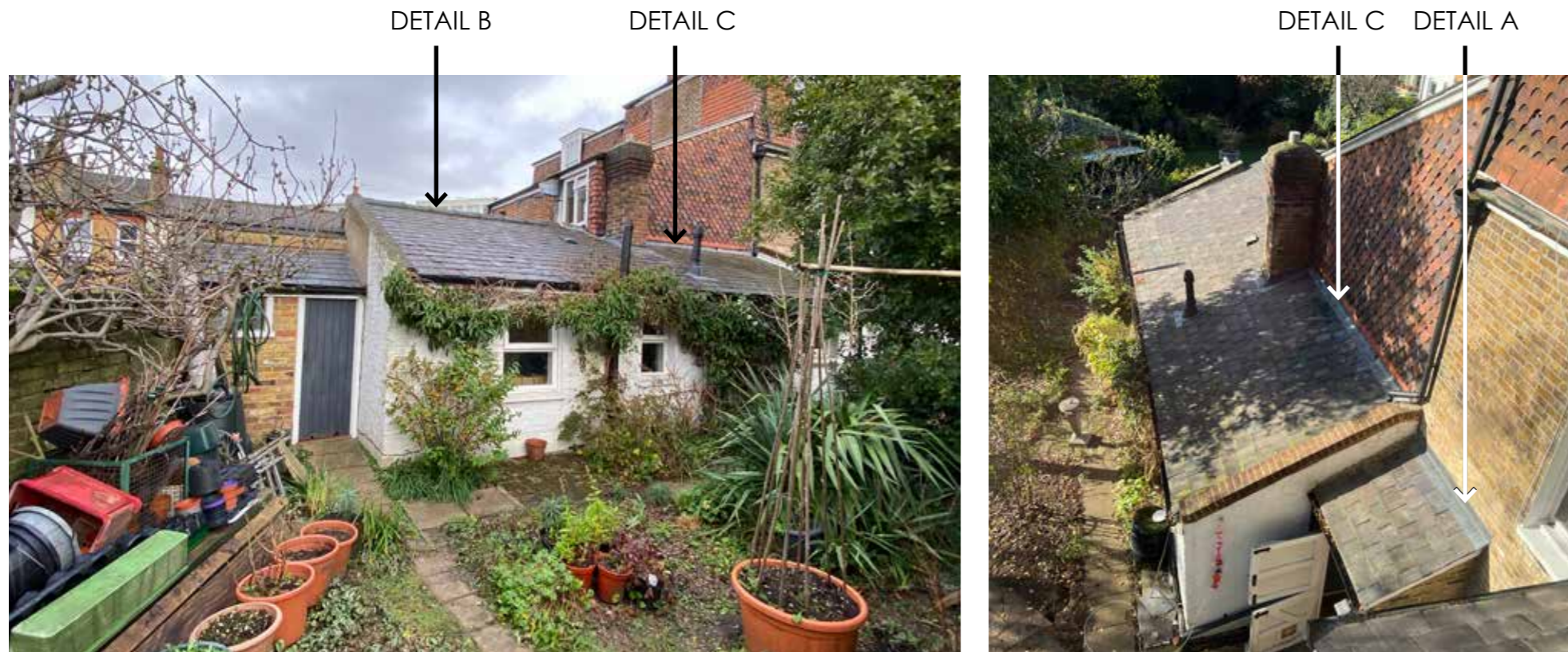


Existing 2nd Floor Plan

Construction Method Statement

Construction Method Statement

Introduction & Existing Building



Photos of Existing Rear extension

INTRODUCTION

This method statement describes works to remove and extend the existing outbuildings and new window openings to avoid impact on the existing listed house at No.16 and adjoining outbuilding of No.14.

It should be read in Conjunction with SBA drawings: -

- 404(PL)16-Roof Details - Sheet 1
- 404(PL)17-Roof Details - Sheet 2
- 404(PL)18-Roof Details - Sheet 3

Existing Construction

The existing outbuilding extension is constructed from a single skin of in brickwork, with timber roof joists, slate tiles.

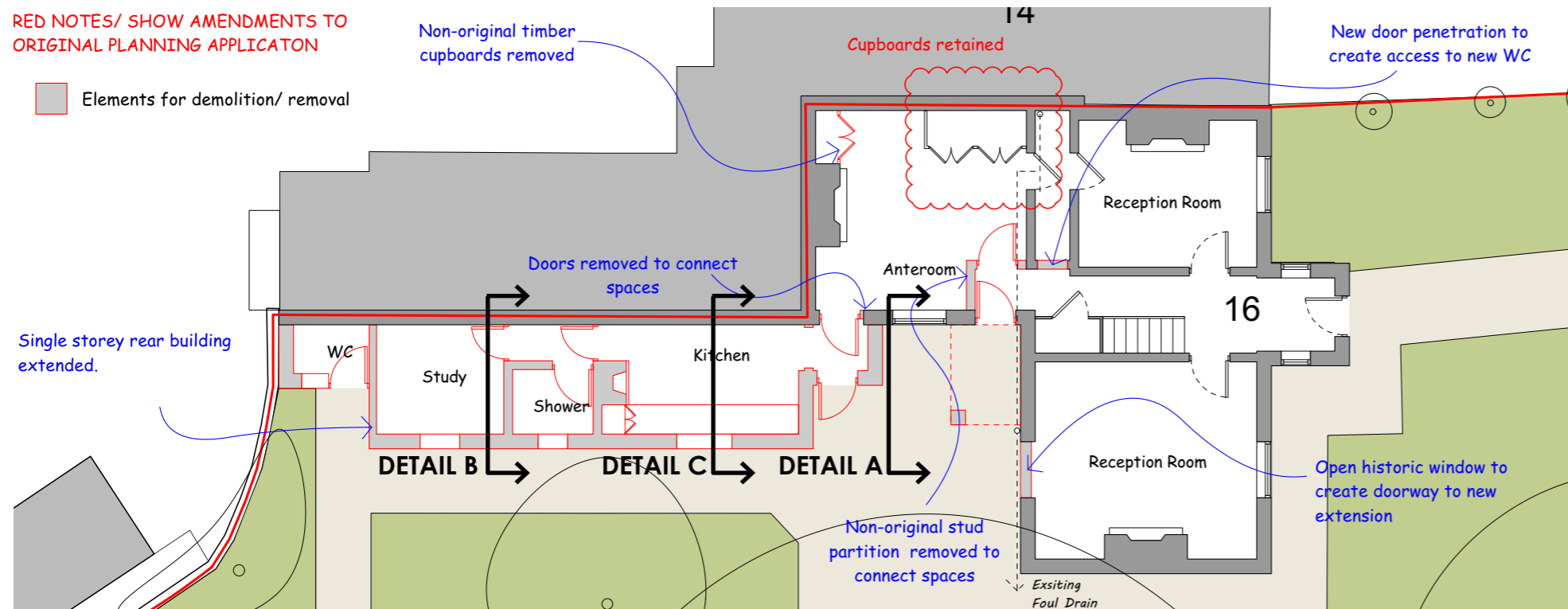
Apart from the small lean to entrance on the right hand side, this structure abuts the solid brick Party Wall of No.14.

Three detailed construction drawings have been produced (Listed above) to clearly illustrate the existing & proposed structure at 3 key points along the length of the outbuilding as indicated on the plan opposite and photographs above.

Detail A: - Section through external rear return wall of no.16.

Detail B: - Section through party wall ridge tile, shared with No14's outbuilding next door.

Detail C: - Section through No.16 outbuilding roof and junction with hung tile party wall with No.14.



Existing Ground Floor Plan - showing location of detailed construction sections

Construction Method Statement

1. 1st Floor WC Extension

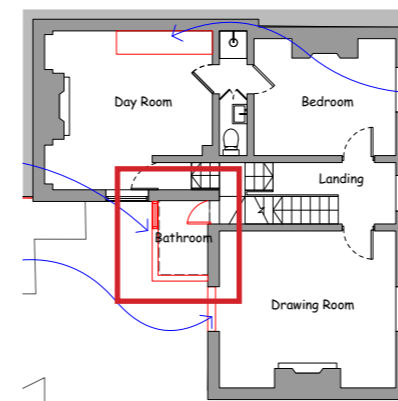
Works: - Remove existing 1st Floor 20th Century WC extension, constructed from buff brick on in-situ concrete slab and column, with ugly, external SVP Pipework.

Schedule of Works: -

1. Existing water and power services to first floor ensuite to be isolated
2. Erect Scaffolding
3. Remove External SVP Pipework (note - no Penetrations to main building, only to extension being removed)
4. Temporarily block up internal doorway to WC.
5. Remove extension roof slates, timber roof, window and all internal sanitary ware.
6. Carefully remove brickwork by hand. Note that WC extension is a later addition to original rear façade and brickwork is not stitched in original brickwork.
7. Window Opening (in place of existing WC internal door) to be formed from reclaimed bricks from new reinstated window openings and lime mortar to match existing.
8. Rear Façade in general to be made good and damaged bricks replaced using reclaimed bricks from new reinstated window openings and lime mortar to match existing.
9. Whole external façade to be gently cleaned in method suitable for listed building renovation - matching in with newly exposed façade.



Existing Rear elevation - showing 1st Floor WC Extension (20th Century later addition to original building)



First Floor Plan

Construction Method Statement

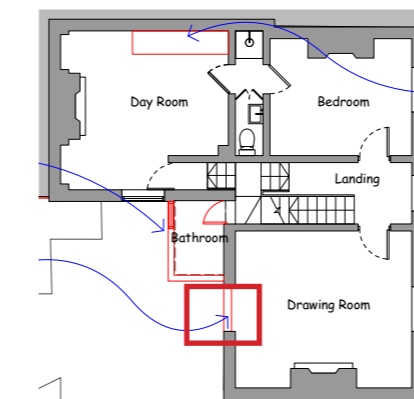
2. Opening up of Blocked Rear Windows

Works: - Opening and reinstatement of 2 bricked up original windows.

1. Erect Scaffolding
2. Temporary weatherproof area above and around new openings with awning on scaffold.
3. Carefully remove brickwork by hand, avoiding damage to surrounding brickwork and brick arch lintels.
4. Using bricks reclaimed from item 3 above, reform window jambs, with new painted masonry cill to match existing.
5. Install new timber sliding sash window and casement door below to match existing.
6. Whole external façade to be gently cleaned in method suitable for listed building renovation - matching in with newly exposed façade.



Existing Rear elevation - showing blocked in windows at ground and 1s floors



First Floor Plan



Ground Floor - showing existing brick arch lintel.

Construction Method Statement

3. Ground Floor Extension

Works: - Remove existing, later addition single storey rear extension. (See also Detail drawings: 404(PL)16-18/ Roof Details).

1. Existing water and power services to first floor ensuite to be isolated
2. Erect Scaffolding
3. Temporarily block up external ground floor doorways and window to 'Anteroom' – providing external protection to window.
4. Carefully remove existing extension brickwork chimney by hand.
5. Remove existing extension roof slates up to inside (No.16) face of boundary wall. Note from drawings '404(PL)16-18/ Roof Details', that existing ridge tiles copings and flashings are to be left in place, maintaining weathering.
6. Remove existing extension roof joists up to inside (No.16) face of boundary wall. Note from drawings '404(PL)16-18/ Roof Details', removal of existing timber joists does not damage or disturb party wall or listing building.
7. Carefully remove existing brickwork walls by hand up to inside (No.16) face of boundary wall. Note that extension is a later addition to original rear façade and brickwork is not stitched in original brickwork.
8. Party wall in general to be made good and damaged bricks replaced using reclaimed bricks from new reinstated window openings and lime mortar to match existing.
9. Temporary weather protection to exposed Party Wall.
10. Excavate for new foundations and slab in line with Party Wall Awards.
11. New below ground services connected into existing WC



Existing Rear ground floor extension

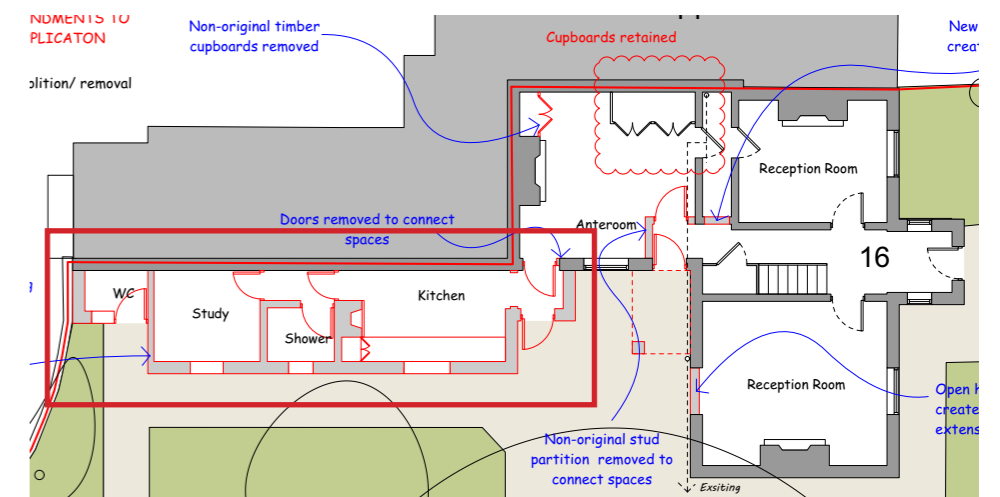
Construction Method Statement

3. Ground Floor Extension

- and sink runs. Rainwater to new soakaway in garden.
- 12. Foundations, slab and insulated brick cavity wall to new extension.
- 13. Install new timber construction flat roof as indicated on drawings '404(PL)16-18/ Roof Details'. Note that new timber connections do not damage or disturb party wall or listing building.
- 14. As indicated on drawings '404(PL)16-18/ Roof Details', new flat roof sits below existing ridgeline and therefore does not disturb existing flashing/ weatherproofing to party wall or listing building.
- 15. Install new glass sliding doors.
- 16. Internal fit out of new kitchen to replace existing kitchen with smaller utility room to far end to replace existing WC structure
- 17. Decorations and final clean to internal/ external.

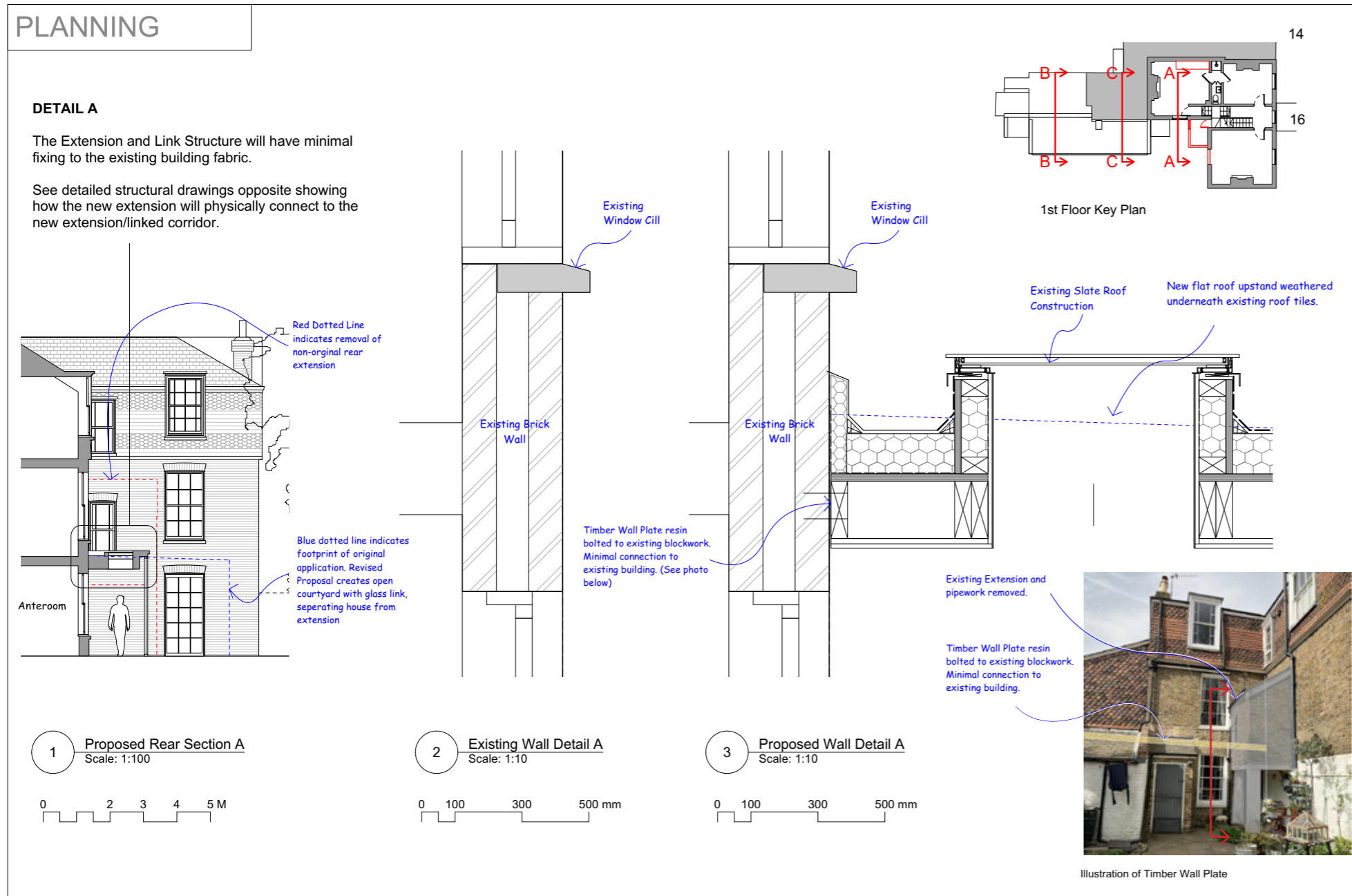


Existing Rear ground floor extension



Existing Ground Floor Plan

3. Ground Floor Extension



3 detailed section drawings have been produced illustrating existing and proposed connections to listed building and No.14 Party Wall: -

- 404(PL)16-Roof Detail A - Sheet 1
- 404(PL)17-Roof Detail B - Sheet 2
- 404(PL)18-Roof Detail C - Sheet 3

The sections below explain the existing and proposed construction along the existing extension and how our detailing will ensure no impact on the listed structure

Detail A:- Section through external rear return wall of no.16.
See Drawing '404(PL)16-Roof Details - Sheet 1', opposite.

This drawing details the length of wall above the existing ground floor window (see image below) where the new glass link will be constructed.

There is no existing structure to be removed at this point.

The proposal illustrates a timber wall plate bolted to the existing wall at discrete locations along its length.

The new roof will be supported from this wall pate and the new columns/ brick wall running along the outside of the new glass link.

This presents absolute minimal damage to the existing structure.

The new structure is removable with without damage to the existing wall which will only require discreet repairs to drill holes

CONCLUSION

As can be seen from the details provided, removal of the existing brick outbuilding and construction of the new replacement extension presents absolute minimal damage to the existing structure.

The new structure is removable with without damage to the existing wall which will only require discreet repairs to drill holes.