



STAG BREWERY MORTLAKE
LANDSCAPE DESIGN - PLANNING ADDENDUM

REV00 JULY 2022

REVISION NO:	ISSUE DATE:	PREPARED BY:	APPROVED BY:
00	22/07/2022	AS	JG

P10736-00-004-GIL-0704-00

STAG BREWERY PLANNING ADDENDUM

INTRODUCTION

This landscape Design and Access Statement addendum was prepared by Gillespies Landscape Architects, on behalf of Reselton Properties Limited, to respond to recommendations and comments received as part of the consultation period for the two submitted linked planning applications (March 2022) for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake, within the London Borough of Richmond upon Thames. Application A (ref: 22/0900/OUT) for the masterplan redevelopment and Application B (ref: 22/0902/FUL) for the school.

The following document includes updated information that supersedes the corresponding information submitted as part of the Landscape Design and Access Statement (March 2022). A comprehensive summary of changes is provided on each page.

STAG BREWERY PLANNING ADDENDUM

LANDSCAPE MASTERPLAN

Changes to the landscape masterplan were informed by comments received during the determination of the application, which include:

- Introduction of separate entrances to the building basements and of refuse stores at ground floor level on Blocks 2,7,8,11,13,15 and 17. (HSE Gateway 1 Substantive response May 2022 p.3, para(s)1.8)
- Adjustment to private terraces and introduction of more amenity planting (A), site wide, as a result of the introduction of new entrances to the buildings.
- Relocation of the pedestrian ramp between Blocks 2 and 3, due to the introduction of a new entrance to the north facade of Block 2. (B)
- Relocation of play area and cycle stands within pocket park, due to introduction of private terraces to the east facade of Block 17. (C)
- Adjustments to the lighting design strategy and to the location of luminaires site wide, to avoid clashes with trees hence avoiding maintenance issues. (Consultee responses May 2022, p.12, Trees/Further Detail required/'e')
- Improvements to lighting and landscaping (addition of benches) at Maltings Plaza (D) (Consultee responses May 2022, p.2, Landscape Masterplan/DAS/'s' and Lighting Masterplan/'u')

Drawings P10736-00-004-GIL-0100 to 104, 106,107, 116, 120,122,123,140 and 150 were amended to reflect these changes.













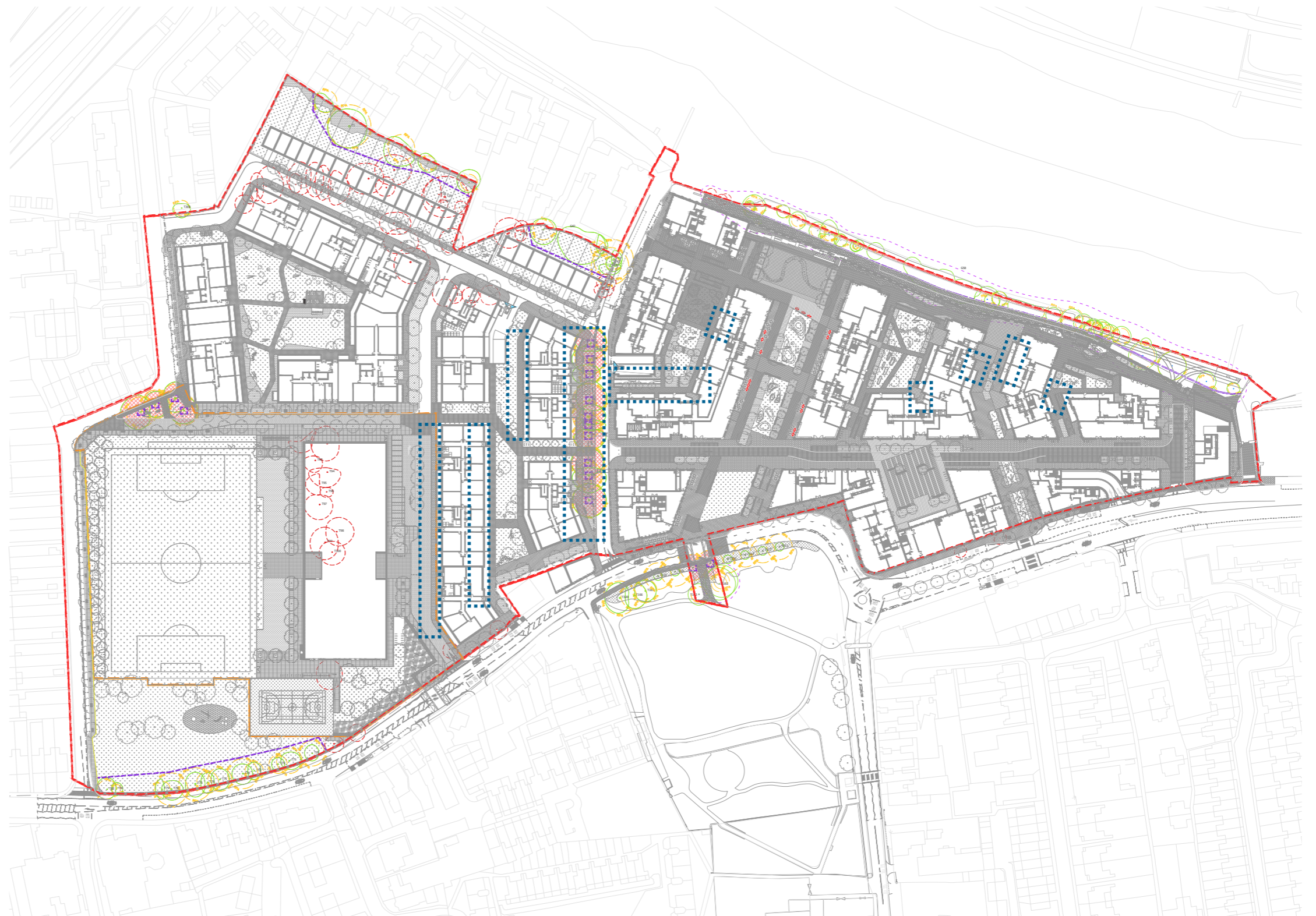
STAG BREWERY PLANNING ADDENDUM

EXISTING TREE SURVEY & ASSESSMENT

The existing tree survey drawing was updated to reflect changes to the buildings and landscape bases.

Watermans drawing 18671-WIE-ZZ-XX-DR-7703 was amended to reflect the change (see drawing 18671-102-WIE-ZZ-XX-DR-L-7703_P03).

- Legend**
-  TREES TO BE RETAINED
 -  TREES TO BE REMOVED
 -  ROOT PROTECTION AREAS (RPA)
 -  INDICATIVE EXTENT OF GROUPED FEATURE
 -  TREE PROTECTION FENCING
 -  TREE PROTECTION BOXES
 -  CONSTRUCTION WORKING AREA (CWA)
 -  MASTERPLAN APPLICATION A BOUNDARY
 -  MASTERPLAN APPLICATION B BOUNDARY
 -  Amended area














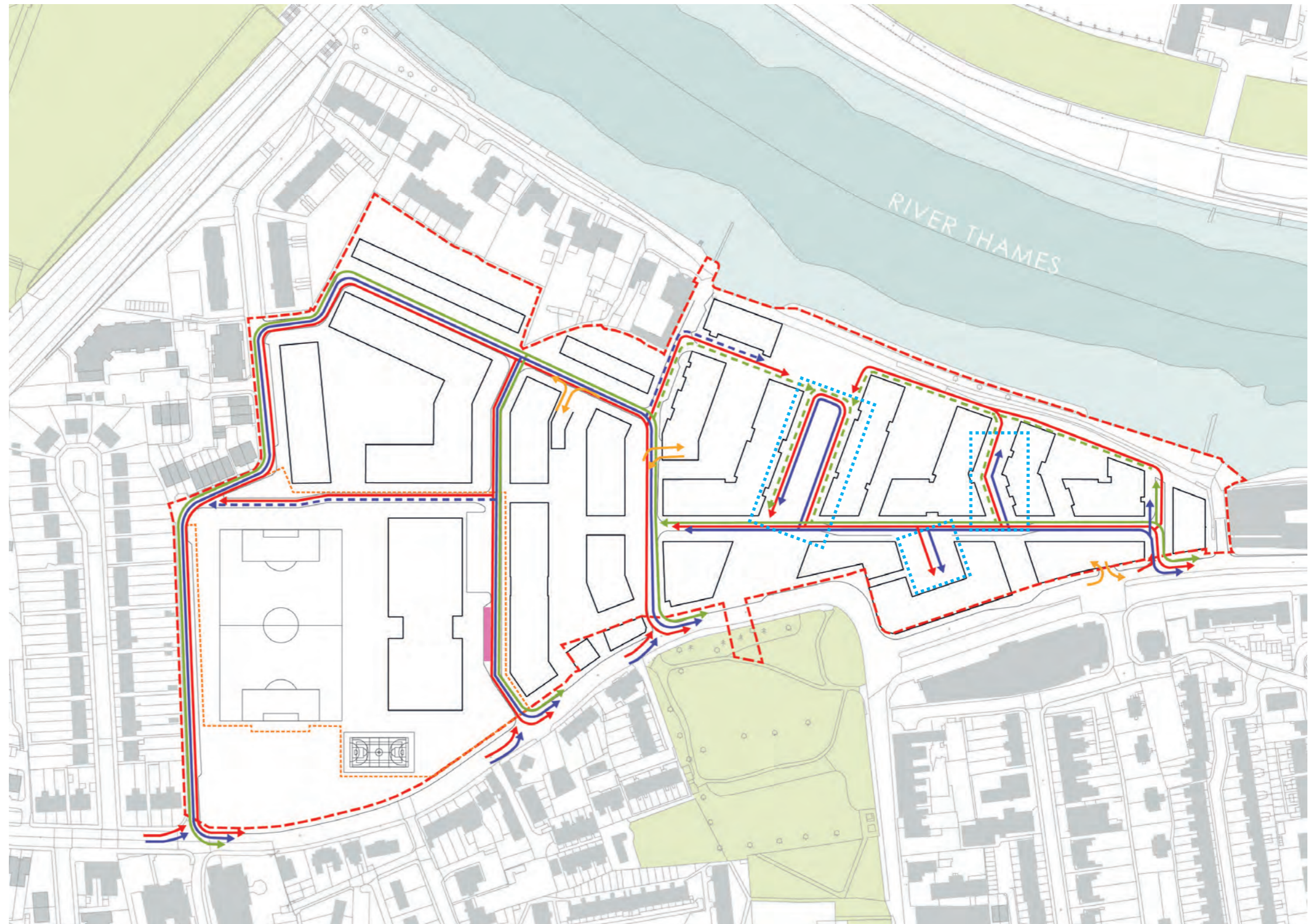
STAG BREWERY PLANNING ADDENDUM

CIRCULATION AND ACCESS

The refuse vehicle circulation network was expanded due to the introduction of refuse stores at ground level on Blocks 2,7,8,11,13,15 and 17

Drawings P10736-00-004-GIL-0107 was updated to reflect these changes.

- Legend**
-  Fire Tender
 -  Waste Collection
 -  Waste Collection intermittent access required
 -  Delivery
 -  Delivery intermittent access required
 -  Passenger (Residential/Retail)
 -  School Bus Stops
 -  Site Application Boundary
 -  School Application Boundary
 -  Amended area
 -  Operational change

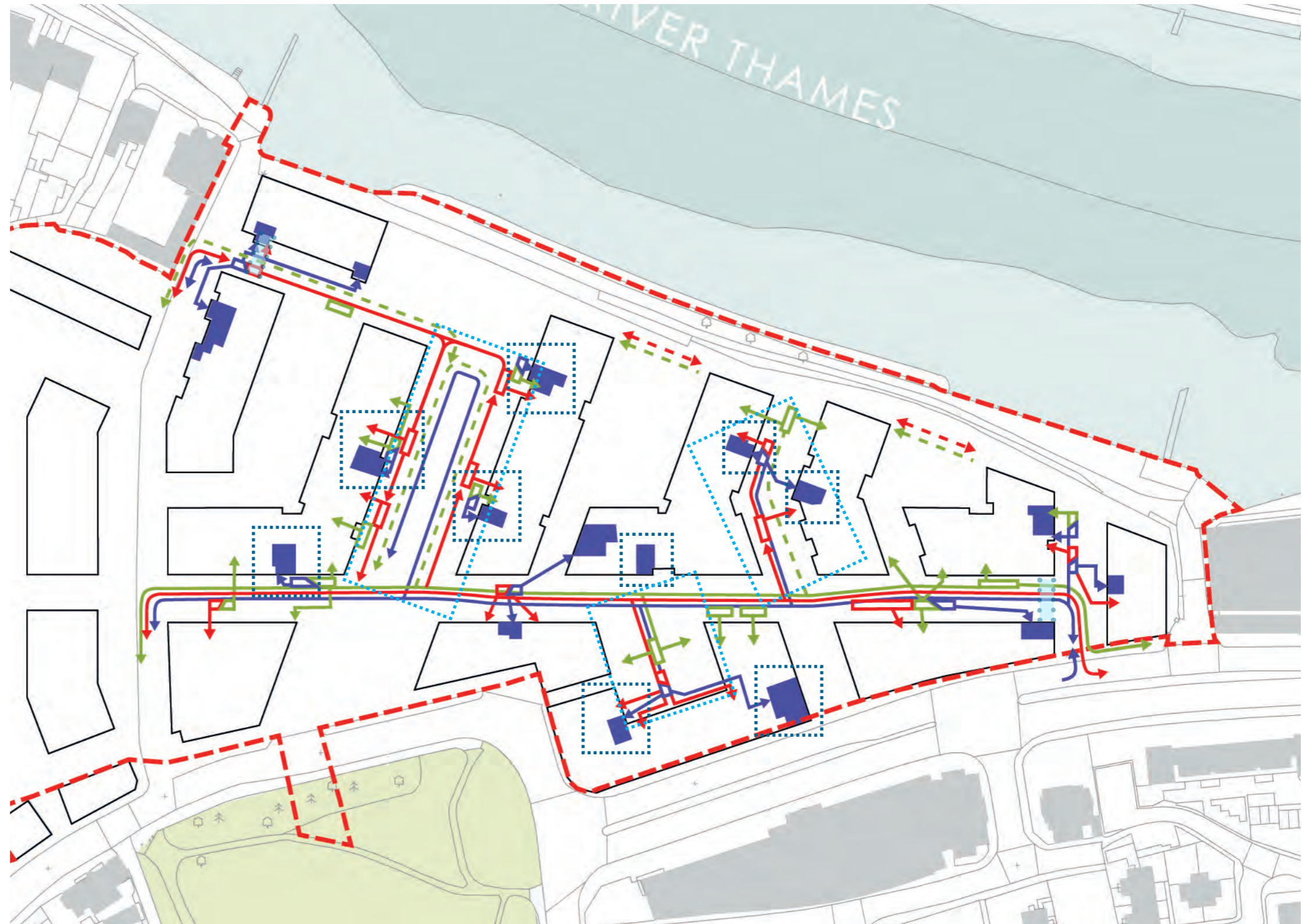
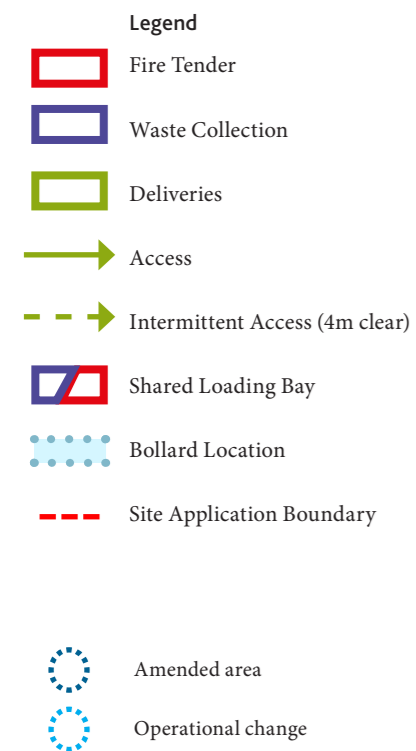


STAG BREWERY PLANNING ADDENDUM

CIRCULATION AND ACCESS

The refuse store network on Development Area 1 was expanded due to the introduction of refuse stores at ground level on Blocks 2,6,7,8 and 11.

Drawings P10736-00-004-GIL-0101, 103, 106, 107 and 116 were updated to reflect these changes.

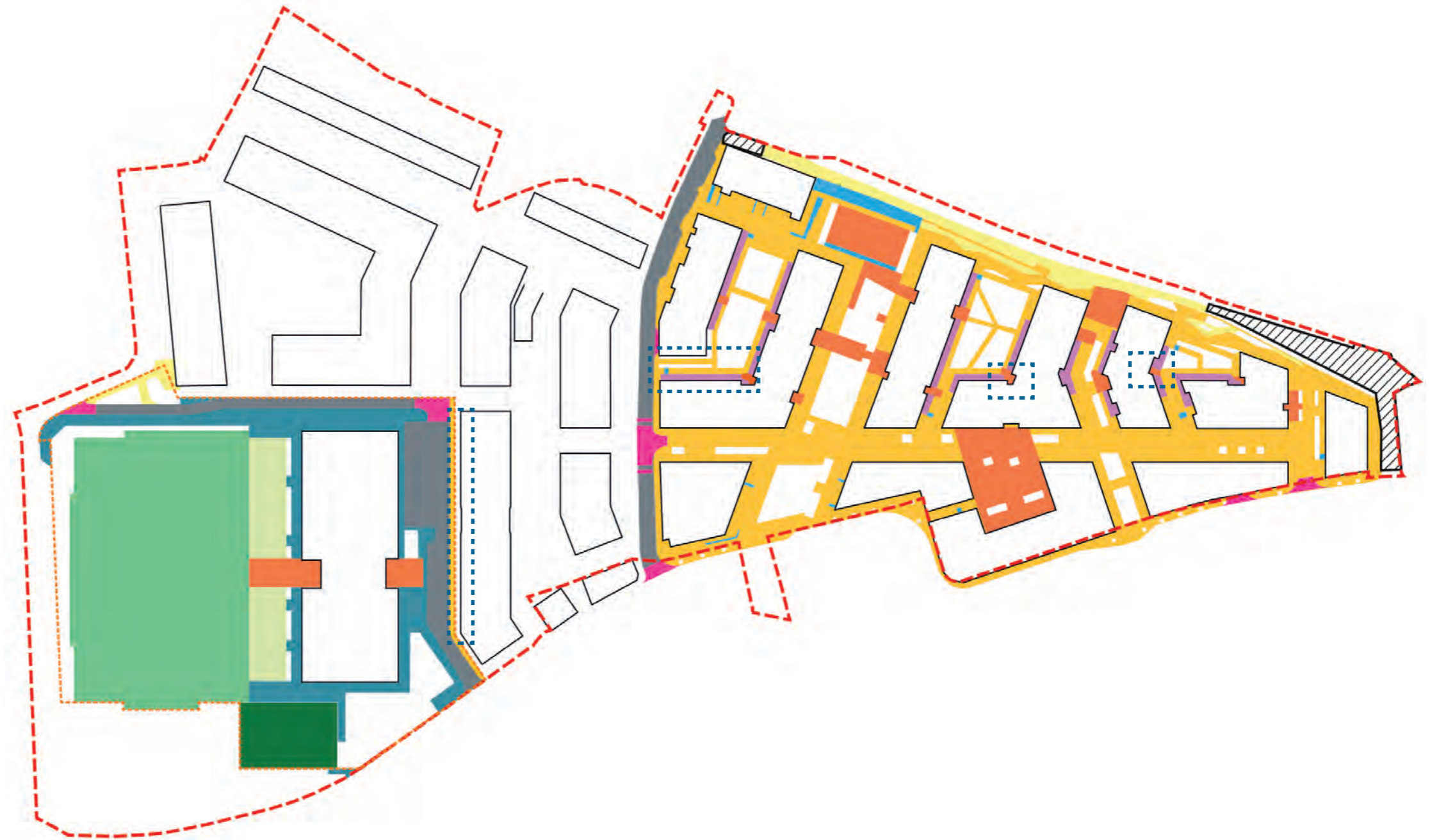


STAG BREWERY PLANNING ADDENDUM

HARD LANDSCAPE STRATEGY

Minor amendments were made to the extents of hardscape due to the introduction of entrances and the adjustment of layouts of private terraces.

Drawings P10736-00-004-GIL-0100 to 103, 106, 116 and 140 were updated to reflect these changes.



- Asphalt
- Resin Bound Aggregate Paving
- Ceramic Tiles (Private terrace)
- Stone Paving
- Small Block Setts
- Feature Stone Paving
- Pre-Cast Concrete Steps
- Existing Granite Setts to Retain
- Artificial Stone Flag Paving
- Site Application Boundary
- 3G Pitch material
- School Application Boundary
- Porous Macadam Surfacing (Dark green)
- Porous Macadam Surfacing (Light green)
- Amended area

STAG BREWERY PLANNING ADDENDUM

FURNITURE STRATEGY

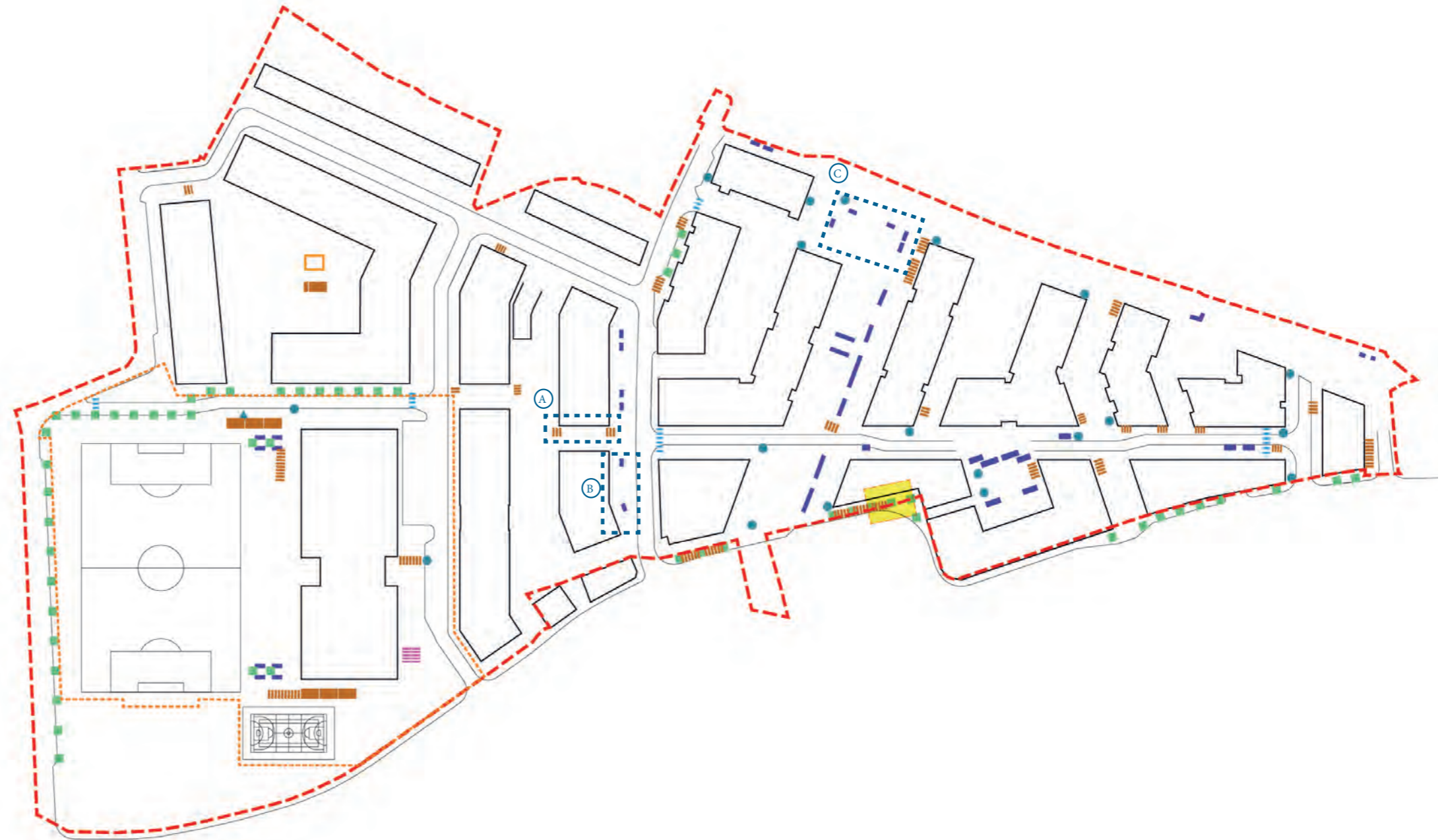
The location of the cycle stands (A) was amended and 2 benches (B) were introduced to each side of the relocated play area to the south of the pocket park. Benches (No.5) were also added at Maltings Plaza (C). This brings the total number of benches to 31 - up from 25 at the Submitted Scheme.

Drawings P10736-00-004-GIL-0100 to 104, 122 and 140 were updated to reflect these changes.

Furniture Items	No. of items (inc. School) (March 2022)	No. of items (inc. School) (July 2022)
Benches	25	32
Tree pits	54	54
Bins	18	18
Bollards	21	21
Cycle Stands	183 (inc. cycle stands in bin and cycle store)	183 (inc. cycle stands in bin and cycle store)
Two-tier cycle rack shelter	7.2 modules	7.2 modules

Legend

- Concrete/timber benches
- Resin bound gravel tree pit
- Bins
- ||||| Bollards
- ||||| Cycle stands
- ||||| Cycle stands in bin & cycle store
- Two-tier cycle rack shelter
- Cycle hire scheme location
- Cycle store
- - - Site Application Boundary
- - - School Application Boundary
- ⊙ Amended area












STAG BREWERY PLANNING ADDENDUM

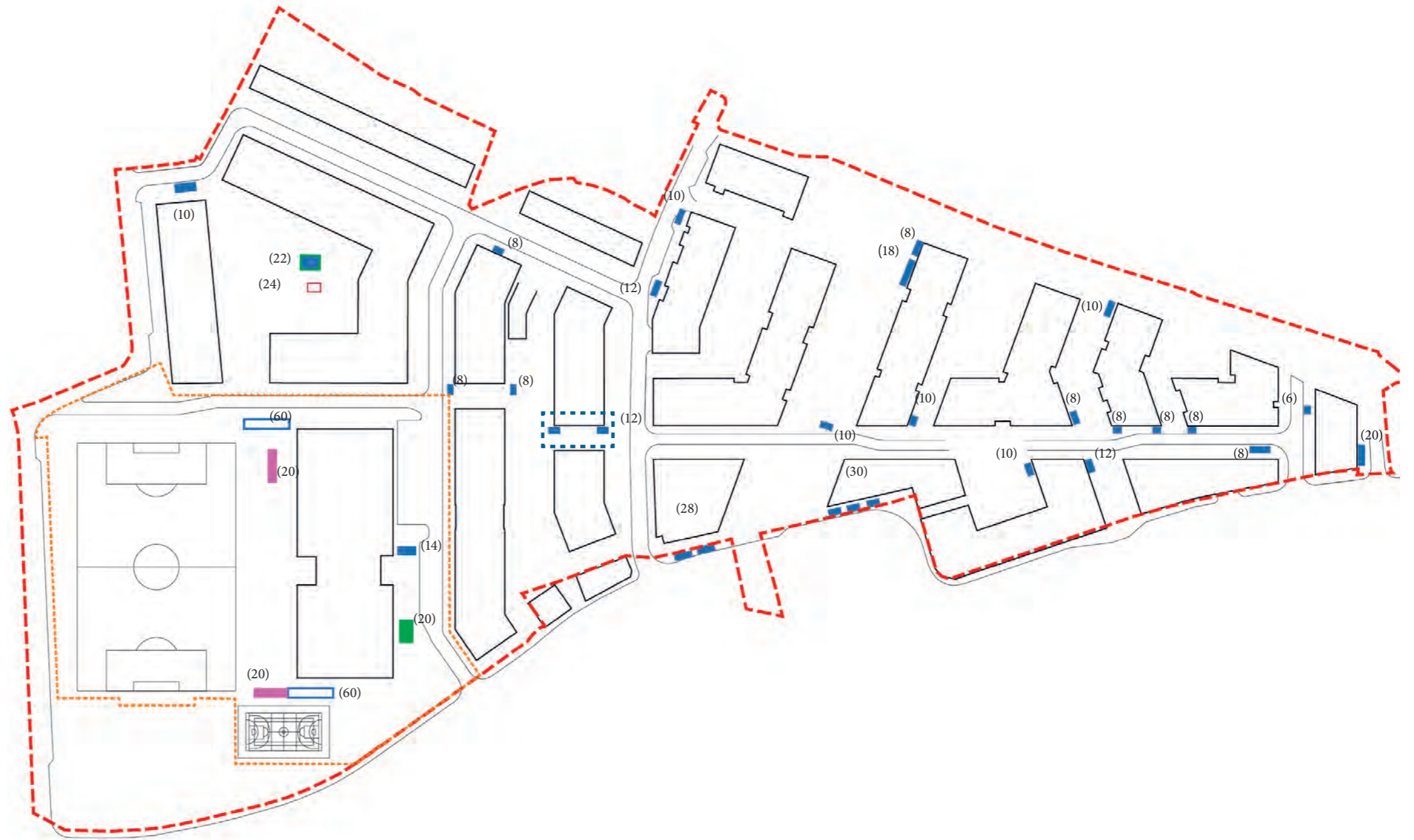
CYCLE PARKING STRATEGY

The cycle stands are relocated on the pedestrian street adjacent to the pocket park due to the introduction of private terraces along the east facade of Block 17.

Drawings P10736-00-004-GIL-0100 to 103, 120, 122, and 140 were updated to reflect this change.

Legend

-  Short stay parking - Sheffield stand
-  Long stay parking - Cycle rack shelter
-  Long stay parking - Two tier cycle store
-  Long stay parking - Sheffield stand (within school fence)
-  Long stay parking - Two tier cycle shelter (within school fence)
-  Long stay parking in locked bin and cycle store
-  Site Application Boundary
-  Amended area
-  Amended area



STAG BREWERY PLANNING ADDENDUM

TREE PLANTING

The ornamental trees at the west entrance to the courtyard of Blocks 2 and 3 were moved south due to change of the location of the sloped access and steps.

Drawings P10736-00-004-GIL-0100 to 103, 106 and 116 were updated to reflect this change.



Legend

- Specimen Trees - Mixed
(Clearstem: 2.5m | H:5-10m)
- Native Ornamentals - Mixed
(Clearstem: 2M | H:4-7M)
- Hardy Native Columnar Street Trees
(SM | Clearstem: 2.5m | H:5-7m)
- Courtyard Ornamentals
(SM | Clearstem: 2.5m | H:5-7m)
- Retained Trees
- Site Application Boundary
- School Application Boundary
- Amended area

< MORTLAKE HIGH ST
AUGMENTED TREES

< MORTLAKE GREEN
AUGMENTED TREES*

* GLOSSARY:
LIGHT STANDARD (LS)
STANDARD (S)
SELECT STANDARD (SS)
HEAVY STANDARD (HS)
EXTRA HEAVY STANDARD (EHS)
ADVANCED HEAVY STANDARD(AHS)
(SM)SEMI MATURE

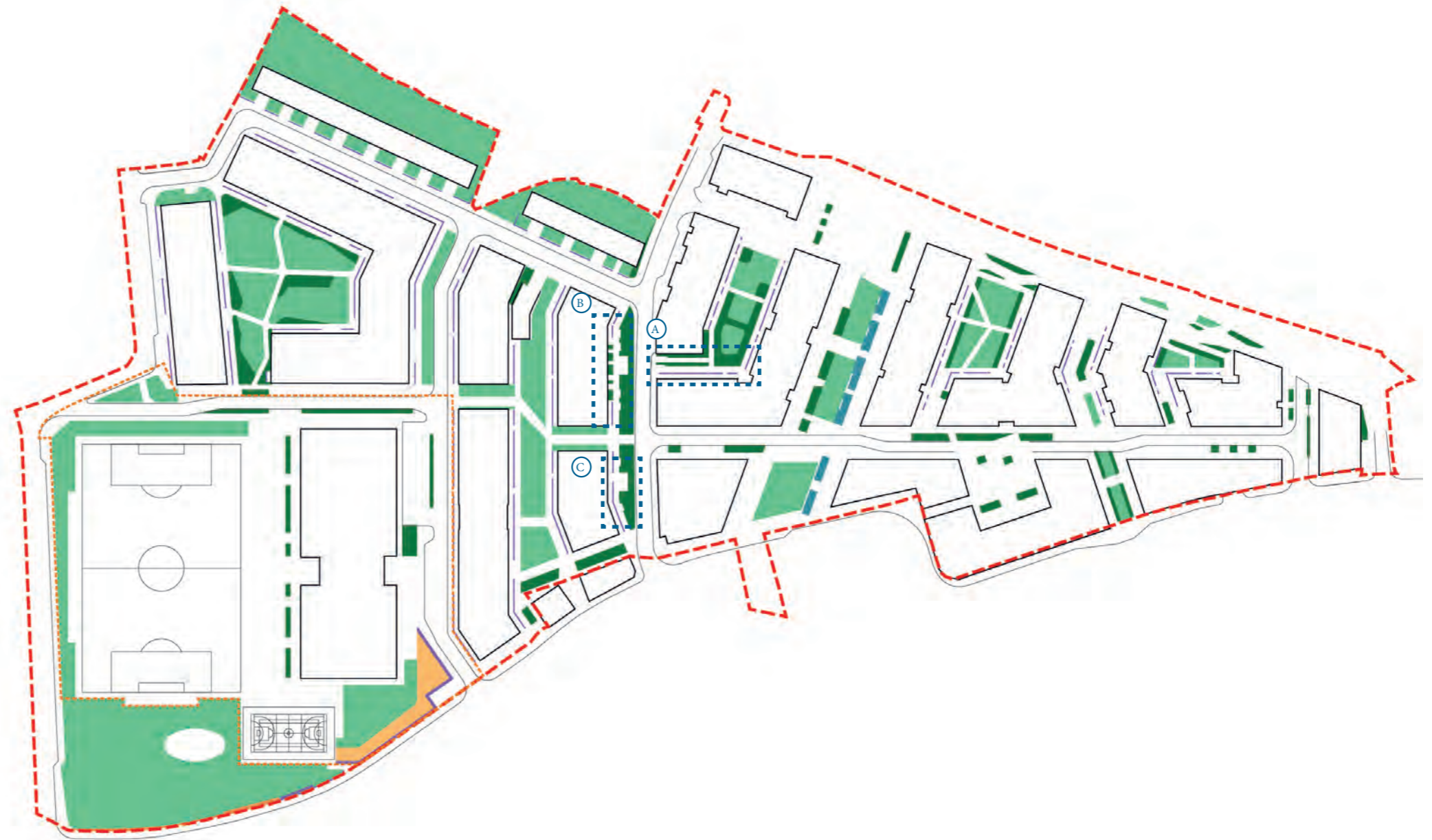
TREE PLANTING STRATEGY DIAGRAM

STAG BREWERY PLANNING ADDENDUM

SOFT LANDSCAPE STRATEGY

The planting zone along sloped access to courtyard between Blocks 2 and 3 (A) moved south. The extents of the pocket park green area were updated as a result of the introduction of private terraces and other greening (B) on the east facade of Block 17. This also resulted to the relocation of part of the play area to the south of the pocket park (C).

Drawings P10736-00-004-GIL-0100 to 103, 106, 116 and 140 were updated to reflect these changes



- Legend**
- Amenity grassland
 - Flower rich perennials
 - New Hedges
 - Existing Hedges
 - Meadow
 - Rain Gardens
 - - - Site Application Boundary
 - - - School Application Boundary
 - Amended area

STAG BREWERY PLANNING ADDENDUM

PLAY STRATEGY

The GLA Child Yield Calculation was updated to reflect changes to the unit mix.

In total there has been a reduction of 14 intermediate residential units / 29 habitable rooms:

- 9 of these units were in B10 which has been reduced to 6 storeys; and
- 5 of the units were at the ground floor in Development Area 2 due to adding extra escape corridors and moving the refuse stores up from the basement

The required play area for Development Area 1 was reduced to 2141.6sqm from 2166.0sqm, and for Development Area 2 it was reduced to 3313.0sqm from 3314.6sqm.

Development Area 1

	1 bed	2 bed	3 bed	4 bed
Market and Intermediate Units	112	290	140	7
Social Units	0	0	0	0

Total Units	549
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Geographic Aggregation	London
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PTAL	PTAL 0-2
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Yield from Development (persons)

	Market & Intermediate	Social	Total
Ages 0, 1, 2, 3 & 4	107.7	0.0	107.7
Ages 5, 6, 7, 8, 9, 10 & 11	73.6	0.0	73.6
Ages 12, 13, 14 & 15	21.5	0.0	21.5
Ages 16 & 17	11.4	0.0	11.4
18-64	974.9	0.0	974.9
65+	23.2	0.0	23.2
Total Yield	1212.3	0.0	1212.3

Play Space Calculator

Total Children	214.2
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	Benchmark (m ²)	Total play space (m ²)
Play space requirement	10	2141.6

Development Area 2

	1 bed	2 bed	3 bed	4 bed
Market and Intermediate Units	196	123	25	13
Social Units	12	63	84	6

Total Units	522
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Geographic Aggregation	London
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PTAL	PTAL 0-2
------	----------

Yield from Development (persons)

	Market & Intermediate	Social	Total
Ages 0, 1, 2, 3 & 4	50.5	92.3	142.7
Ages 5, 6, 7, 8, 9, 10 & 11	33.7	76.4	110.1
Ages 12, 13, 14 & 15	8.6	42.7	51.3
Ages 16 & 17	4.6	22.5	27.1
18-64	582.3	300.3	882.6
65+	13.9	6.9	20.8
Total Yield	693.7	541.0	1234.7

Play Space Calculator

Total Children	331.3
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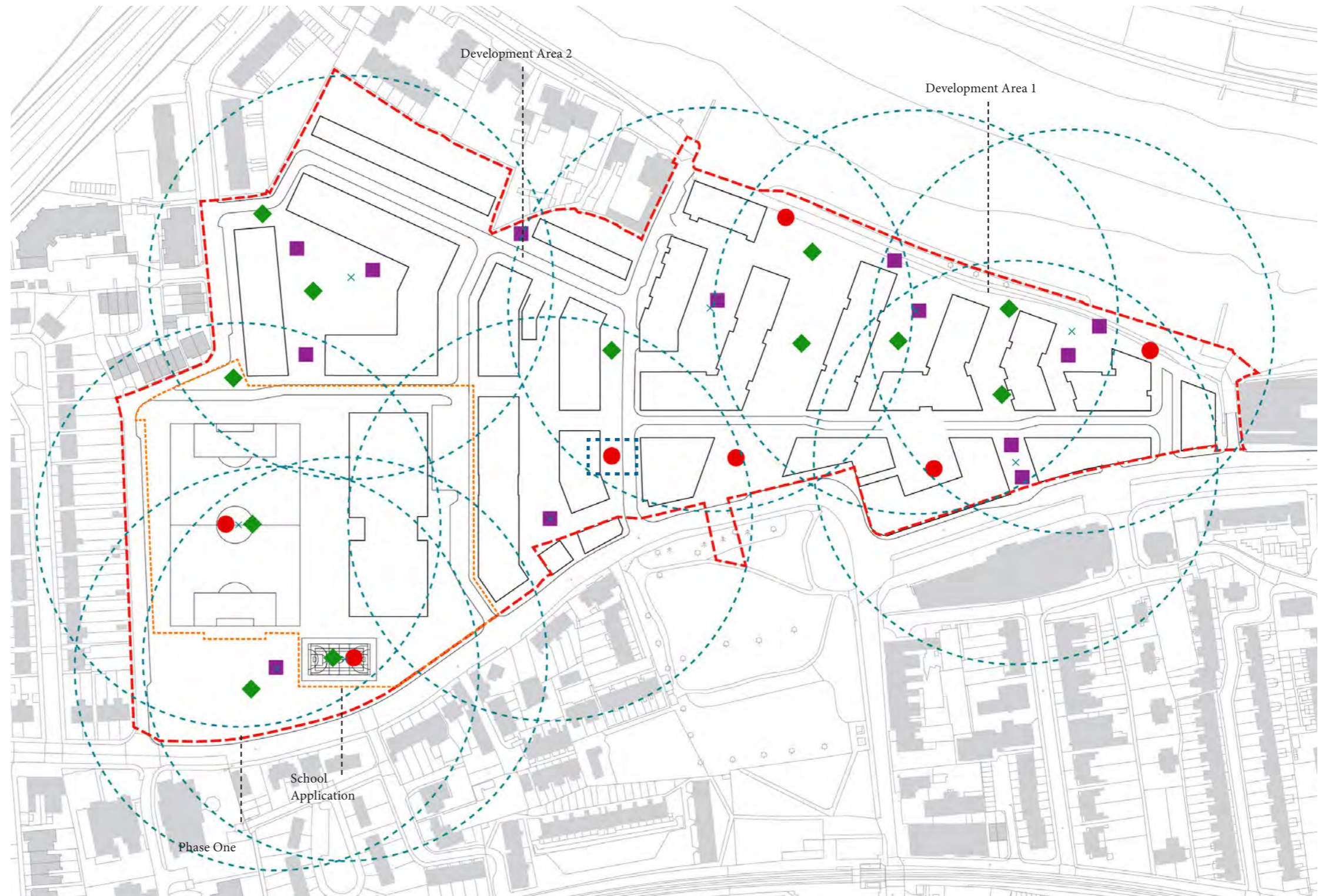
	Benchmark (m ²)	Total play space (m ²)
Play space requirement	10	3313.0

STAG BREWERY PLANNING ADDENDUM

PLAY STRATEGY

The play are for the 12+ age group was relocated to the south of the pocket park due to the introduction of private terraces at the east facade of Block 17.

Drawings P10736-00-004-GIL-0100 to 104, 120, 122, 123, 140, and 208 were updated to reflect this change.



PLAY FACILITIES DISTRIBUTION (BY AGE GROUP)

STAG BREWERY PLANNING ADDENDUM

PLAY STRATEGY

The GLA Child Yield Calculation was updated to reflect changes to the unit mix, which came as a result of the introduction of refuse stores to the ground floors of Blocks 2,7,8,11,13,15 and 17. There has also been a loss of residential units due to the removal of a typical floor to Block 10.

Additionally the play space for the 12+ age group moved to the south of for the pocket park along Ship Lane. (A)

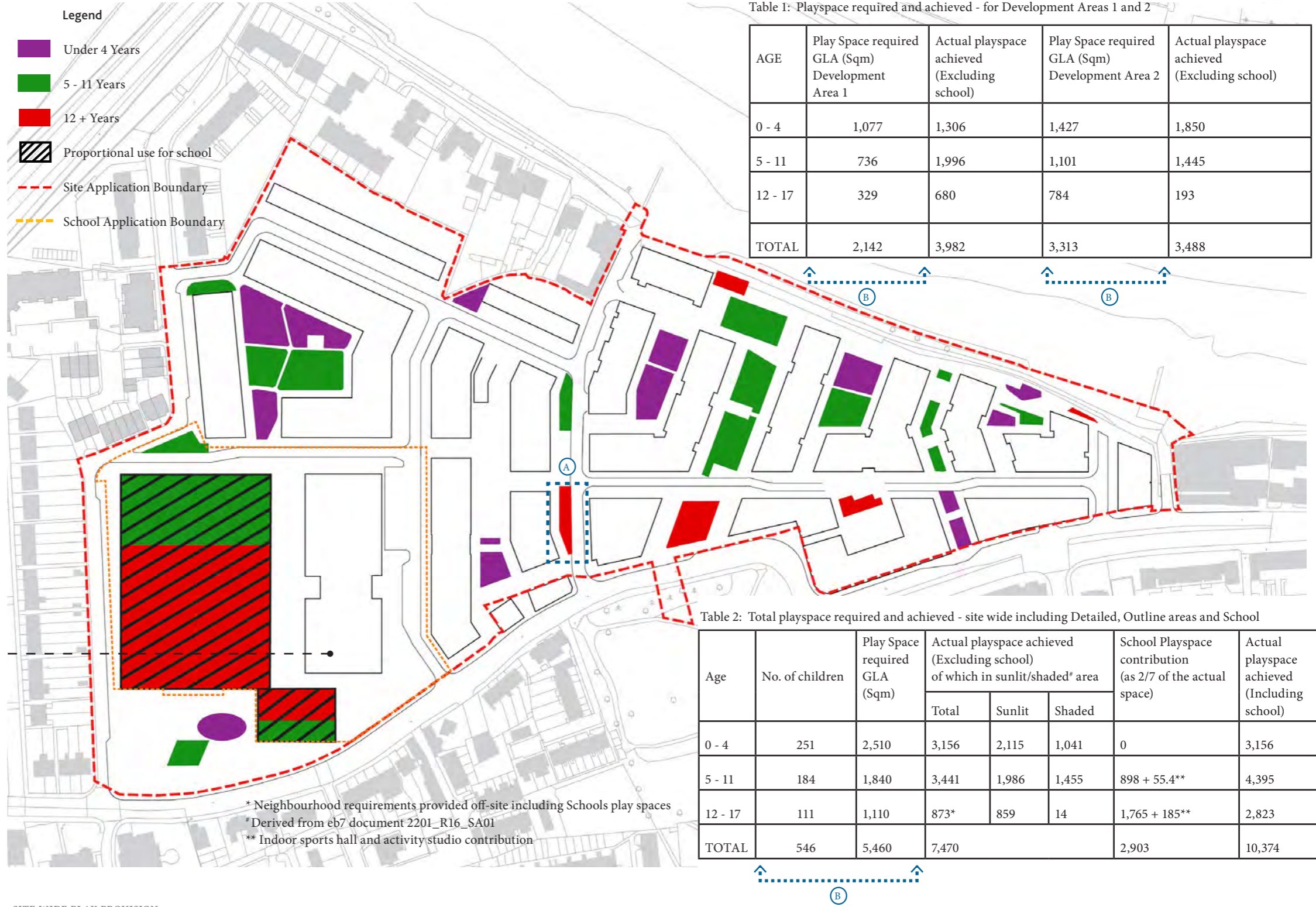
The required play area for Development Area 1 was reduced to 2141.6sqm from 2166.0sqm, and for Development Area 2 it was reduced to 3313.0sqm from 3314.6sqm. (B)

Although the required play space provision level has reduced on site as a result of the reduction in residential units, the proposed sqm of play are maintained as per the submitted scheme (March 2022). Therefore there is an increased overprovision of playspace across the scheme.

Drawings P10736-00-004-GIL-0100 to 104, 120, 122, 123, 140, and 208 were updated to reflect these changes



INDOOR SCHOOL SPORTS HALL /ACTIVITY STUDIO



SITE WIDE PLAY PROVISION

Table 1: Playspace required and achieved - for Development Areas 1 and 2

AGE	Play Space required GLA (Sqm) Development Area 1	Actual playspace achieved (Excluding school)	Play Space required GLA (Sqm) Development Area 2	Actual playspace achieved (Excluding school)
0 - 4	1,077	1,306	1,427	1,850
5 - 11	736	1,996	1,101	1,445
12 - 17	329	680	784	193
TOTAL	2,142	3,982	3,313	3,488

Table 2: Total playspace required and achieved - site wide including Detailed, Outline areas and School

Age	No. of children	Play Space required GLA (Sqm)	Actual playspace achieved (Excluding school) of which in sunlit/shaded* area			School Playspace contribution (as 2/7 of the actual space)	Actual playspace achieved (Including school)
			Total	Sunlit	Shaded		
0 - 4	251	2,510	3,156	2,115	1,041	0	3,156
5 - 11	184	1,840	3,441	1,986	1,455	898 + 55.4**	4,395
12 - 17	111	1,110	873*	859	14	1,765 + 185**	2,823
TOTAL	546	5,460	7,470			2,903	10,374

* Neighbourhood requirements provided off-site including Schools play spaces
 * Derived from eb7 document 2201_R16_SA01
 ** Indoor sports hall and activity studio contribution

Amended area / calculation





STAG BREWERY PLANNING ADDENDUM

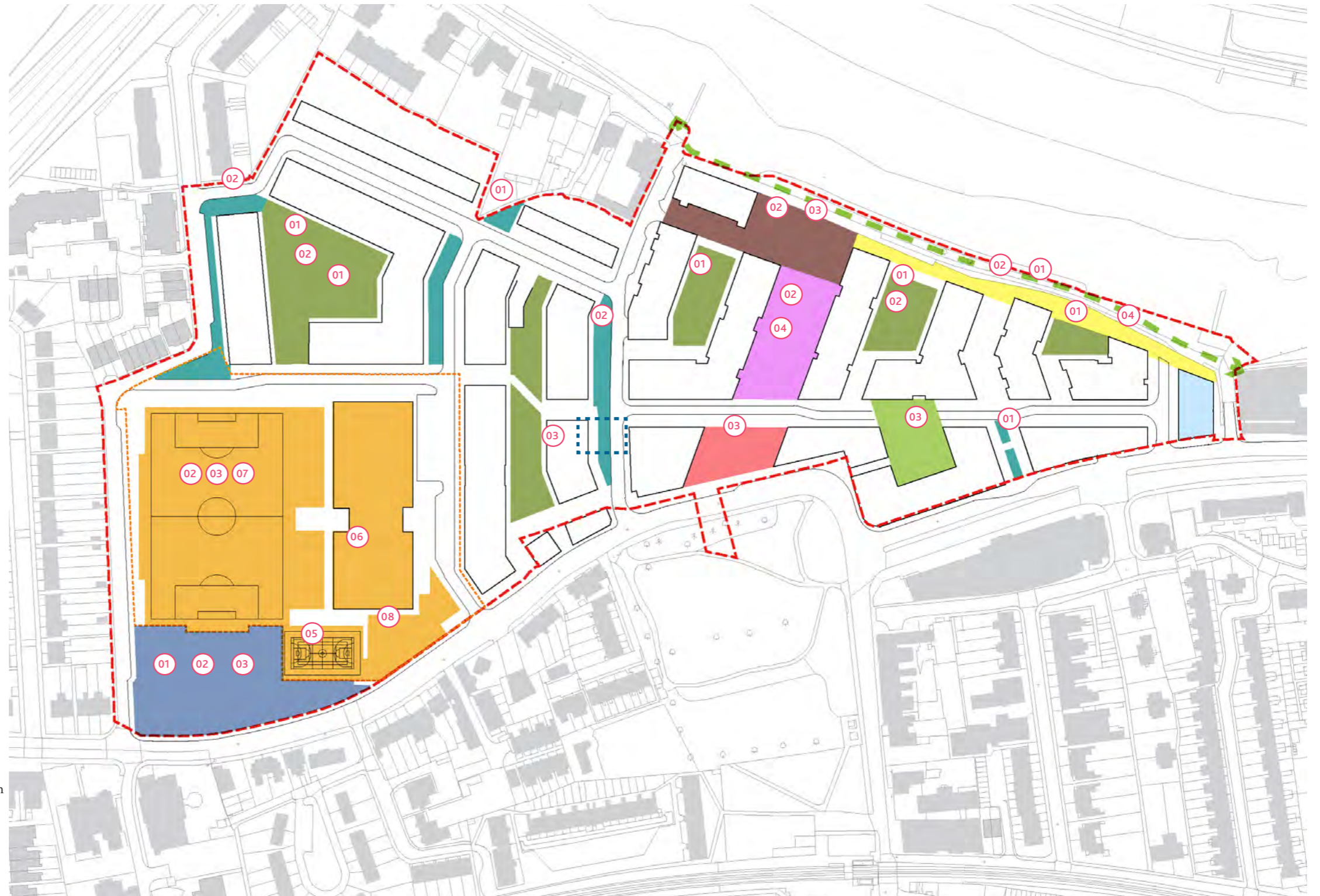
PLAY STRATEGY - SITE-WIDE APPROACH

The play space for the 12+ age group moved to the south of for the pocket park along Ship Lane.

Drawings P10736-00-004-GIL-0100 to 104, 120, 122, 123, 140, and 208 were updated to reflect this change.

Legend

	Residential Courtyards		Door Step Play
	Entry Plaza		Play Facilities (5-11Yrs)
	Green Link		Play Facilities (12+Yrs)
	Maltings Plaza		'Play on the Way'
	Bottleworks Square		MUGA
	Riverside Terrace		Indoor MUGA
	Linear Open Space / Pocket Park		Outdoor multi-use sports pitch
	School Facilities		Habitat Area
	Pocket Park		
	Rowing Club		
	Towpath		
	Site Application Boundary		
	School Application Boundary		
	Amended area		



STAG BREWERY PLANNING ADDENDUM

PLAY STRATEGY PLAN


The pedestrian sloped access between Blocks 2 and 3 was relocated further north (A) and the steps (B) were moved south to create a level approach in front of the new entrance the north facade of Block 2 (C).

Drawings P10736-00-004-GIL-0100 to 103, 106, 116 and 140 were updated to reflect these changes.

DOORSTEP PLAY FACILITIES FOR RESIDENTIAL COURTYARDS



LOCATION PLAN

 Amended area

STAG BREWERY PLANNING ADDENDUM

SUSTAINABLE URBAN DRAINAGE






The planting zone along the sloped pedestrian access to the courtyard between Blocks 2 and 3 was relocated due to the change of the location of the sloped access leading from Ship Lane to the courtyards.

The sloped pedestrian access had to be moved north to provide, a level landing for the entrance added to the north elevation of Block 2.

Drawings P10736-00-004-GIL-0100 to 103, 106, 116 and 140 were updated to reflect this change.



Legend

-  Rain Garden
-  Planter
-  Permeable Paving
-  Site Application Boundary
-  School Application Boundary

 Amended area

STAG BREWERY PLANNING ADDENDUM

URBAN GREENING FACTOR - OVERVIEW

The introduction of more hedge planting and amenity greening along the building edges counter balances the slight reduction of planted area to the pocket park, resulting at a negligible difference to the UGF (<0.01). Hence the UGF is considered to remain the same as per the submitted scheme (March 2022).

Urban Greening Factor Calculator - Site Wide				
Surface Cover Type	Factor	Area (m ²)	Contribution	Notes
Semi-natural vegetation (e.g. trees, woodland, species-rich grassland) maintained or established on site.	1	417	417	
Wetland or open water (semi-natural; not chlorinated) maintained or established on site.	1		0	
Intensive green roof or vegetation over structure. Substrate minimum settled depth of 150mm.	0.8	7975	6380	
Standard trees planted in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree.	0.8	12723	10178.4	
Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) – meets the requirements of GRO Code 2014.	0.7	797	557.9	
Flower-rich perennial planting.	0.7	2190	1533	
Rain gardens and other vegetated sustainable drainage elements.	0.7	62	43.4	
Hedges (line of mature shrubs one or two shrubs wide).	0.6	557	334.2	
Standard trees planted in pits with soil volumes less than two thirds of the projected canopy area of the mature tree.	0.6	1998	1198.8	
Green wall –modular system or climbers rooted in soil.	0.6		0	
Groundcover planting.	0.5		0	
Amenity grassland (species-poor, regularly mown lawn).	0.4	12438	4975.2	
Extensive green roof of sedum mat or other lightweight systems that do not meet GRO Code 2014.	0.3		0	
Water features (chlorinated) or unplanted detention basins.	0.2	58	11.6	
Permeable paving.	0.1	9073	907.3	
Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone).	0	58962	0	
Total contribution			26536.8	
Total site area (m²)				92464
Urban Greening Factor				0.28699602

STAG BREWERY PLANNING ADDENDUM

MALTINGS PLAZA LOOKING SOUTH - ILLUSTRATIVE VIEW

The view was updated as a response to the Consultee responses received in May 2022, (p.2, Landscape Masterplan/DAS/ 's').

The updated Maltings Plaza view shows the desired height of the planting, extra benches on the plaza itself and lighting columns that are both functional and discreet, responding to their sensitive location next to the historic Maltings building.



STAG BREWERY PLANNING ADDENDUM

MALTINGS PLAZA

The plan was updated as a response to the Consultee responses received in May 2022, (p.2, Landscape Masterplan/DAS/ 's'), and benches were added in 4 locations.

P10736-00-004-GIL-0100 to 104, 106 and 116 were updated to reflect this change.



- ① Maltings building
- ② Lower plaza to heritage building
- ③ Graded shared surface (max 1:21)
- ④ Water Feature - Boat Race pop jets
- ⑤ Maltings Plaza: paved function / play space
- ⑥ Broad steps (informal seating)
- ⑦ Steps and graded access to Towpath
- ⑧ Towpath
- ⑨ Green Link
- ⑩ Outdoor dining
- ⑪ Residential courtyard garden
- ⑫ Cycle racks
- ⑬ Shared surface

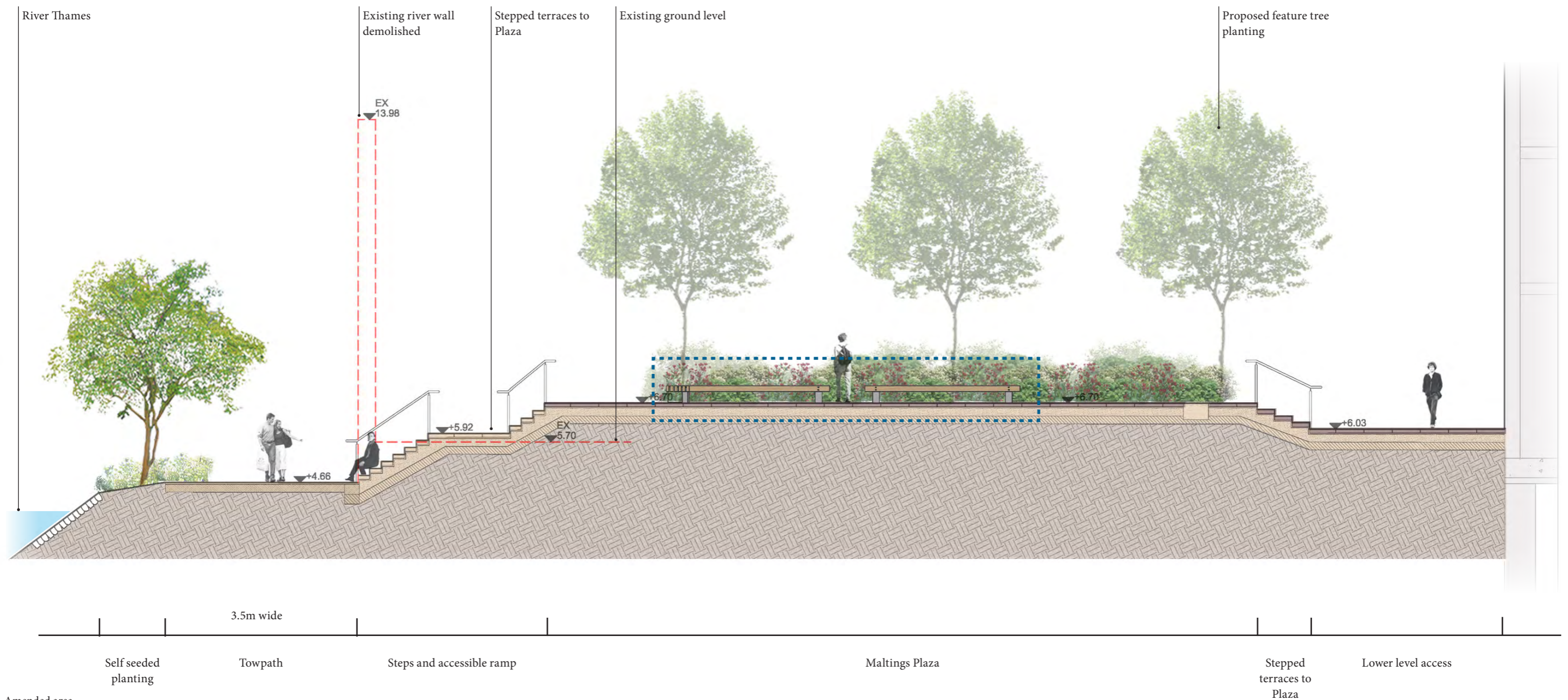
⊙ Amended area

STAG BREWERY PLANNING ADDENDUM

MALTINGS PLAZA - SECTION

The plan was updated as a response to the Consultee responses received in May 2022, (p.2, Landscape Masterplan/DAS/ 's'), and benches were added in 4 locations.

Drawing P10736-00-004-GIL-0205 was updated to reflect this change.



STAG BREWERY PLANNING ADDENDUM

SHIP LANE UPGRADE

The introduction of private terraces along the east facade of Block 17 meant the slight reduction of the green area of the pocket park and the addition of hedging and amenity planting immediately adjacent to Block 17.

Drawings P10736-00-004-GIL-0100 to 103, 106, 116 and 140 were updated to reflect these changes.

- ① Temporary planting
- ② Existing London Plane trees retained
- ③ On-street parking & Footway enhancements
- ④ New crossing for cycles
- ⑤ Thames Street
- ⑥ Existing Towpath
- ⑦ Pedestrian entrance to residential courtyard
- ⑧ Access to Maltings Plaza
- ⑨ Temporary gravel footpath
- ⑩ Public amenity space integrated with play elements and seating



⊙ Amended area



ZOOM PLAN - SHIP LANE (INTERIM)



ZOOM PLAN - SHIP LANE (FINAL)

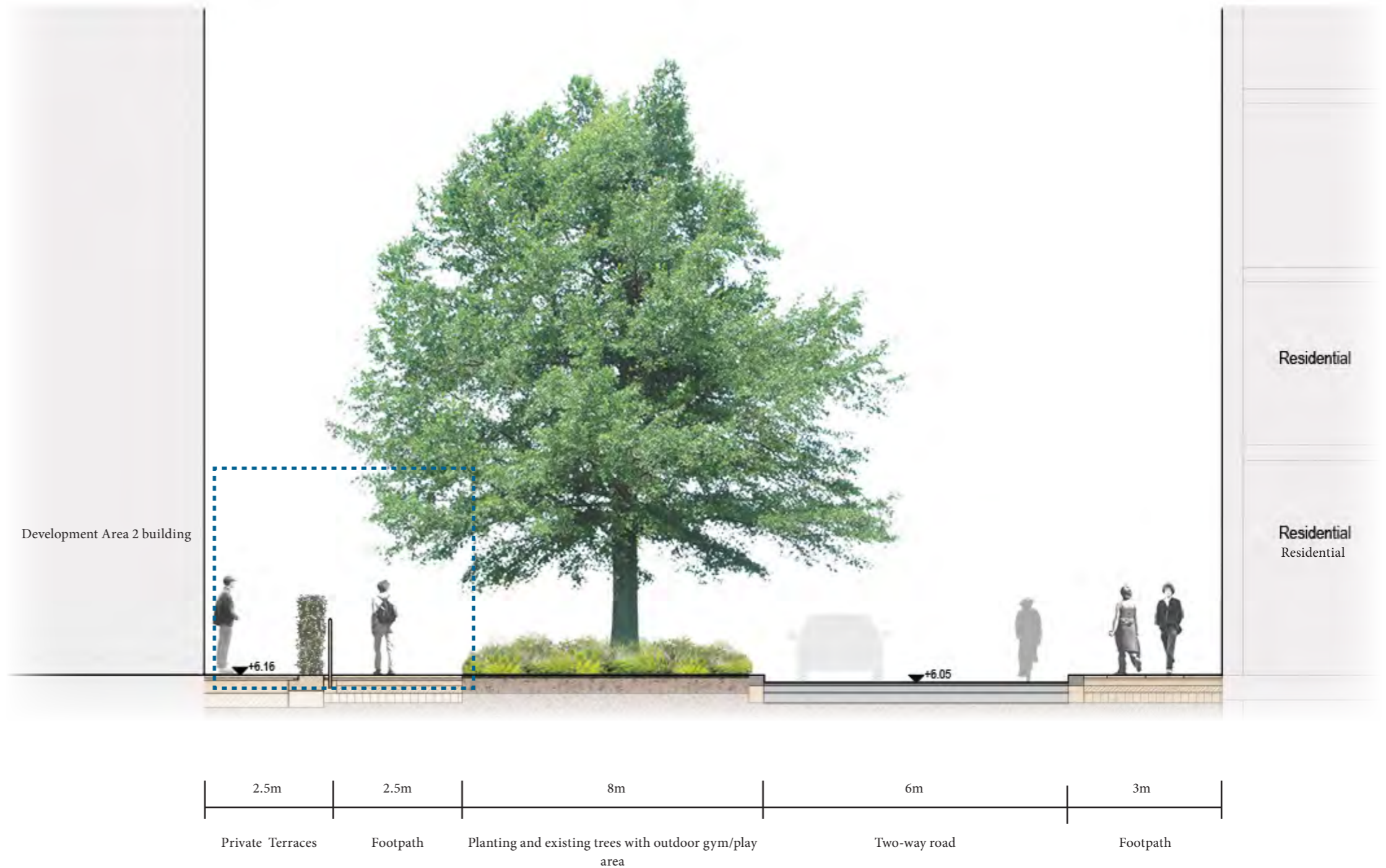
STAG BREWERY PLANNING ADDENDUM

SHIP LANE UPGRADE

The introduction of private terraces along the east facade of Block 17 meant the slight reduction of the green area of the pocket park and the addition of hedging and amenity planting immediately adjacent to Block 17.

Drawings P10736-00-004-GIL-0208 was updated to reflect this change.

Section AA - 20m

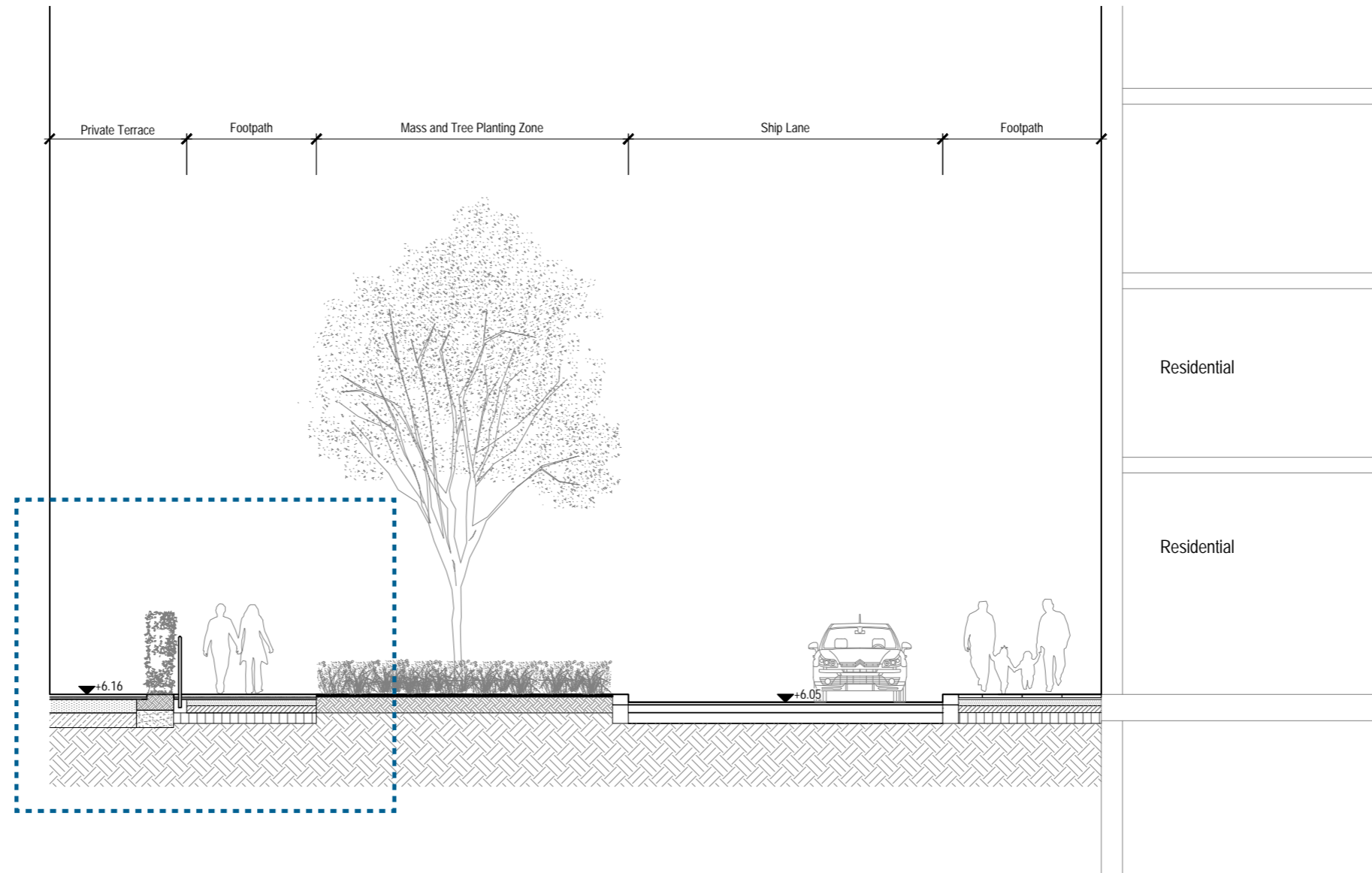


 Amended area

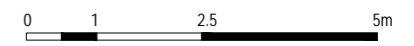
STAG BREWERY PLANNING ADDENDUM

SHIP LANE NORTH - SECTION

 Amended area



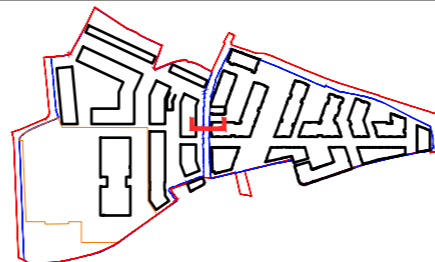
Residential
Residential



rev	details	by	date
P00	Issue for Planning Submission	TH	24.01.2022
P01	Issue for Planning Addendum	AG	22.07.2022

Notes

- 1.0 All dimensions in millimeters.
- 1.2 Use only dimensions shown.



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STAG BREWERY

Drawing
Proposed Ship Lane
Section 1

Drawing number
P10736-00-004-GIL-0208

Revision
P01

drawing status
PLANNING

Date
24.01.2022

Scale
1:100 @ A3

Drawn
AG

Checked
JG

Client

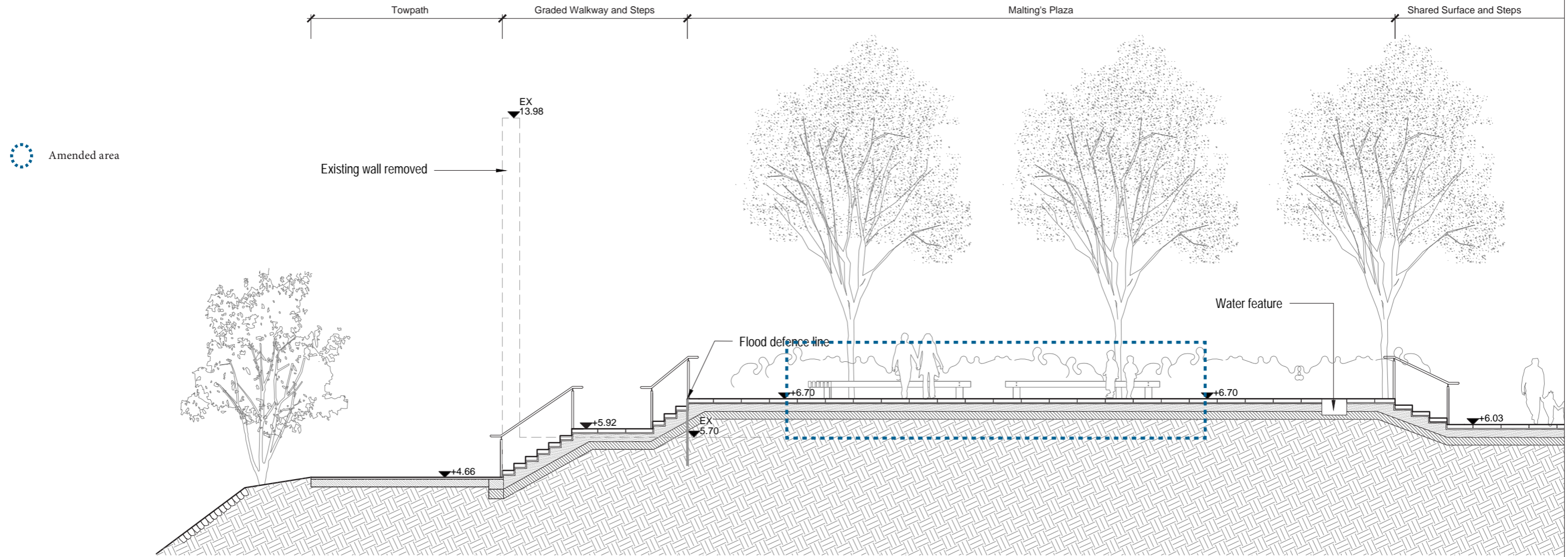
DARTMOUTH CAPITAL
Alameda House, 90-100 Sydney Street, London SW3 6NJ
P: 0207 629 0239

GILLESPIES

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P 0207 2532929 E design.london@gillespies.co.uk

STAG BREWERY PLANNING ADDENDUM

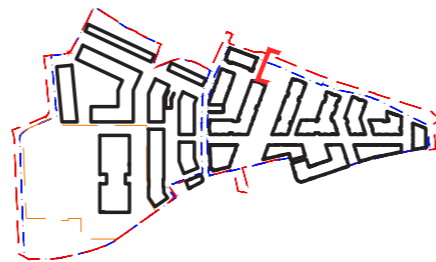
MALTINGS PLAZA - SECTION



rev	details	by	date
P00	Issue for Planning Submission	TH	24.01.2022
P01	Issue for Planning Addendum	AG	22.07.2022

Notes

- 1.0 All dimensions in millimeters.
- 1.2 Use only dimensions shown.



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STAG BREWERY

Drawing
Proposed Maltings Plaza Section

Drawing number
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STAG BREWERY PLANNING ADDENDUM

CONCLUSION

The landscape Design and Access Statement addendum described in detail the amendments undertaken as a response to recommendations and comments received as part of the consultation period for the two submitted linked planning applications (March 2022) for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake, within the London Borough of Richmond upon Thames. Application A (ref: 22/0900/OUT) for the masterplan redevelopment and Application B (ref: 22/0902/FUL) for the school.

Comments and queries received as part of the LBRuT Internal Consultee responses and the HSE Gateway 1 Substantive Response were addressed, either through design amendments or operational and strategic adjustments.

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