

4.10 Visual Impact Assessment

The proposals have been tested from seven key views to ensure they have a positive impact where they are visible has been continuously tested. The scale and massing of the proposed development as it has evolved to ensure it fits comfortably into the surroundings. These views were agreed with Richmond Council and none are designated as protected views in the Local Plan.

The following key design features ensure the scheme has a positive impact on the tested key views:

- Use of a varied roofscape with different height buildings
- Maximum of five storeys - similar to the recently approved Lockthorp House immediately adjacent to the site
- A varied material palette inspired by the surrounding context, ensuring the buildings do not merge together as a single mass
- Domestic scale fenestration and detailing

The following key views have been tested and are included in the Visual Impact Assessment, which has been submitted in support of this application:

1. Twickenham Green's southern corner, adjacent to the cricket pavilion, looking north
2. Southern pavement of the junction between Warwick Road and Edwin Road, looking north west
3. Western pavement of the junction between Crane Road and Edwin Road, looking north
4. South western pavement of the junction between Gould Road and May Road, looking east
5. Kneller Gardens western corner, looking east
6. Craneford Way Recreational Ground eastern side (to the south of the play ground) looking south west
7. Footbridge crossing the railway, looking south west



1. Twickenham Green's southern corner, adjacent to the cricket pavilion, looking north



4. South western pavement of the junction between Gould Road and May Road, looking east



2. Southern pavement of the junction between Warwick Road and Edwin Road, looking north west



5. Kneller Gardens western corner, looking east



3. Western pavement of the junction between Crane Road and Edwin Road, looking north



6. Craneford Way Recreational Ground eastern side (to the south of the play ground) looking south west





7. Footbridge crossing the railway, looking south west

4.11 Appearance & materials

The proposed material palette has evolved through detailed analysis of the surrounding streets, whilst also referencing the site's history as an industrial use. The appearance has been tested, refined and interrogated throughout the design process, through pre-application discussions with the London Borough of Richmond Upon Thames, a Design Review Panel and discussions with the Townscape Consultant.

The selected materials fit comfortably within the existing context and will provide character and a sense of place, whilst also giving the impression that the development has emerged over time and has been personalised, much like the neighbouring streets.

The general approach to the appearance is as follows:

- Contrast between different buildings breaking down large massing
- Clear identification and variety of different houses along the street
- Elegance of the architecture responding to local context
- Façades and set-backs responding to the light by creating shadows
- References site's historical former industrial use
- A series of cohesive details

Robust, natural and hard wearing materials have been selected to create a high-quality material palette. The overriding material is brick, which is a traditional and local material that ages gracefully and requires little maintenance. Variations of the colour and mix will be used to give variety and interest within the development itself and break down the massing.

Metal and stone detailing along the terraces provide further variety and references to the site's industrial past.

A charred timber effect or similar material clearly defines the buildings as a distinct group, whilst adding visual interest and a rhythm to the façades.

The existing house is to be refurbished and retained in its current form.

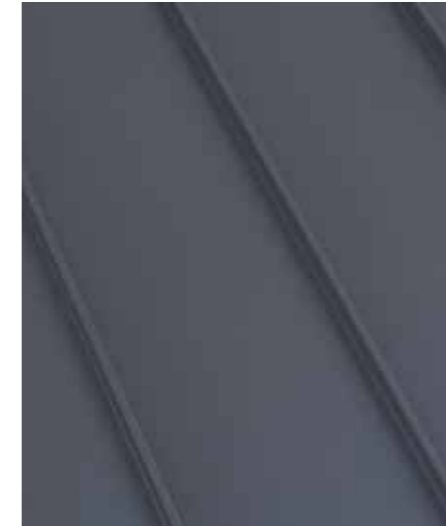
The industrial building responds to the functionality of the space and the local industrial spaces opposite the site, utilising white painted brick and seamed metal.



2. London stock brick



Precedent Image - Aperture house



5. Dark grey standing seam metal roof and dark grey metal detailing



Precedent Image - A24_poussé



3. Brown brick



Precedent Image - Elephant Castle



6. Black charred timber effect cladding or similar



Precedent Image - Hunsett Mill



1. Pink buff brick



Precedent Image - The Cloisters



4. Dark red brick



Precedent Image - Dujardin Mews



7. White painted brick



Precedent Image - Chelsea townhouse

Local precedent photos



London stock



Brown buff brick



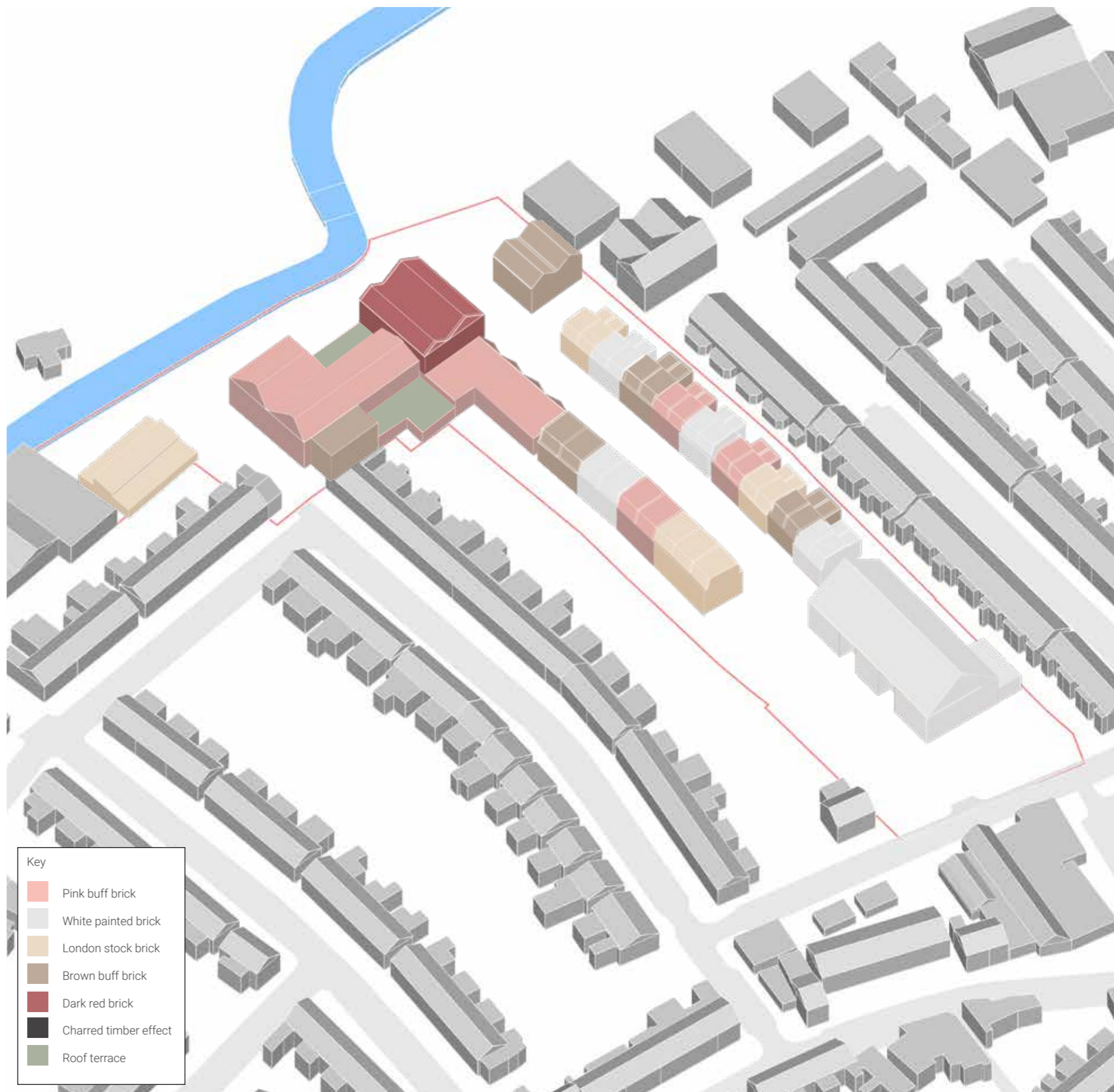
Pink buff brick



White painted brick



White painted brick with black plinth



Site material palette diagram

4.12 Architectural approach - Industrial building

The Edwin Road entrance area responds to the surrounding streetscape and mimics the previous forms of the industrial units on the site. A new boundary wall and fence provides security and completes the streetfront.

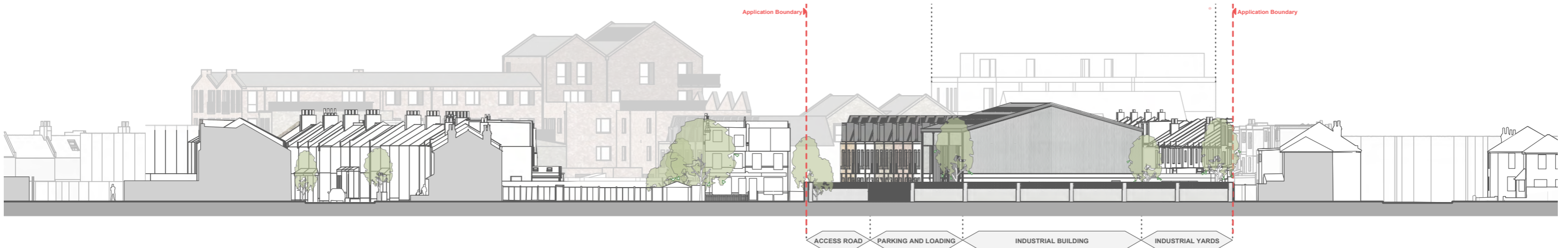
The pitched roof form provides a standard industrial approach, giving clear legibility of its use to passers-by. White painted brick and metal cladding references the existing industrial buildings opposite the site, creating a family of industrial buildings around the entrance. Functional windows, rooflights and loading doors provide access and natural light to the interior spaces. These are set out in a consistent rhythm along the façade.



Industrial buildings opposite include grey metal cladding and white painted brickwork



View west along Edwin Road



Edwin Road elevation



4.13 Architectural approach - Mews

The mews street provides a shared vehicle and pedestrian route through the site. Inspired by residential streets in the area, it looks to reinterpret these for the 21st century. The design has been informed by the site footprint and context and a shared surface approach to the public realm, resulting in a shared space for walking, cycling and driving.

4.13.1 Western terraced houses

The western terraced houses are made up of three townhouse types, all of which have integrated garages and front doors directly off the street. All of these houses have been designed to be Approved Document M4(2) compliant. Garages are oversized to accommodate the majority of vehicles, as well as to provide secure cycle storage. The garage doors incorporate high level windows, providing natural light whilst maintaining security.

Each front door is recessed, providing privacy and a cover from the elements on approach. Each of these recesses would be provided with a PIR light to provide visibility, comfort and security. A space for meters and/or a wheelie bin is also accommodated within this recess. A built-in planter and a change in ground floor material provides a sense of defensible space, clearly delineating the vehicular route.

For each of these three house types, the ground floor accommodates a hallway, WC and a kitchen / dining room that opens out onto a private rear garden. On the first floor is a large living area, family bathroom, and either a double bedroom and single bedroom, or a master bedroom and en suite. Within the mansard roof level, two further double bedrooms and a bathroom are provided.

Architectural details

The architectural design of the houses is based on a traditional vernacular of London houses, specifically using a form and type common throughout London and Twickenham. Different brick colours provide a playfulness when viewing the mews down the street, giving a similar feel to the local context. A recess accommodates a rainwater pipe between each house, making the boundary of each house clearly legible.

All houses are provided with large windows, a chamfered metal dormer, a Juliette balcony on the main bedroom, as well as window boxes to encourage planting and personalisation.

Further interest is provided through variation in detailing such as stone and steel lintels and Juliette balcony types. Modern detailing in the form of soldier courses, standing seam metal roofs and metal windows ensures these buildings will look contemporary whilst being respectful of the local context.



Sketch render front of west terrace



Typical west terrace elevation

4.13.2 Eastern terrace

The eastern terrace is made up of two house types. These houses are narrower but deeper than the west terrace. The plan is based on a typical Victorian terraced house, with an L-shaped plan at first floor. This allows light to reach into the centre of the plan and creates side elevations for windows. This, in turn, avoids overlooking to the rear of the Norcutt Road houses, as outlined earlier in this document.

The most common house type is a three bedroom family home. The other is slightly wider and accommodates an M4 (3b) accessible house type complete with allowance for a lift. All of the houses on the east terrace have a parking space on the driveway and external bin and bike stores. Providing clear definitions of ownership and an opportunity for planting and personalisation.

The houses are mirrored and in pairs, providing clear and legible entrances and encouraging neighbourliness through the proximity of their entrances. This mirroring is clearly identifiable through the change in materials between each pair of houses.

As with the west terrace, each house has a recessed entrance which provides privacy, cover from the elements, and a small store for gas and electricity meters. Each of these entrance recesses would be provided with a PIR light to provide visibility, comfort and security.

Architectural details

Similar in style and using the same palette of brickwork as the east terrace, these houses are designed to be in keeping with those in the local area. More vertical style windows and a juliette balcony provide generously-lit internal spaces. The wider accessible house type features stone lintels above the windows, whilst the other house type features a more modern soldier course. A dormer and rooflight provide light to the upper levels as well as visual interest at roof level.

The houses are not positioned in a single horizontal plane, but are set in and out to avoid monotony. This is further emphasised by the changes in brick finish.



Sketch render front of east terraced houses



Typical east terraced houses elevation

