

## 17 Strategies and schedules

### Area Plans/Height plan

The site plan opposite shows the number of storeys and building heights for both the proposed and retained buildings on the site.



#### BUILDING SCHEDULE FLOOR AREA GIA (SQM)

	Existing GIA Retained	New Build GIA	Proposed Total GIA
Kneller Hall	3928.1	221.8	4114.5
Guards House	465.5	0	465.5
Band Practice Hall	230.7	129.3	366.0
Teaching Block	0	5069.0	5069.0
Sports Centre	0	2977.2	2977.2
Sports Pavilion	0	305.4	305.4
Energy Centre	313.8	109.6	413.4
Storage Hut	45.7	0	45.7
<b>Total</b>		<b>8812.4</b>	<b>13756.0</b>

#### STOREYS & GROSS INTERNAL AREAS - SUMMARY (SQM)

	Existing Footprint	Proposed Footprint	Demolished Footprint	Existing GIA*	Proposed GIA	Demolished GIA
Whole site	4550	7194	3031	9811.2	13756	4862.8
In MOL	1196.5	538	977	1031.7	484	905.1

\*GIA for existing buildings assumption calculated 90% GEA

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### Green Roof Strategy

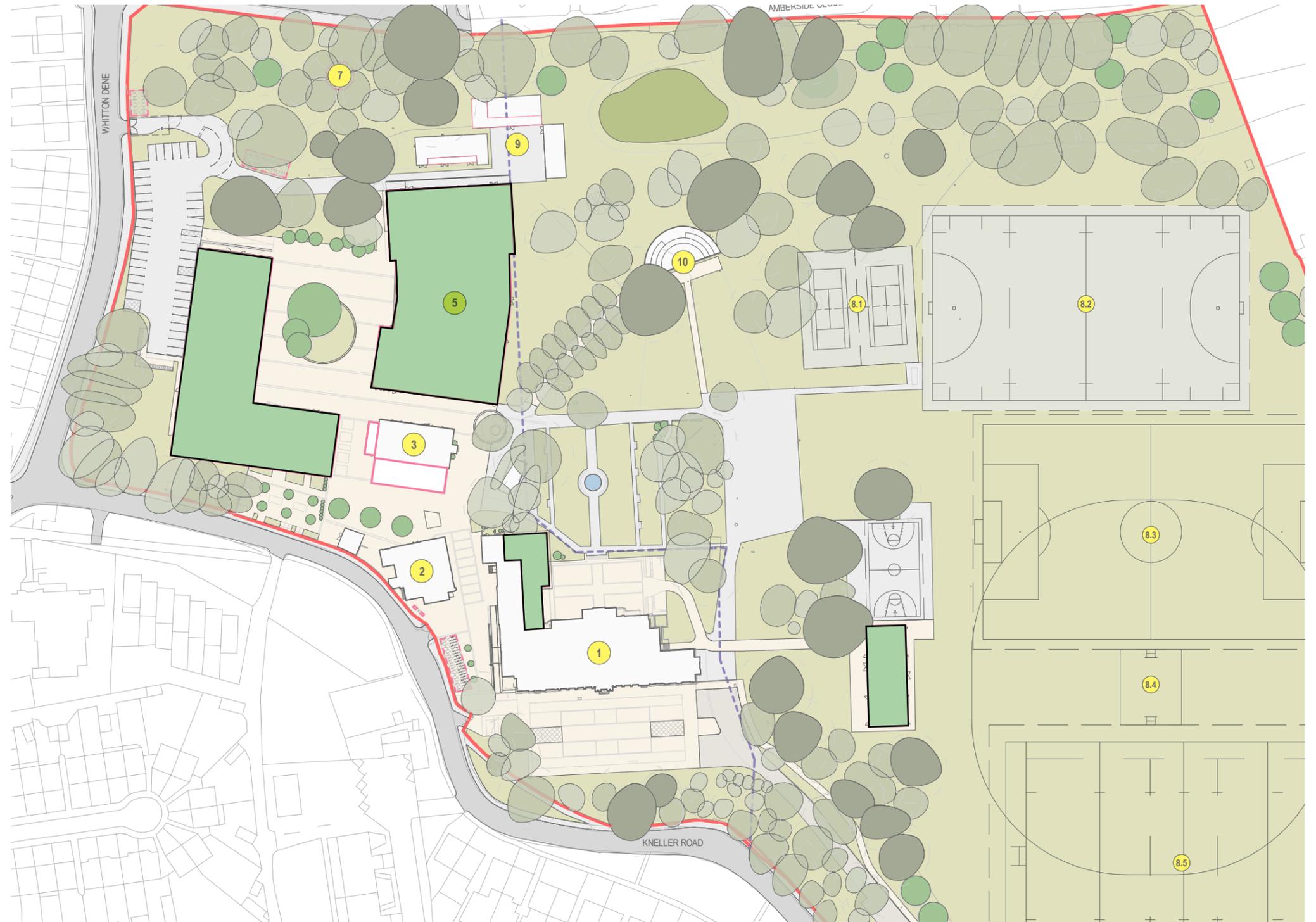
Across the site the proposed new buildings, the teaching building, sports centre and sports pavilion, and the extension to Kneller Hall will have green roofs.

There will be 3127 sqm of green roof over the whole site covering 71.29 % of the proposed new build roof area of 4386. sqm. The green roofs in the development will have less than 30% of the total roof area as plant or hard surface

This will add to the biodiversity of the site, more detail of this is found in the associated landscape design and access statement.

#### GREEN ROOF AREA (SQM)

	Total Roof Area inc. Plant and hard surface	Green Roof Area
Teaching Block	1679.04	1285.92
Sports Centre	2115.59	1299.18
Sports pavilion	351.49	351.49
Kneller extension	240.68	190.73
<b>Total</b>	<b>4386.79</b>	<b>3127.32</b>



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## Green Roof Strategy - Kneller Hall

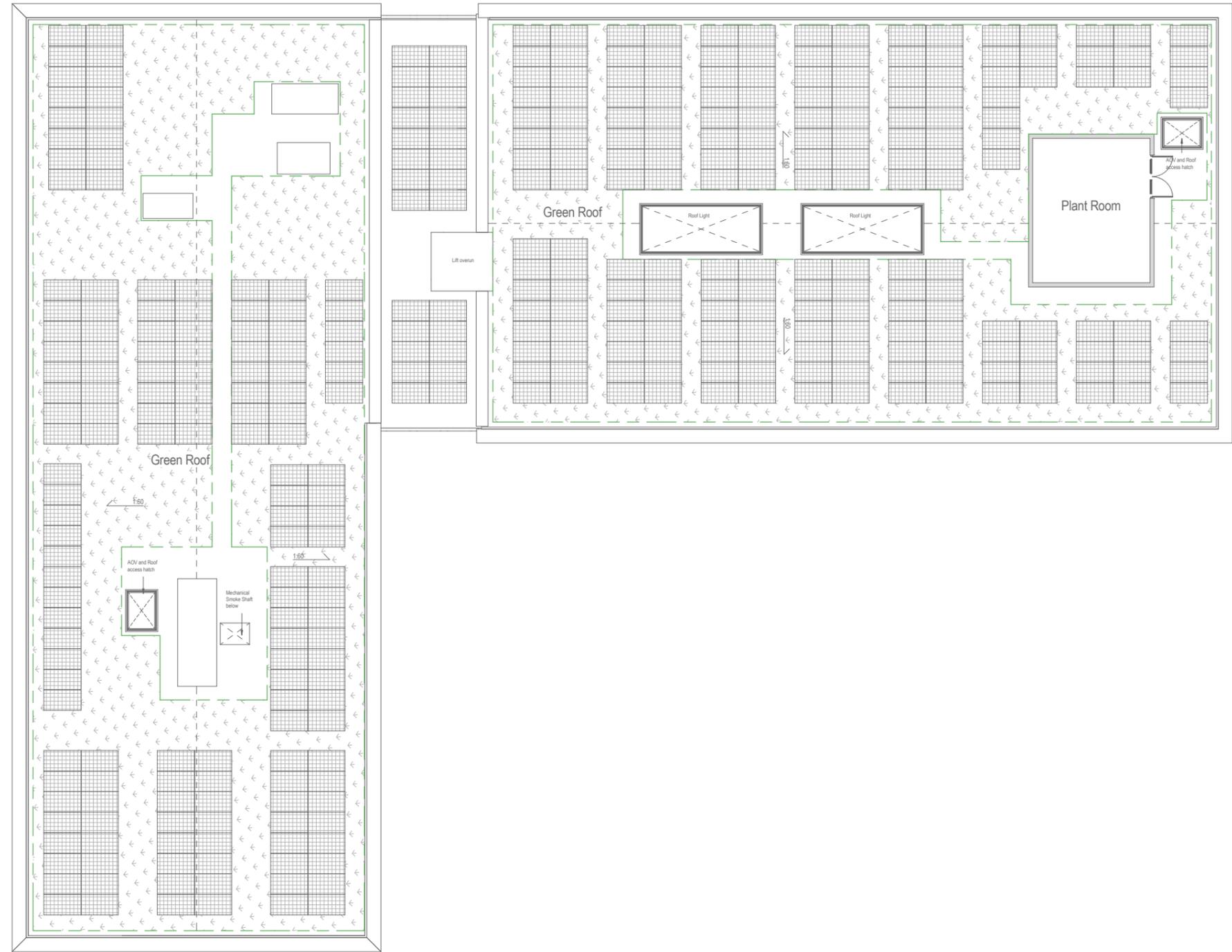


KEY  
GREEN ROOF

EXTENT OF GREEN ROOF

## 17 Strategies and schedules

### Green Roof Strategy - Teaching Block



KEY

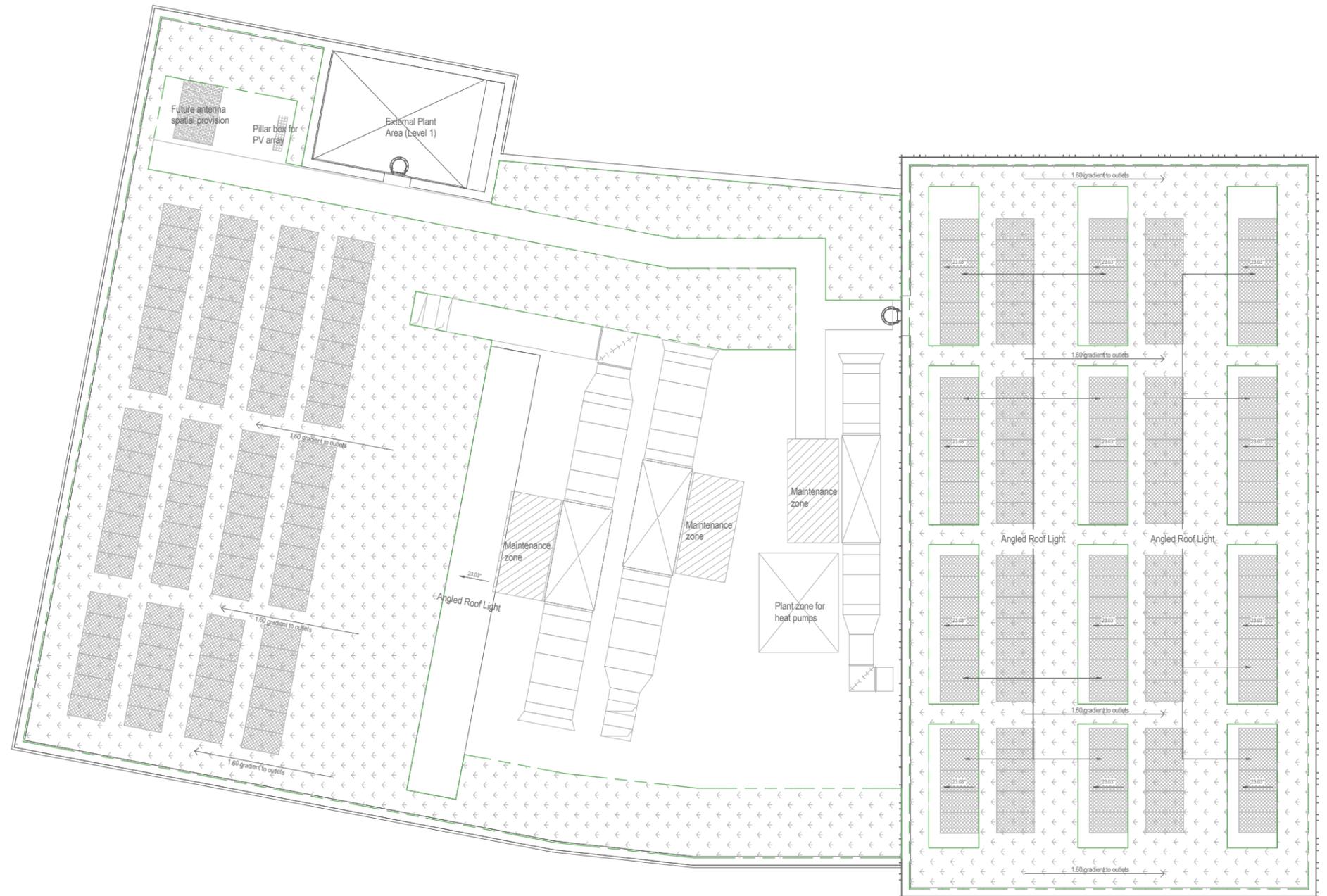
 GREEN ROOF

 EXTENT OF GREEN ROOF



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## Green Roof Strategy - Sports Centre



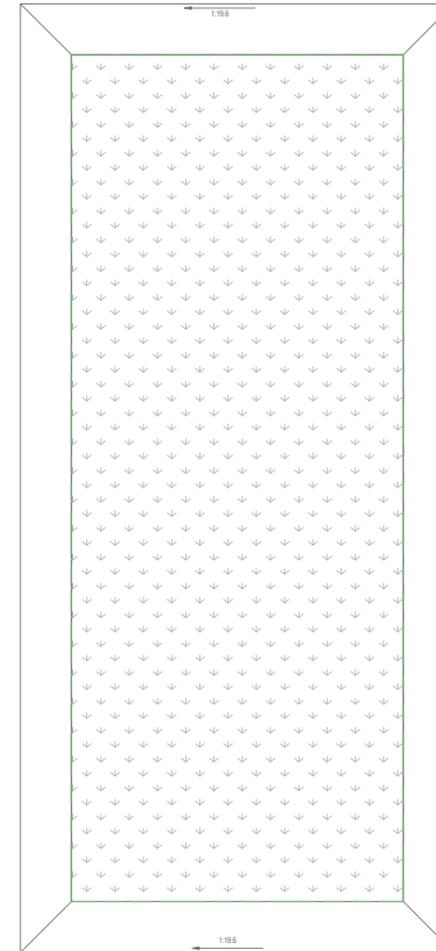
### KEY

 GREEN ROOF

 EXTENT OF GREEN ROOF

## 17 Strategies and schedules

### Green Roof Strategy - Sports Pavilion



KEY



GREEN ROOF

— EXTENT OF GREEN ROOF

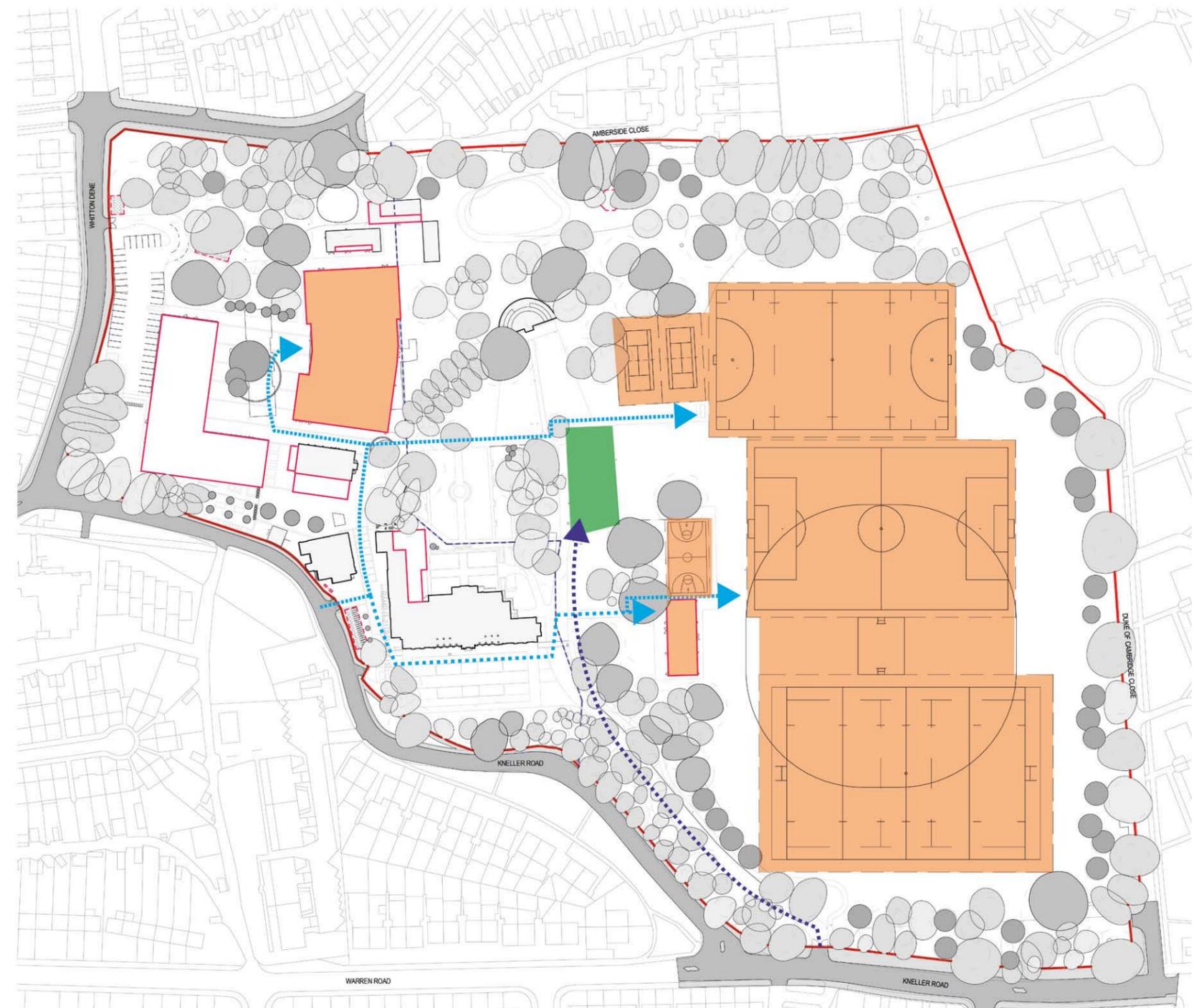
## 17 Strategies and schedules

### Community Use

Dukes Education is keen to have community access to the site outside of school hours. This community use can be divided into two groups; regular use of sports facilities and occasional use for events.

#### Future community use would include:

- + Sports club use of:
  - Outdoor Grassed Pitches: Rugby and Football
  - Astroturf Pitch
  - Two Tennis Courts
  - Basketball and Netball Court
  - Sports Pavilion with Changing Rooms, Club Room, Storage and Toilets
  - Cricket Pitch, in the Summer
  - Indoor Swimming Pool
  - Four Court Sports Hall with Changing Facilities
- + Local Schools Access to Forest School
- + Access to the Chapel as Part of the Open House Festival
- + Opportunity to Hire the School Hall
- + Invitations to Local Residents to Concerts, Plays and other events



- Key
- Community use Parking
  - Facilities available for community use
  - Community access routes
  - Vehicle access route

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### Security

The principle of the site security is based a secure line to the site boundary utilising the existing listed perimeter wall used by the Royal Military School of Music. Two main entrances and a third entrance only for staff and deliveries reduces the number of access point which will need to be over seen. A second line of security will be based on each building with fob access into buildings based on student and staff cards.

- Key
-  Main secure line based on boundary wall and fencing
  -  Secondary security line - Fob controlled access to buildings
  -  Staff & delivery vehicle entrance point
  -  Parent & visitor vehicle entrance
  -  Pupils & general public entrance point

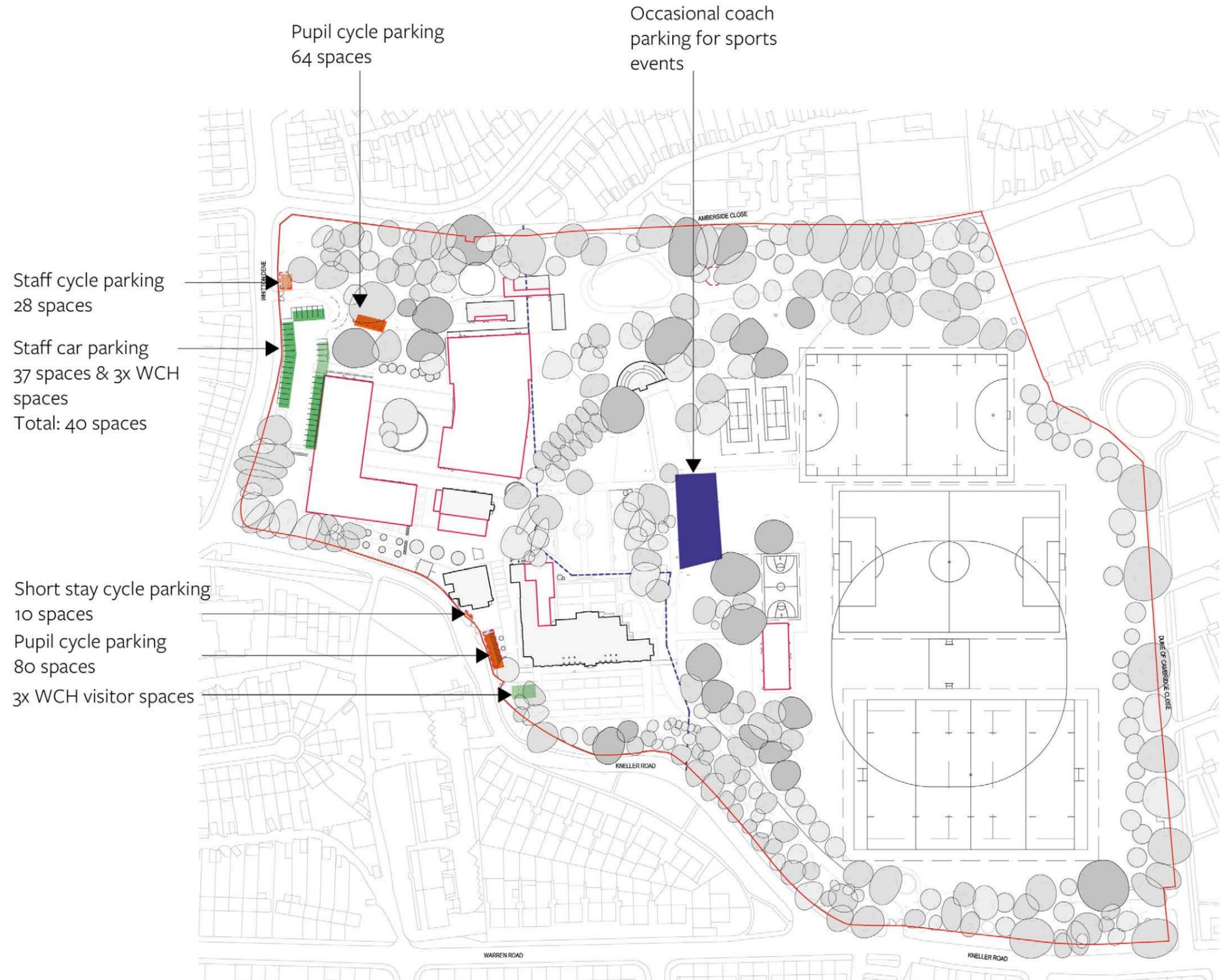


## 17 Strategies and schedules

### Parking Strategy

Parking on site will be managed with 40 staff spaces, including 3 WCH user parking spaces, accessed off Whitton Dene. 3 further WCH user visitor spaces are proposed to the side of the parade ground within easy distance of the main entrance to Kneller Hall building.

Cycle use will be promoted for both students and staff with 144 spaces in two bike store available for students and a further 28 for staff housed in a separate store. 5 Sheffield stands will provide 10 visitor cycle parking space.



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### Waste Strategy

On site waste will be collected via an external private waste collection service. To reduce traffic movements across the site waste generated on site will be collected in two bin stores on close to the kitchen which will generate a large proportion of the on site waste as well as a second within the energy centre and maintenance compound to the north of the site. Both locations are accessible via refuse truck via the Whitton Dene access without the truck crossing the centre of the site.

The capacity of the bin stores across the site is based on the LBoRuT refuse guidance which sets out a requirement for 2.6 cubic metres of waste storage should be provided for every 1,000m<sup>2</sup> gross floor space. For this proposal that equates to 33.2774 cubic metres or 33277 litres.

**Total bin store capacity = 18+13 Eurobins (1100L each)**

**= 31x1100L**

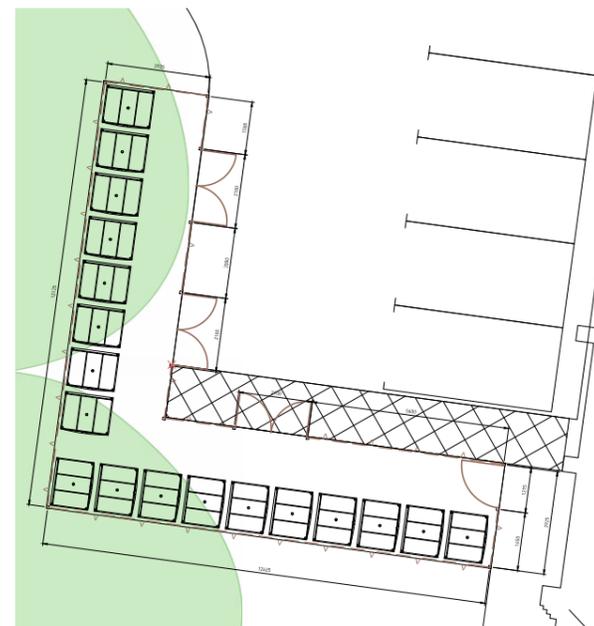
**= 34100L** (of which 17600L is reserved for recycling)

This exceeds the required capacity set out in the Local plan.

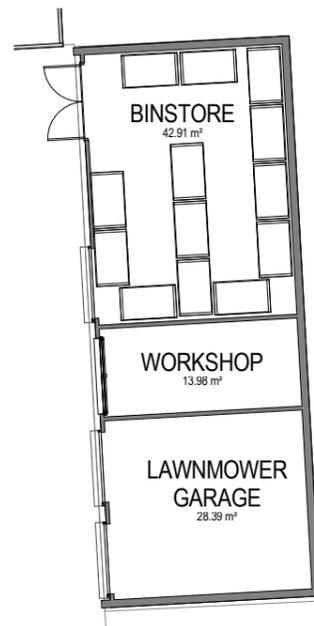
Key  
 Bin collection route

Secondary bin store: Capacity 13 x 1100L Eurobins

Main bin store: capacity 18 x 1100 L Eurobins



Floorplan of main bin store, nts



Floorplan of secondary bin store, nts



## 17 Strategies and schedules

### Schedule of Accommodation

Pupil Numbers: 1000 total (8FE)

Accommodation				Notes	Location of proposed accommodation	
	No.	≈ Area (m2)	Total (m2)		Listed buildings	New Buildings
<b>Basic Teaching Area</b>						
<b>General Teaching Spaces</b>						
General Classroom	22	53	1163	General classrooms located in new teaching block to allow area guidelines to be followed	Kneller (7 no.)	New teaching block (15 no.)
General Classroom (6th form)	10	Varies	323		Kneller	
Seminar Room	3	Varies	100		Kneller (2 no.)	New teaching block (1 no.)
<b>ICT / Business Studies</b>						
ICT	4	74	293			New teaching block
<b>Practical Learning Spaces / Science</b>						
Science Laboratory	8	80-100	685			New teaching block
<b>Art</b>						
General Art Room	3	100	295	Art preferred on top floor	Kneller	
<b>Music &amp; Drama</b>						
Music Classroom	3	35-77	150	Includes digital music & recording. Drama studio / Performance space	Guards House Band Practice Hall	
Drama Studio	1	227	227			
<b>Design &amp; Technology</b>						
DT	4	80-100	341	Ground floor		New teaching block
<b>TOTAL Basic Teaching Area</b>			<b>3577</b>			

Accommodation				Notes	Listed buildings	New Buildings
<b>Halls / Dining / PE Zone</b>						
Main Hall	1			Provided within Band Practice Hall (Drama) Retractable seating included	Band Practice Hall	
Chapel	1	90	90	Existing - FF of Kneller	Kneller	
Knellerup' Lecture Theatre	1	103	103	Existing - GF of Kneller	Kneller	
School Sports Hall (4-court)	1	700	700	Retractable seating included		New sports building
Activity Studio	1	122	122	First floor level of Sports building		New sports building
Fitness Studio	1	100	100	First floor level of Sports building		New sports building
Swimming pool	1	545	545			New sports building
Cricket pavilion	1	292	292	4 no. changing rooms for external pitches - student & community use		New pavilion
<b>Dining &amp; Social Areas</b>						
Dining Area	1	462	462	3 sittings		New teaching block
Social Space (6th form)	1	70	70		Kneller	
Café	1	58	58	Staff, students & visitors	Kneller	
Bar / Flexible space	1	60	60	Staff, students & visitors	Band Practice Hall	
<b>TOTAL Halls / Dining / PE Zone</b>			<b>2602</b>			
<b>Learning Resource Areas</b>						
<b>Learning Resource Areas</b>						
Library Resource Center	1	190	190		Kneller	
Study Area (6th form)	2	Varies	55		Kneller	
Break-out space	2	Varies	135			New teaching block
<b>Creative Arts</b>						
Music Practice / Group Rooms	7	10	72	Sound proofing reqs TBC	Guards House	
Control Room (recording)	2	13	26	Sound proofing reqs TBC	Guards House	
Green room (Drama)	3	10	30		Band Practice Hall	
<b>SEN &amp; Support spaces</b>						
Learning support	1	24	24		Kneller	
Pastoral office	1	80	80			New teaching block
<b>TOTAL Learning Resource Areas</b>			<b>612</b>			

Accommodation				Notes	Listed buildings	New Buildings
<b>Staff &amp; Administration Zone</b>						
<b>Staff &amp; Administration Areas</b>						
Staff Work Room	3	Varies	95		Kneller	
Staff Room (social)	2	Varies	129			New teaching block
Conference / Meeting Room	1	32	32		Kneller	
<b>Admin Suite</b>						
Head's Office (meeting room)	1	36	36		Kneller	
Admin Office	1	42	42		Kneller	
Formal entrance hall	1	72	72	Existing - GF of Kneller	Kneller	
Sick bay / Nurse / First Aid	3	7-14	31		Guards House	
<b>Offices</b>						
Meeting room	1	32	32		Kneller	
Security offices	3	15	47		Guards House	
Staff offices	3	15	104			
<b>TOTAL Staff &amp; Administration Zone</b>			<b>620</b>			
<b>Storage Zone</b>						
<b>Teaching Storage</b>						
General Teaching Store	3	Varies	32			
Science Prep Room & Chemical Store	2	45	91			
Multi-materials Store / Prep Room	1	41	41			
PE Stores (sports hall)	4	Varies	144			
<b>Non-teaching Storage</b>						
Retractable seating (Sports hall)	1	30	30			
Dining store (chairs)	1	28	28			
Cleaner's Store			10			
<b>TOTAL Storage Zone</b>			<b>376</b>			

Accommodation				Notes	Listed buildings	New Buildings
<b>Non-net Area</b>						
<b>Kitchen</b>						
Kitchen, prep & stores etc	1	189	189			New teaching block
Servery	1	80	80			New teaching block
<b>Toilets (and personal care)</b>						
Sports Hall / Pool Changing & WCs	7		416			New sports building
Sports Pavilion Changing & WCs				Included above		Pavilion
WCs & DWCs			320	Staff, Pupils, Visitors, DWCs		
<b>Plant</b>						
Plant & risers			194			
Energy Centre			157		Energy Centre	
<b>Circulation</b>						
Corridors, stairs & lifts			2085			
Internal partitions (Nom 5%)			550	Approx.		
<b>TOTAL Non-net Area</b>						
			<b>3991</b>			
<b>SUM TOTAL</b>			<b>11778</b>			



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## DFE Calculator

The Department for Education calculator shown opposite is a design tool used to develop an early schedule of accommodation based on the number of pupils a school will be designed to accommodate. This informed early discussions with the school on what ADP were to design into the school proposals. As a private school some of the spacial requirements of the school and Dukes Education are different from those set out in this calculator.

SCHEDULE OF ACCOMMODATION FOR ANY MAINSTREAM SECONDARY SCHOOL									
Version 7.3 Mar 2018									
date: [ ] age range: 11-16 school name: secondary SoA tool 7.4 as a check, if new:									
check age range and places									
6 FE classes of 11 to 16 places 810									
27 16 to 19 places 200									
Total Mainstream Places 1010									
net capacity for SoA below = 1021									
NOTE: over capacity within a potential range of: 1021 to 1135									
site: area (m <sup>2</sup> ) type ample site									
number of storeys: 3-storey									
existing buildings to be: some retained									
2 float if min net not over min gross									
curriculum C: typical									
recommended area of space (m <sup>2</sup> ) no. of spaces									
Parent ADS code	Parent ADS code	max. group size (for size of space)	average area of space (m <sup>2</sup> )	TOTAL no. of spaces	TOTAL AREA (m <sup>2</sup> )	NON-NET AREA (m <sup>2</sup> )	SUPP AREA (m <sup>2</sup> )	AREA OF RE-TAINED SPACES	recommended area of space (m <sup>2</sup> ) no. of spaces
<b>Basic Teaching Area</b>									
general teaching spaces									
classrooms									
CLA02	CLA02	22	41	2	82				41 2
CLA12	CLA12	30	55	25	1375				55 25
classroom options all standard except post-16 (27)									
ICT/ business studies									
CLA32	CLA32	30	62	4	248				62 4
CLA42	CLA42	30	62	1	62				62 1
practical learning spaces									
science									
SCI02	SCI02	30	69						69 (8)
SCI05	SCI05	30	83	6	498				83 6
SCI11	SCI11	30	90	2	180				90 2
art									
DAT02	DAT02	30	83	2	166				83 2
DAT03	DAT03	30	97	1	97				97 1
music and drama									
PER02	PER02	30	62	1	62				62 1
PER03	PER02	30	69						69 (2)
PER15	PER15	32	90	1	90				90 1
PER08	PER08	30	83						83 (2)
design and technology									
DAT43	DAT43	24	104	1	104				104 1
DAT35	DAT35	24	104	1	104				104 1
DAT22	DAT22	25	83	1	83				83 1
DAT25	DAT25	25	83	1	83				83 1
PE basic teaching spaces All PE Spaces									
TOTAL AREA BB103 range 2989 to 3542 3234 OK: area within recommended range 3234									
<b>Large spaces: halls and indoor PE</b>									
HAL03	HAL01	313	197	1	197				197 1
SPH03	SPH00	168	504	1	504				504 1
ACT06	ACT05	30	120	1	120				120 1
Dining and Social Areas									
DIN01	DIN01	284	272	1	272				272 1
DIN05	DIN04	93	104	1	104				104 1
TOTAL AREA BB103 range 981 to 1377 1197 OK: area within recommended range 1197									
<b>Learning Resource Areas</b>									
LIB05	LIB05	57	152	1	152				152 1
LIB06	LIB06	37	62	1	62				62 1
creative art									
RES21	RES21	-	4	1	4				4 1
RES12	RES12	3	8	2	16				8 2
RES13	RES12	7	16	1	16				16 1
RES14	RES14	3	8						8 (12)
RES16	RES14	2	6	1	6				6 1
SEN and support spaces									
SEN11	SEN11	4	12	1	12				12 1
SEN01	SEN01	7	16	1	16				16 1
RES02	RES00	4	9	3	27				9 3
RES03	RES00	6	12						12 (12)
RES04	RES00	8	16	1	16				16 1
TOTAL AREA BB103 range 327 to 503 327 OK: area within recommended range 327									

SoA FOR MAINSTREAM SECONDARY (cont.)									
secondary SoA tool 7.4									
max. group size	average area of space (m <sup>2</sup> )	TOTAL no. of spaces	TOTAL AREA (m <sup>2</sup> )	SUPP AREA (m <sup>2</sup> )	AREA OF RE-TAINED SPACES	recommended area of space (m <sup>2</sup> )	no. of spaces		
<b>Staff and Administration Areas</b>									
OFF35	OFF35	8	20	5	100				20 5
OFF33	OFF33	4	13	3	39				13 3
OFF32	OFF32	24	41	1	41				41 1
OFF41	OFF41	8	17	1	17				17 1
ADM32	ADM32	-	8	1	4	4			4 4
reception desk options office with 2 recep desks									
ADM11	ADM11	6	16	1	16				16 1
ADM13	ADM13	1	8	1	8				8 1
ADM08	ADM08	2	13	1	13				13 1
ADM07	ADM05	8	34	1	34				34 1
ADM31	ADM31	-	16	1	8	8			8 8
ADM02	ADM02	4	6	1	6				6 1
ADM04	ADM04	3	6	1	6				6 1
<b>offices</b>									
OFF01	OFF00	1	7	4	28				7 4
OFF11	OFF10	3	9	7	63				9 7
OFF02	OFF00	2	9		9				9
OFF12	OFF10	4	11		11				11
OFF23	OFF20	4	11	1	11				11 1
OFF17	OFF15	2	11	1	11				11 1
OFF18	OFF15	2	11	1	11				11 1
TOTAL AREA BB103 range 302 to 544 416 12 OK: area within recommended range 416									
<b>Storage: teaching storage</b>									
STT13	STT10	5	6	30					30 6
STT21	STT21	90	1	90					90 1
STT23	STT23	7	1	7					7 1
STT21	STT21	7	1	7					7 1
STT06	STT05	5	6	30					30 6
STT32	STT32	34	1	34					34 1
STT34	STT34	10	1	10					10 1
STT05	STT05	5	4	20					20 4
STT17	STT10	5	2	10					10 2
STT08	STT08	10	1	10					10 1
STT35	STT35	5	1	5					5 1
STT41	STT40	3	1	3					3 1
STT42	STT40	5	1	5					5 1
STH01	STH00	51	1	51					51 1
STH02	STH00	4	1	4					4 1
STH03	STH00	12	1	12					12 1
STH05	STH05	8	1	8					8 1
<b>non-teaching storage</b>									
STH12	STH10	20	1	20					20 1
STN22	STN10	5	2	10					10 2
STN21	STN21	8	2	16					16 2
CIR06	CIR06	1.5	4	6.0					6.0 4
STH20	STH20	16	1	16					16 1
STN02	STN02	9	6	54					54 6
STN02	STN02	3	1	3					3 1
STN31	STN31	1.5	8	12.0					12.0 8
STN32	STN32	8	1	8					8 1
TOTAL AREA BB103 range 413 to 654 469.0 OK: area within recommended range 469									
Float 0 to 634 2 NOTE: float available 2									
Total Net Area min 5645 max 6224 5645 12 OK 5645									
<b>Non-net Area</b>									
KIT01	KIT01	90	1	90					90 1
KIT11	KIT11	3.5	1	3.5					3.5 1
KIT21	KIT20	4.5	1	4.5					4.5 1
KIT25	KIT25	4	1	4					4 1
KIT26	KIT25	3	1	3					3 1
KIT40	KIT40	6	1	6					6 1
toilets (and personal care)									
TOC01	TOC01	51	58	2	116				116 2
TOC02	TOC02	1	6	2	12				12 2
TOC04	TOC04	1	12	1	12				12 1
TOC13	TOC10	8	26	6	156				156 6
TOC14	TOC10	2	6	2	12				12 2
TOC15	TOC15	2	2	1	2				2 1
TOC12	TOC10	2	6	2	12				12 2
TOC21	TOC21	3.5	5	17.5					17.5 5
<b>plant</b>									
PLA01	PLA01	1.8%	71	1	71				71 1
PLA02	PLA02	1	12	12					12 12
PLA05	PLA05	1	7	7					7 7
PLA10	PLA10	12.2	1	12.2					12.2 1
PLA18	PLA10	6.8							6.8 0
<b>circulation</b>									
CIR12	CIR12	27	9	243					243 9
CIR13	CIR13	4	3	12					12 3
CIR00	CIR00	1190		1190					1190
TOTAL AREA BB103 range 2258 to 2540 2257.7 OK: area within recommended range 2257.7									
Total Gross Area min 7903 max 9021 7902.7 OK 7902.7									
Total Gross Area (including supplementary area) 7903 of which retained, so: gross area to be built 7903 m <sup>2</sup>									
Gross area as proportion of net 140%									

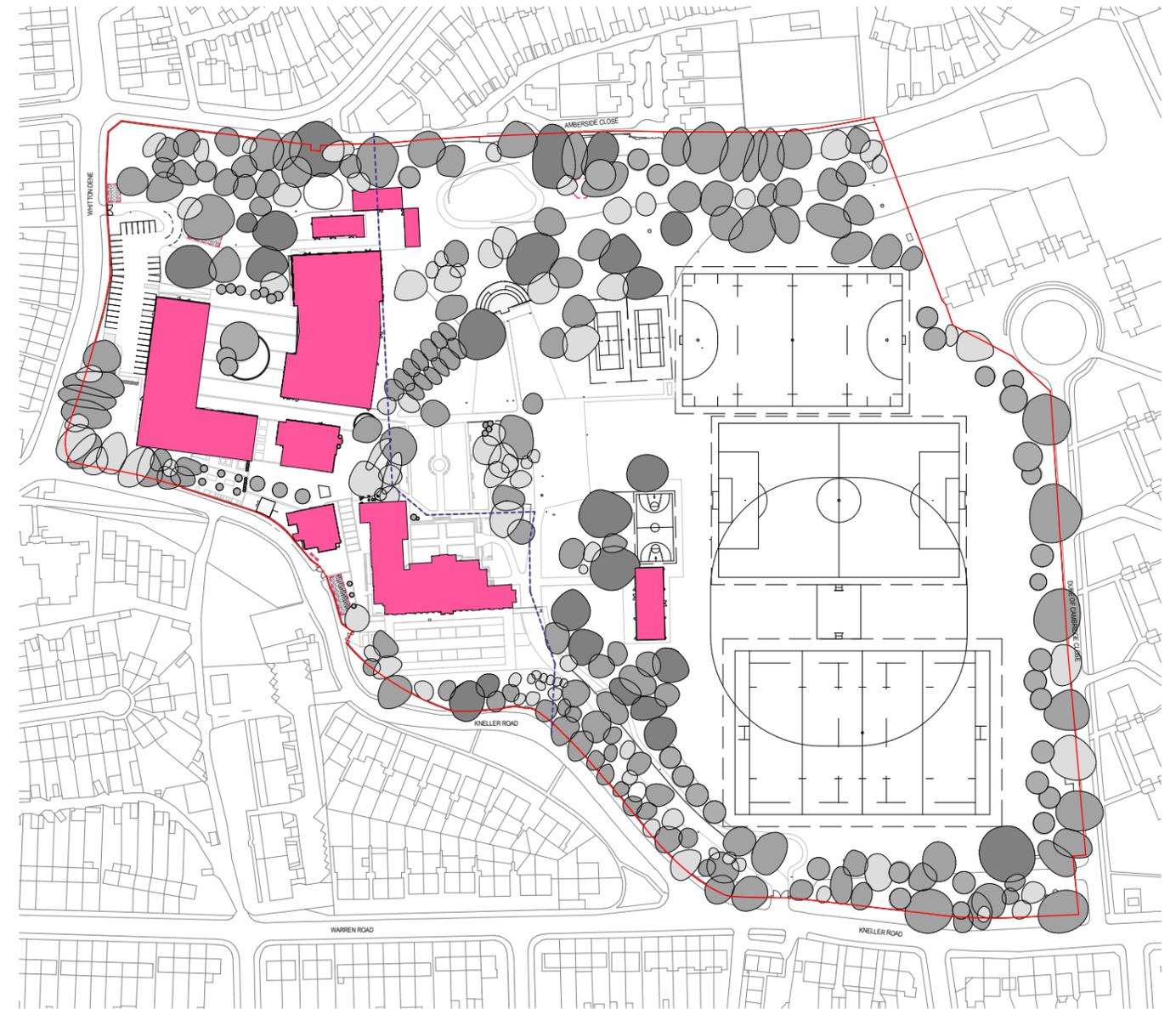
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Existing and Proposed Floorspace figures by Use Class



**FLOORSPACE BY USE CLASS (EXISTING)**

UseClass	GIA (m <sup>2</sup> ) *
C2	9811.19
F1	0



**FLOORSPACE BY USE CLASS (PROPOSED)**

UseClass	GIA (m <sup>2</sup> ) *
C2	0
F1	13756.58

\*GIA for existing buildings assumption calculated 90% GEA