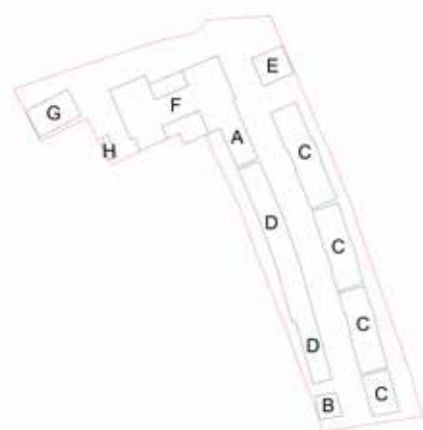


4.13.3 Architectural approach - Riverside

The riverside zone is populated by a collection of apartment Buildings (A, E, F), and a terrace of four houses (Building G) benefiting from the riverside setting and views over the recreation ground opposite. The design of the buildings has been developed so they appear as a group of elements built over time. This is further enhanced through the architectural language and material choices, intending to make reference to the site's industrial past.

The buildings are set-back from the river edge to provide a new riverwalk and a minimum 8m maintenance access for the Environmental Agency. This also reduces the impact and visibility of the massing from views across the river, particularly as the tallest massing (five storeys in Building F is set-back 13m from the River Crane). The architecture of the buildings has taken inspiration from industrial and wharf style buildings, with regular façades and varying roofscapes.

As part of the design process, the roof profile and material of part of Building F was revised to improve its relationship within the existing context, including reducing the parapet and roof terrace extent at the junction of Gould Road and Crane Road and amending the treatment of fourth floor material and roof profile to reduce visual impact from the street whilst retaining the lantern profile to best respond to existing buildings on the site and the local character.



Building label key

Massing diagram showing the buildings that make up the riverside zone



Proposed north elevation in context

4.13.4 Building E

This three storey apartment building is located to the east of the site adjacent to the approved application of Lockcorp House. All of the apartments in Building E are dual aspect and benefit from river views as the building has been orientated north-south, avoiding overlooking across the site boundary. The elevations have been split in two, with windows being paired and two equal pitched roofs, providing symmetry to the form.

A regular gridded window pattern and charred timber effect or similar cladding links the building aesthetically to the other buildings in the riverside zone.

4.13.5 Building G (house type 8)

A terrace of four identical houses make up the final building in the riverside zone. These are small two bedroom houses that face the River Crane. They have been designed to minimise the impact on the houses along Gould Road which will have views towards them. Accordingly, there are no windows facing south towards the Gould Road houses, other than at ground floor where they open onto a walled garden. Instead, the roof pitch is angled, providing a high ceiling with rooflights in the main living area, and stepping up to accommodate a master bedroom with dormer window overlooking the River Crane.

Building G was reduced in height from three storeys to the proposed height during the design development process in response to consultation feedback.



Building E north elevation showing relationship to building F and the adjacent scheme to the east



Key



Visualisation of the north elevation of building G

4.13.6 Building F

The four storey element of Building F is a pitched roof with a lantern profile in the gable. The lantern profile is inspired by the lantern roof on the existing Greggs building; it beds the building into the existing townscape and gives it a distinct character.

The five storey element has two pitched roofs of differing sizes to reflect the homes within, smaller pitched above the one bed apartments and a larger pitch above the two bed apartments. The pitched roofs help to achieve a varied roof scape and break down the massing.

Windows to both elements of Building F are laid out on a regular grid, giving definition to the façades.

The charred timber effect material is used as a motif throughout the riverside buildings through its use as a feature cladding panel adjacent to windows and doors and to signify the entrance of the car park. This consistent detailing and material ensures a cohesive scheme that reads as a collection.

The two elements of the building are further distinguished through the use of two complementary brick types.

Large scale painted text runs up the east façade of the five storey element, designed to echo that of a factory building. This playful feature is a nod to the site's industrial past.



Building F north elevation



Key



Building A and Building F east elevation



4.13.7 Building A

Building A is visually linked to Building F but appears as a separate form. It is three storeys and provides an intermediate step between the lower scale of the terraced houses and the larger scale apartment buildings. The elevation of Building A is split into four distinct bays through the use of regular windows, balconies, downpipes and an industrial style sawtooth parapet. Beyond this parapet is a flat roof, which reduces the impact on the neighbours behind and enables the accommodation of a biodiverse flat roof and photovoltaics.

A regular gridded window pattern and charred timber effect, or similar, cladding links the building aesthetically to the other buildings in the riverside zone.

4.13.8 Façade study

The drawing opposite demonstrate typical façade details and materials that are being proposed for Buildings F and A. Similar details are also proposed for Building E. All apartments achieve a generous 2.5m ceiling height in habitable rooms, whilst bolt-on balconies provide private amenity space. Level access is provided onto the terraces.



Key

Building A and Building F east elevation showing the relationship





**Introduction**

**Context**

**Design process**

**Design response**

**5.0 Landscape**

**Technical design**

**Access**

**Appendices**

5.1 Introduction

This chapter of the Design and Access Statement sets out the emerging landscape proposals.

The scheme has two definitive use zones, residential and commercial. The commercial units are located along the southern tip with their own access and so is separated from the residential streets.

The vision for Greggs Bakery is to create attractive, high-quality, functional open spaces, streetscapes and public realm that contribute to the quality of life of the new residents and the local area. This aspiration is achieved by creating pockets of usable open spaces for community and private use.

The scheme is defined by a series of interlinked spaces with individual character zones that complement their new and existing surroundings. High-quality green spaces with integrated play and places to stop and rest are scattered throughout, including a linear stretch of multifunctional space along the River Crane, the primary focal point for public realm intervention.

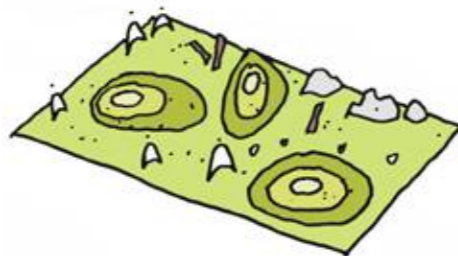
New climate resilient planting palettes of trees, hedgerows, planting and habitat creation will contribute to urban greening and biodiversity net gain. The hard landscape will benefit from the use of robust high-quality materials which will subtly indicate public and private zones.

The lighting strategy will be suitable for a small town / suburban location. It will also consider ecological requirements by ensuring an adequate buffer zone is created to restrict the amount of light spill reaching the sensitive 'Dark Corridor' of the River Crane.

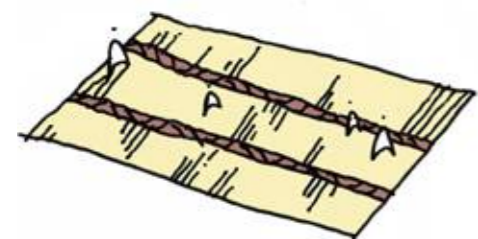
In developing the landscape vision and concept, there were nine key factors that influenced the design. These are captured in the diagrams below:



Tree-lined streets and feature trees



Incidental and formal play features



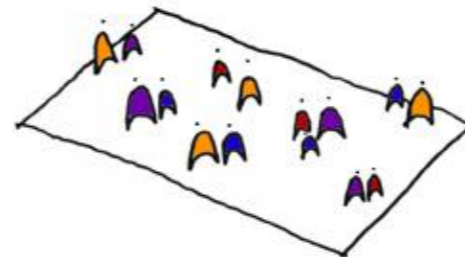
High-quality public realm and streetscape



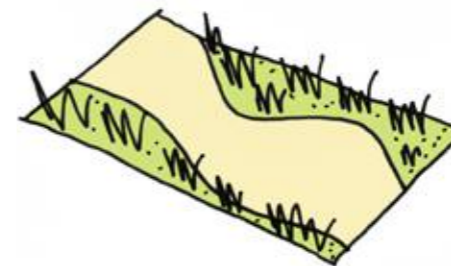
Sustainable urban drainage strategies



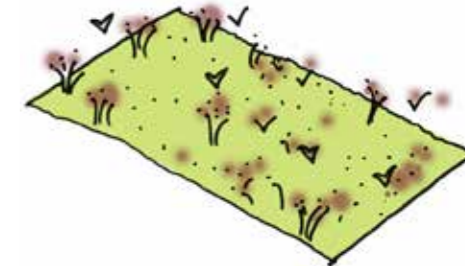
Integrate the River Crane



Live, talk, visit and play



Rich, colourful planting palettes



Biodiverse green roofs



## 5.2 Landscape design approach

The overall design principles ensure good surveillance with well overlooked spaces and promote a series of new links to the existing surroundings.

### Design principles

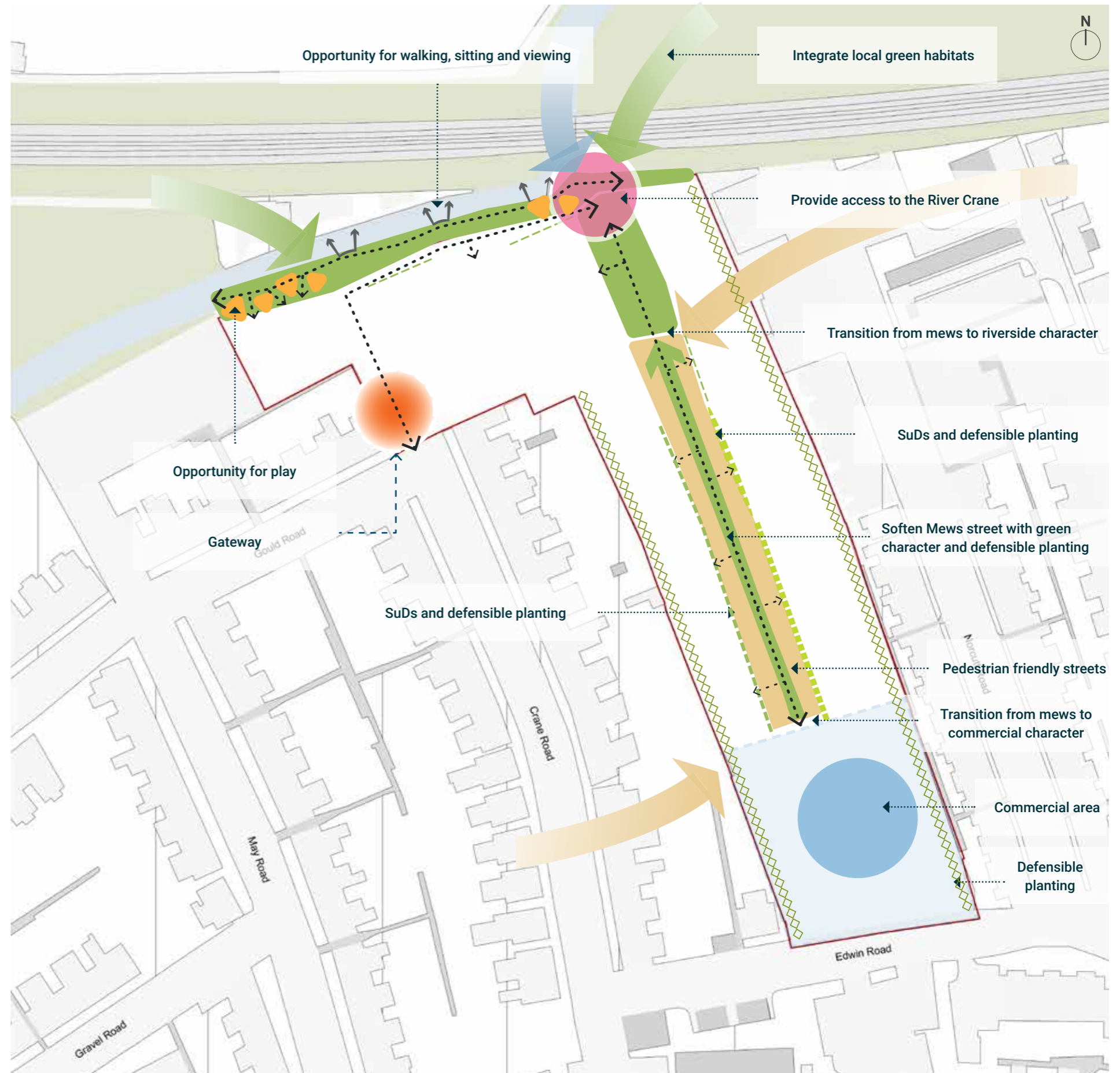
- Unify the entire site with a simple palette of landscape materials creating a holistic landscape
- Use of trees, hedgerows and soft planting to reduce and soften the urban environments
- A child-friendly public realm with dedicated playable spaces
- Enhance and create new habitat corridors for wildlife
- Link green spaces
- Careful use of planting and street furniture to create a safe, attractive environment with good surveillance
- Views across the space with little opportunity for unwanted loitering
- Develop a lighting scheme of both decorative and functional lighting, ensuring the spaces are safe and navigable after dark & sensitive to local wildlife / ecology

The landscape design approach for the site is outlined in the adjacent diagram.

The proposals have been influenced by a number of factors, including:

- The River Crane
- Tight urban grain
- Character of neighbouring streets
- Maximising biodiversity and urban greening
- New dedicated and incidental playspace on site

The approach aims to embrace and direct users to the unique aspects of the site, namely the River Crane, which borders the northern tip of the site.



Design opportunities diagram

- Key
- Site boundary
  - Residential gateway
  - - - -> Desire lines
  - ↗ Views towards the River Crane
  - ▲ Play opportunities
  - Green zones
  - Private front gardens and drives
  - ▨ Commercial yard
  - Commercial units
  - ◇◇◇ Green boundary buffer