

# Design and Access Statement

5 Cromwell Road, Teddington, TW11 9EQ

16 December 2022

A Doc (99) 00 Rev A

**FLETCHER CRANE**  
ARCHITECTS

# Contents

## Section 01 Analysis

- 4 Introduction
- 5 Location Plan
- 5 The Site
- 6 Process Analysis
- 6 Bird eye views
- 7 Site photographs - External views
- 9 Existing Survey

## Section 02 Pre App Scheme

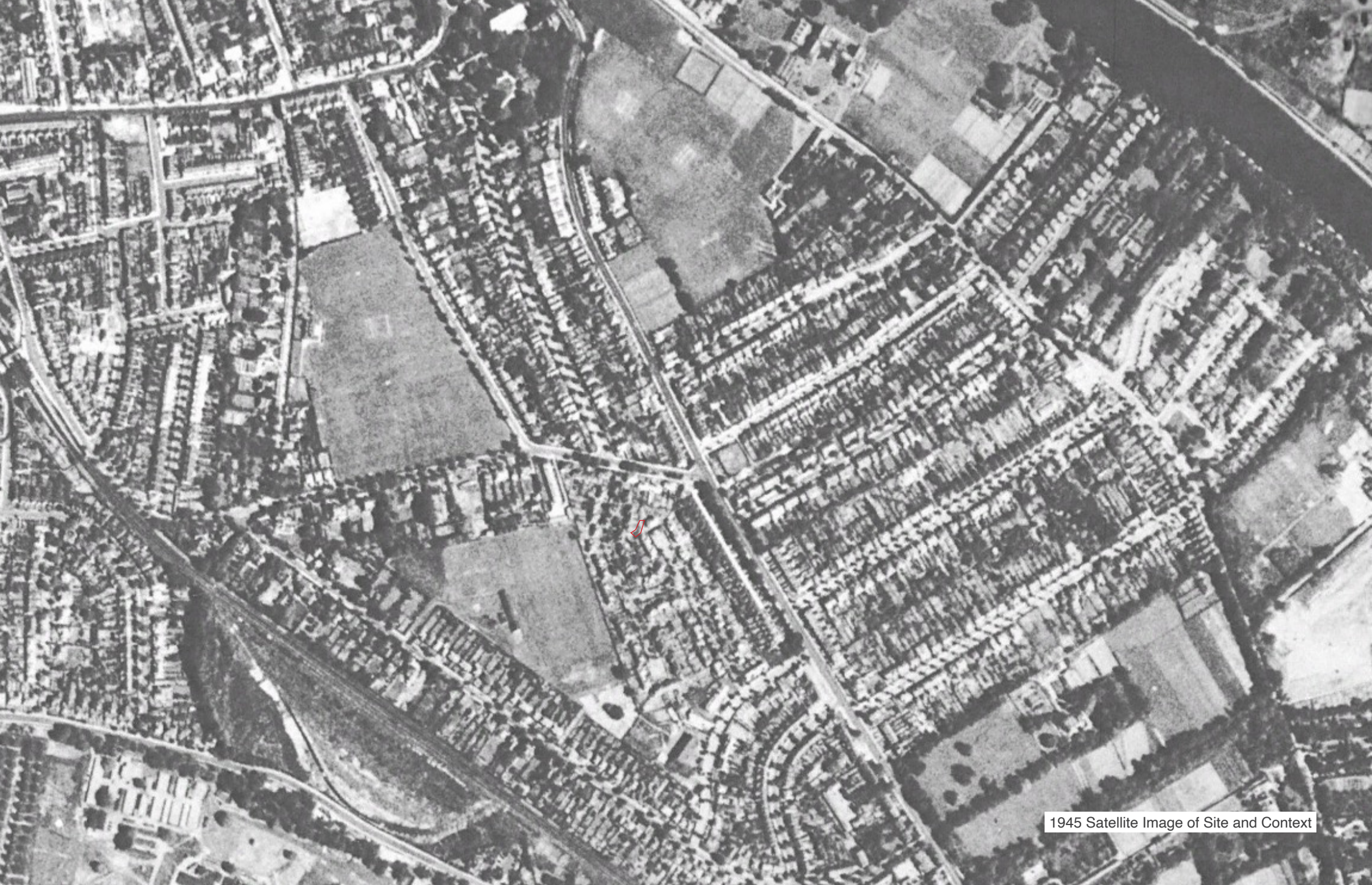
- 10 Pre-App Proposed Plans
- 11 Pre-App Acknowledgement

## Section 03 Proposal

- 12 Proposed Ground Floor
- 13 Proposed First Floor and Roof Plan
- 14 Existing Elevations
- 15 Proposed Elevations
- 16 Existing and Proposed Sections
- 17 Design Considerations
- 18 Precedent Images







1945 Satellite Image of Site and Context



# Section 01 Analysis

## Introduction



Aerial photograph of site

The following document sets out the site analysis and design proposal for the rear, double and side extension to the property at 5 Cromwell Road, Teddington TW11 9EQ prepared by Fletcher Crane Architects.

The property at 5 Cromwell is a detached house located in Teddington and is situated in an array of four similar properties.

The property is within the Character area 6 of the Hampton Wick and Teddington Village planning guidance but not in a conservation area.

Other designations for the area are:

- Article 4 Direction, restricting basement development;
- Area Susceptible To Groundwater Flood, Environment Agency;
- Main Centre Buffer Zone, Teddington Town Centre boundary buffer zone;

We are providing this design and access statement to accompany a full set of planning drawings for the submission of the proposed development to No. 5 Cromwell road TW11 9EQ.

The proposal seeks to extend the dwelling with a rear extension and a double-storey extension together with a small side extension to replace the existing shed and provide a home-working arrangement. The goal is to modernize and re-order the internal arrangements throughout the house, to add valuable space to the family dwelling without compromising the stature and character of the host building or the surrounding area.



**Location Plan**  
1:1250 @A4



Site area: 406m<sup>2</sup>

**The Site**

**SITE LOCATION**

5 Cromwell road is sited between the intersections of the road with Blackmores Grove and Bolton Gardens. It is a detached property that features a traditional style but is not deemed to hold historical relevance. The property is currently a 4-bedroom dwelling house with living accommodation on the ground floor and sleeping accommodation on the first floor. The immediate surroundings along the street consist of a series of detached properties with similar features and mass, with feature bay windows to the ground floor and recessed entrance doors behind arches, their similarity is evident although a series of modifications have altered the houses, especially on the rear.

At no. 7 there are currently two extensions: a side extension, visible from the main road and a rear extension.

The similarity of appearance of the houses will be again modified thanks to a recently approved planning application (19/3632/FUL) to add dormers on both roof sides to the properties at 1 and 3 of Cromwell Road.



No 1 CROMWELL ROAD  
SOUTHWEST ELEVATION  
AS PROPOSED



No 3 CROMWELL ROAD

Excerpt from neighbouring properties granted application 19/3632/FUL



# Process Analysis

## Bird eye views



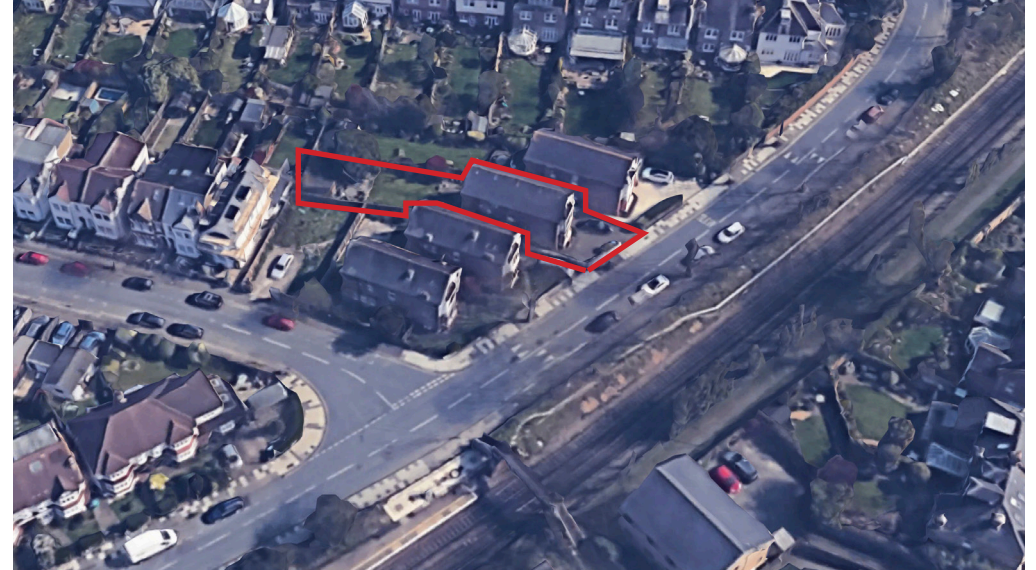
North facing aerial view of site



South facing aerial view of site



West facing aerial view of site



East facing aerial view of site



# Process Analysis

## Site photographs - External views



Front elevation of 5 Cromwell Road



View of neighbouring no. 7 Cromwell Road and boundary



West side garden access



Rear elevation of 5 Cromwell Road, showing staggered relationship to neighbours



Window from No.3 overlooking boundary



Eastern side alley way blocked by impractical long, skinny storage shed





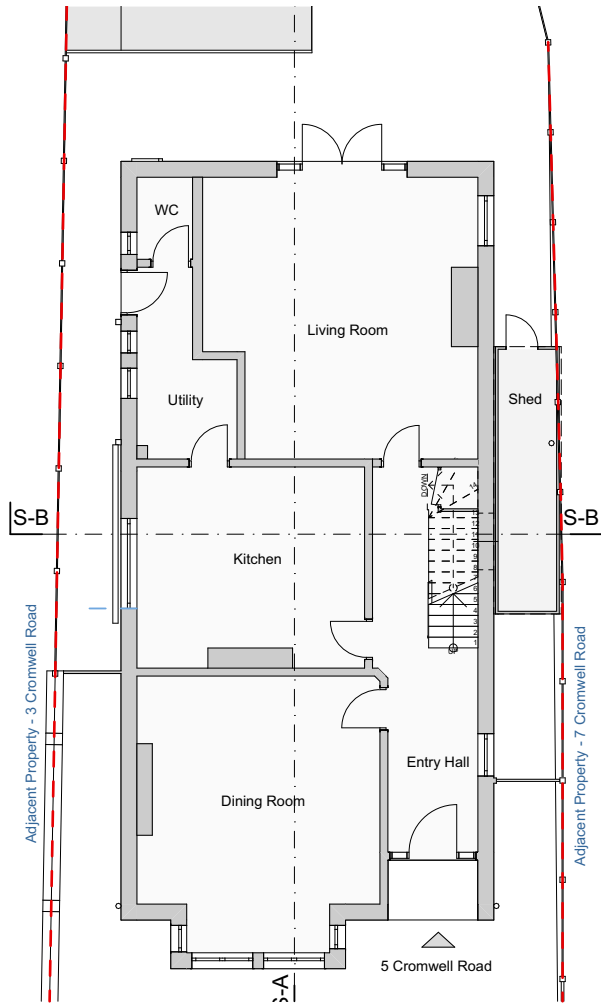
View of garden studio, no 3 and no.1 Cromwell Road and no 79 Blackmores Grove



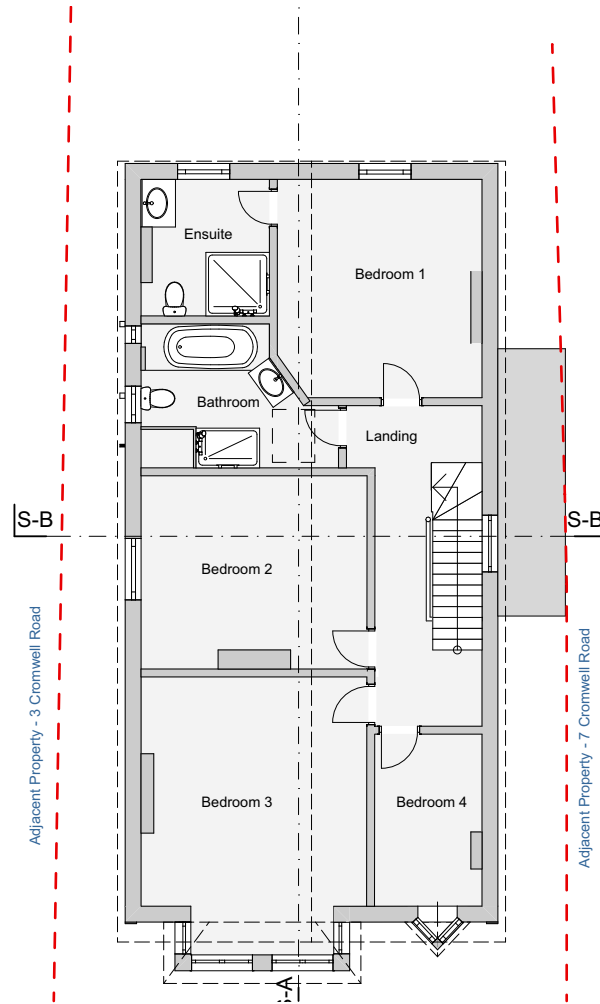
View of no1&3 Cromwell Road showing staggered building line

# Existing Survey

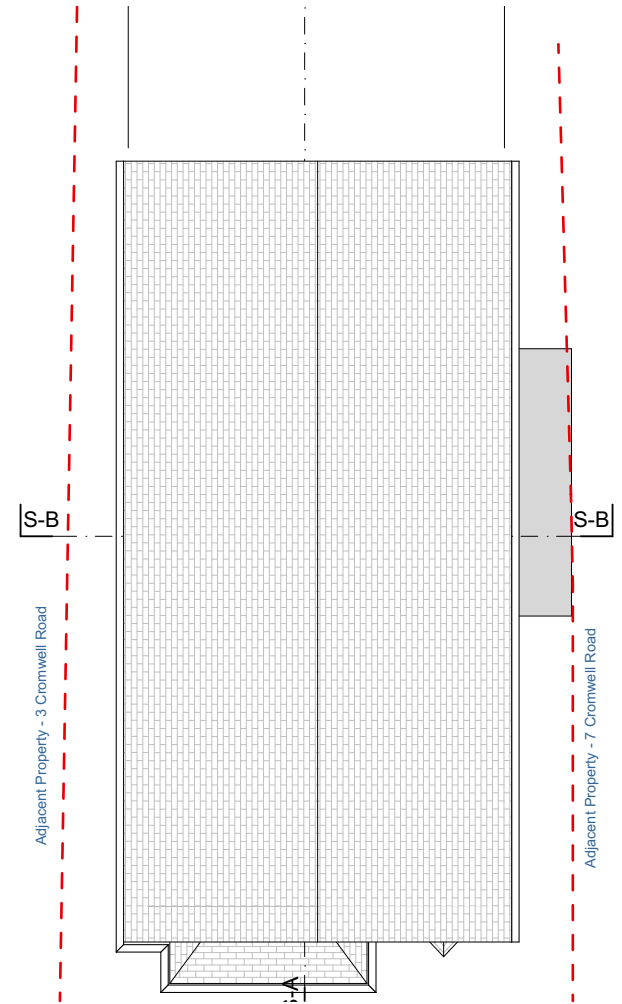
NTS



Ground Floor Plan



First Floor Plan



Roof Plan



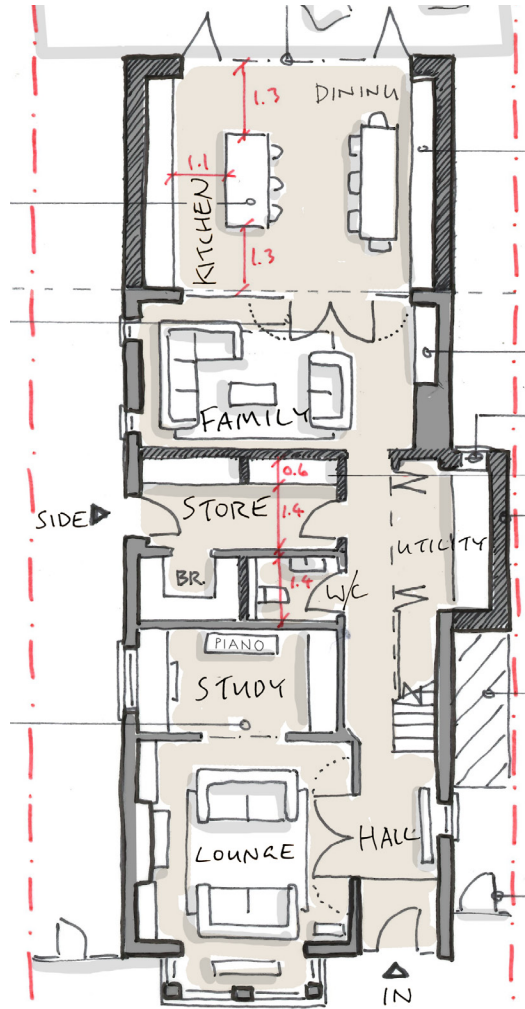
# Section 02 Pre App Scheme

## Pre-App Proposed Plans

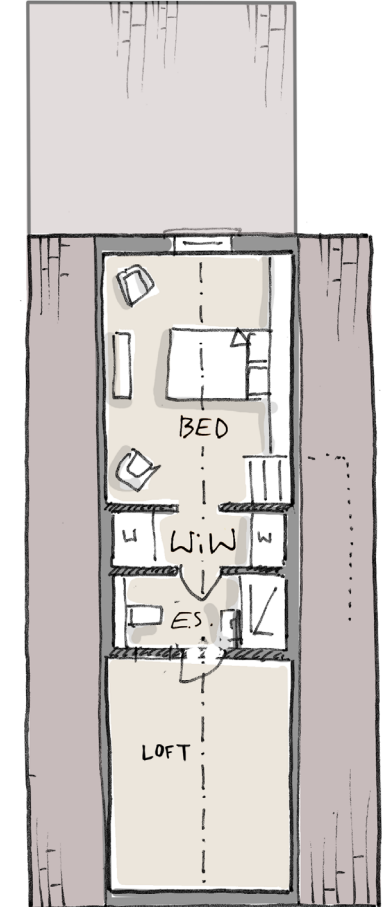
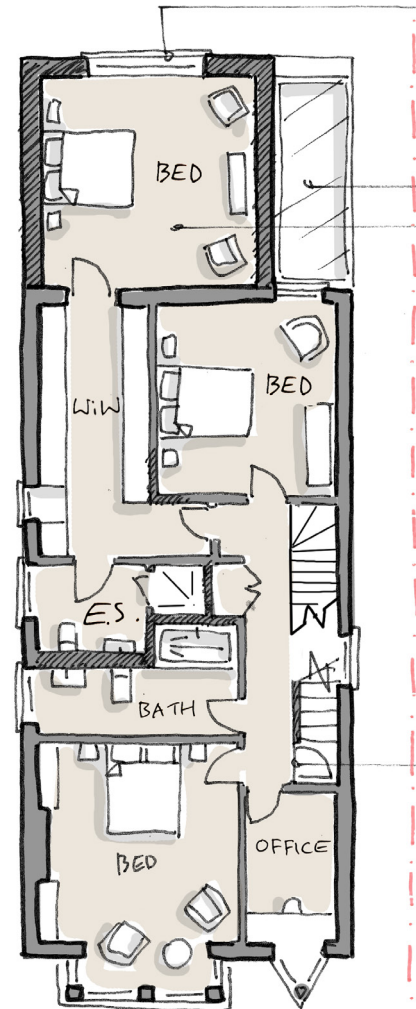
NTS



No. 3



No. 7



Ground Floor Plan

First Floor Plan

Roof Plan



# Pre-App Acknowledgement

Extract from Case Officer Report - 14th October 2022 -  
Comments relative to the proposed design in green



## Two storey rear extension

- The proposals seek to construct a two-storey rear extension.
- In principle, there is no objection to the construction of a single storey rear extension and the proposed it is of a similar size and scale. The Council's SPD specifies 4m for an appropriate depth for a rear extension. Therefore the proposed overall depth should be reduced to 4m total. *No actions required*
- Similarly, it is considered that there is scope for an addition at first floor, however this will need to be of a reduced scale. The Council's SPD states that two storey extensions should be no greater than half the width of the original house. In this case, given this would be at the rear, greater than half the width is considered acceptable, however a reduction in width would ensure the extension appears visually subordinate to the main house. The pitched first floor roof design is in keeping with the surrounding character. *The width has been reduced to the double-storey extension*
- Materials proposed should match the existing including fenestration. *No actions required*

## Roof extension

- The proposed piggy back extension is not consistent in character with the row and will not be supported. *Piggy back extension removed in current proposal*
- The Council's SPD specify that roof extensions should not dominate the original roof and should not be above the existing roof ridge. *Roof extension roof to be installed below the existing roof ridge line.*
- There is no objection to a roof extension in some form, there is also potential for a permitted development application to be submitted for larger

alterations at roof level. The requirements of Class B should be investigated.

- Any roof extension should include materials to match the existing arrangement including hanging roof tiles and white window frames of a similar character. *The materials proposed will match the existing materials palette.*

## Side extension

- No objection to side extension.
- The extension should be constructed with materials to match the existing. *No modifications to the design applied for pre-application were needed*

## Neighbour Amenity

- The Council's policy specifies that 4m is acceptable in regard to a projection for a rear extension.
- Given the staggered nature of the properties, the proposed extension should be reduced to 4m projection to mitigate any undue impact on the adjoining property, no.7. *The rear extension depth was reduced to a 4 m depth.*
- No impact is anticipated on no.3 from the ground floor rear extension as the side facing windows on this property is a secondary window to the main living/dining area, and the extension will not project beyond the rear building line.
- No addition side windows are proposed. Any new first floor side windows should be obscure glazed and non-openable below 1.7m taken from internal level. *New side windows will meet the policy requirements*

## Summary

- No in-principle objection to rear extensions, subject to reduction in scale as discussed above.
- The side extension is acceptable.
- The roof extension as submitted is unable to be supported given its size, scale and projection above the existing roof ridge which would be out of character with the row. The applicant is advised to significantly reduce this aspect or investigate alterations through a Permitted Development Application.
- There are concerns for no.7 and the potential visual overbearing impact and loss of light from the two storey rear extension.
- All new doors and windows should be visually similar to the existing arrangement, and extensions should also utilise matching materials.
- No objection raised to the removal of the chimney.
- *The modifications to the pre-application submission design deem to address all the issues raised in the officer's report, therefore the design is deemed to be considered acceptable.*



# Section 03 Proposal

## Proposed Ground Floor

NTS



New Rear extension at maximum 4m allowed by local authority

New Steel to support the rear of the house. Disguised into kitchen design to allow for larger kitchen.

Existing window openings merged to form one. To be obscured glass

Full height storage, concealed washer and dryer

New Utility, accessed via new door in existing window opening

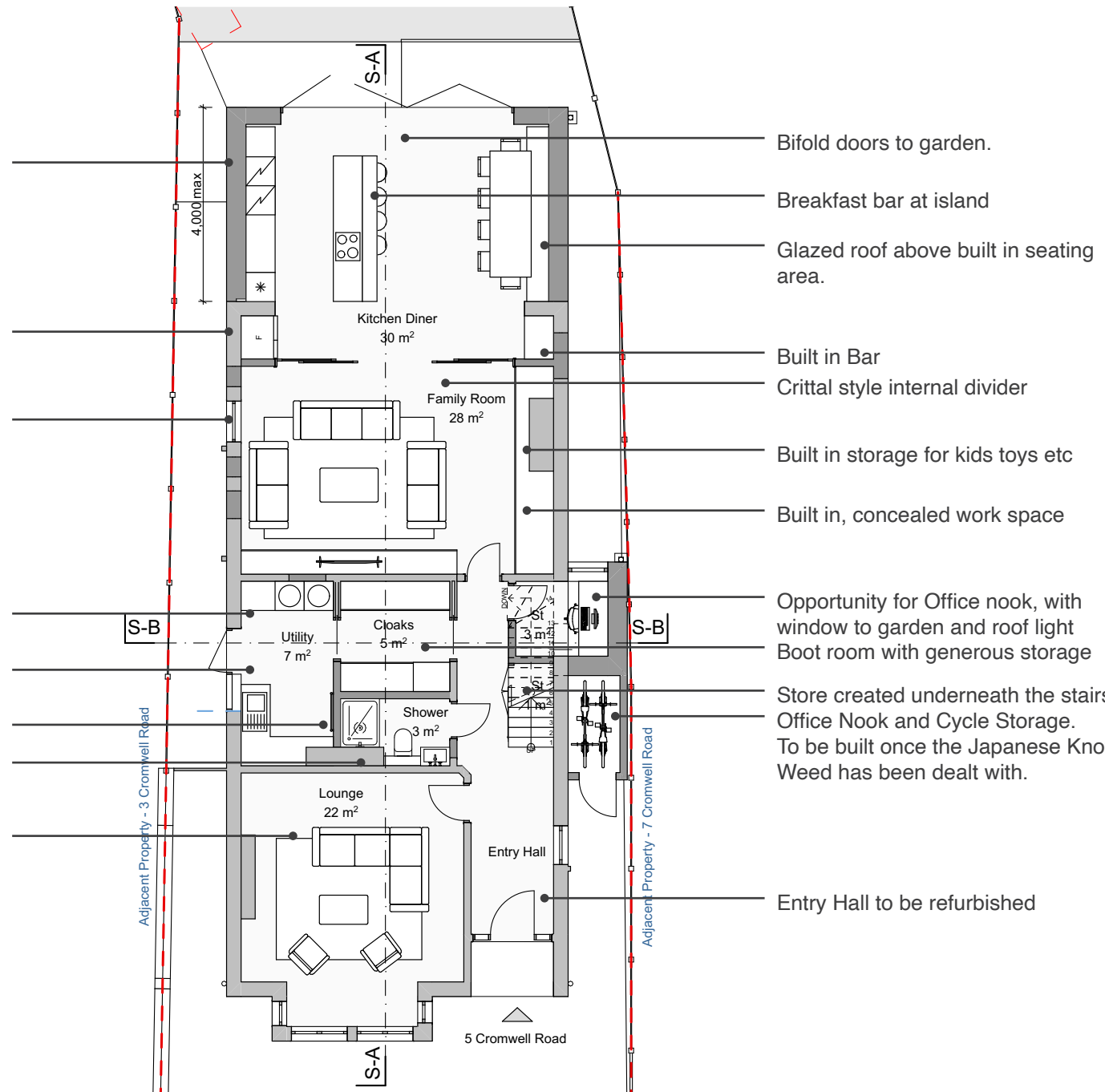
Space for drying inside

WC built around existing chimney breast

Lounge to be refurbished

Key

Existing Walls  
New Walls



Bifold doors to garden.

Breakfast bar at island

Glazed roof above built in seating area.

Built in Bar

Crittal style internal divider

Built in storage for kids toys etc

Built in, concealed work space

Opportunity for Office nook, with window to garden and roof light

Boot room with generous storage

Store created underneath the stairs

Office Nook and Cycle Storage. To be built once the Japanese Knot Weed has been dealt with.

Entry Hall to be refurbished

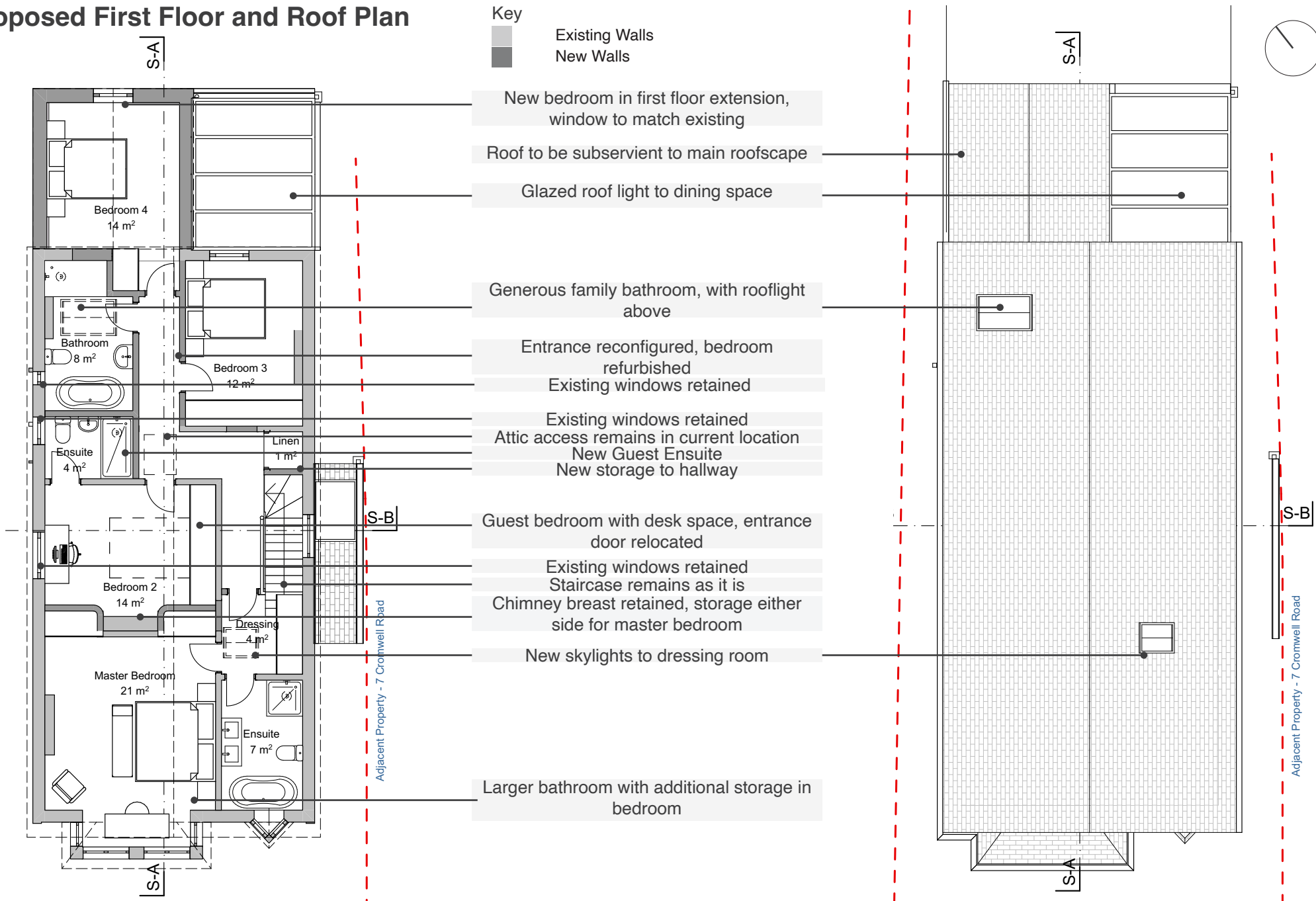


# Proposed First Floor and Roof Plan

NTS

## Key

- Existing Walls
- New Walls



- New bedroom in first floor extension, window to match existing
- Roof to be subservient to main roofscape
- Glazed roof light to dining space
- Generous family bathroom, with rooflight above
- Entrance reconfigured, bedroom refurbished
- Existing windows retained
- Existing windows retained
- Attic access remains in current location
- New Guest Ensuite
- New storage to hallway
- Guest bedroom with desk space, entrance door relocated
- Existing windows retained
- Staircase remains as it is
- Chimney breast retained, storage either side for master bedroom
- New skylights to dressing room
- Larger bathroom with additional storage in bedroom

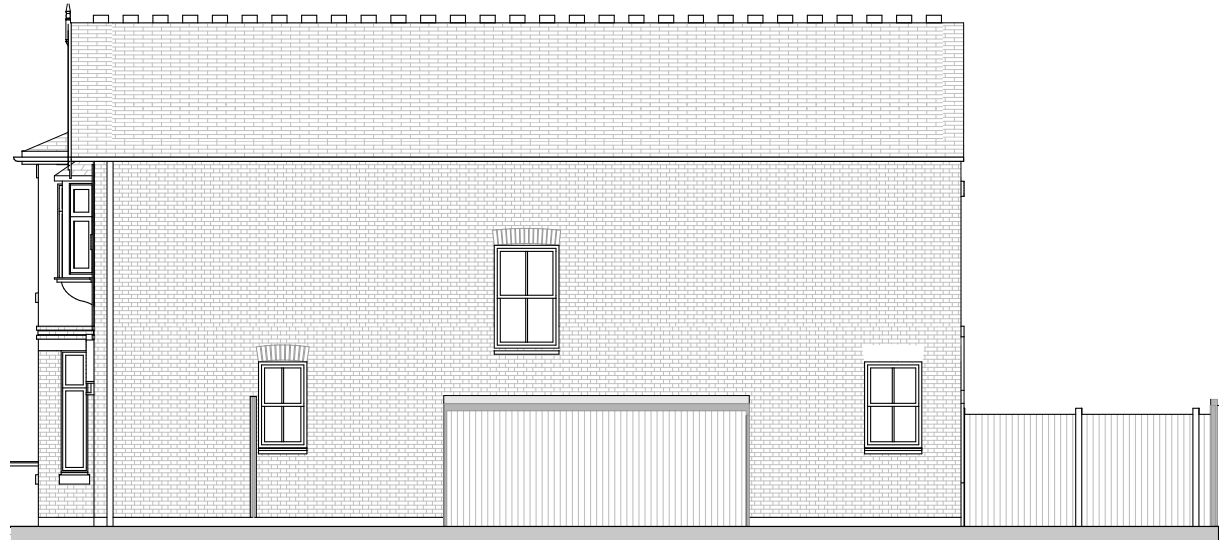


# Existing Elevations

NTS



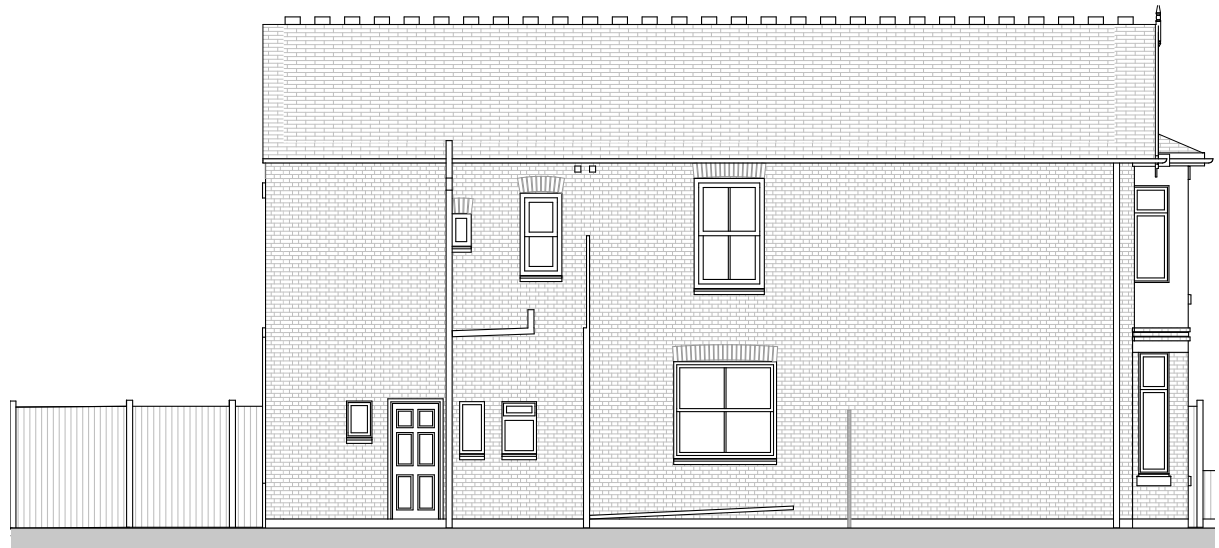
South Elevation



East Elevation



North Elevation



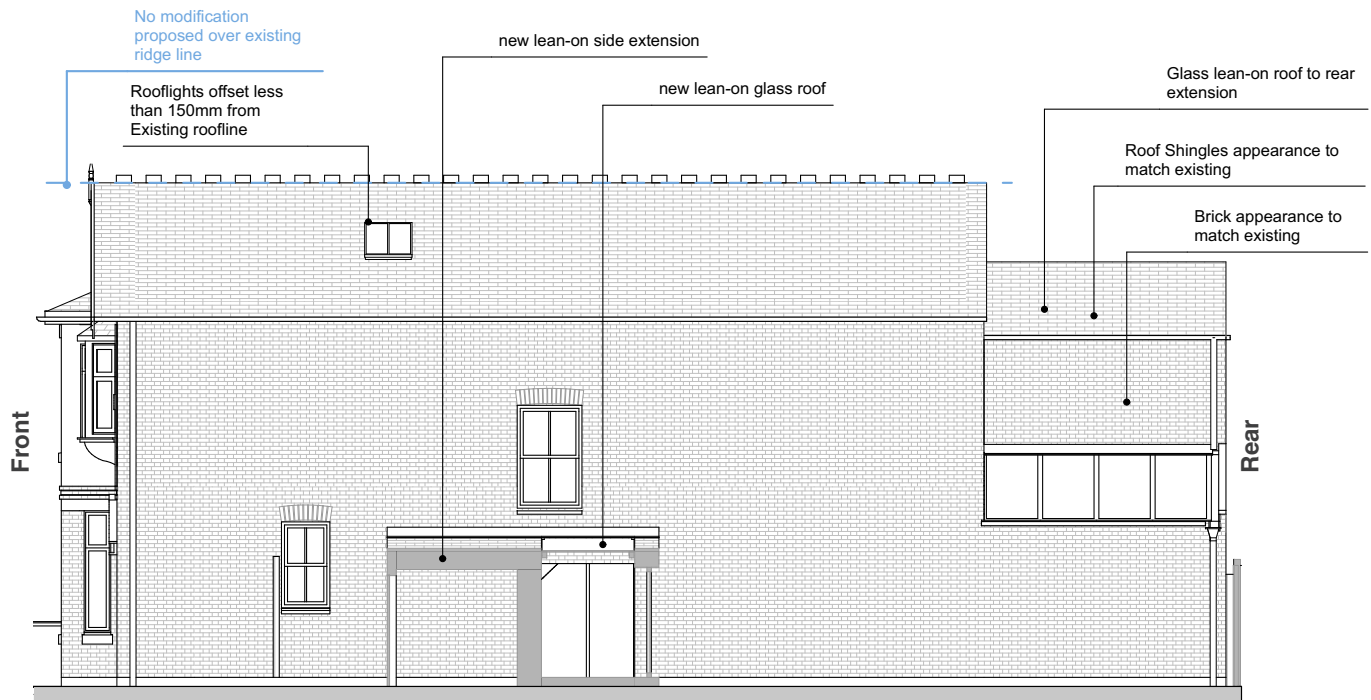
West Elevation

# Proposed Elevations

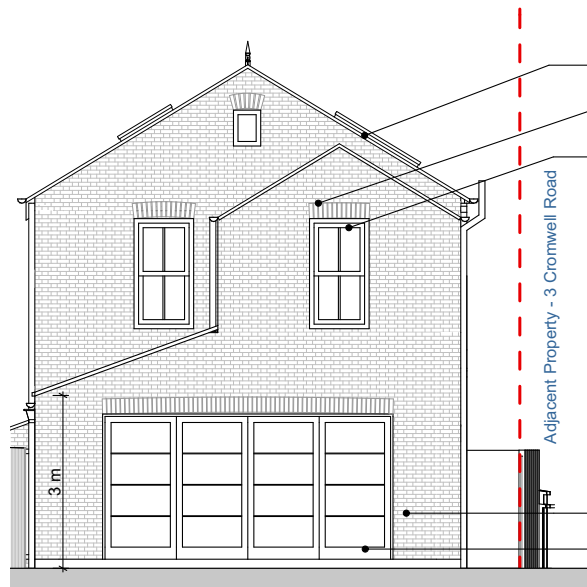
NTS



South Elevation

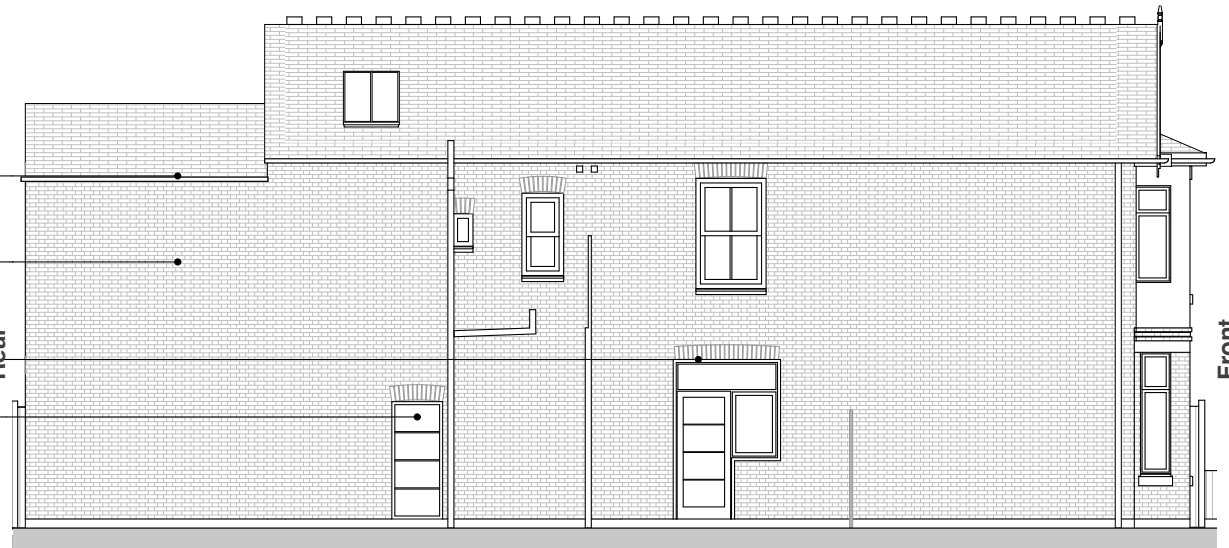


East Elevation



North Elevation

- Conservation rooflights - offset less than 150mm from Existing roofline
- New brick arches to match existing materials
- White painted sash windows - appearance to match existing
- Roof Shingles appearance to match existing
- Brick appearance to match existing
- Glass Door to replace window
- Glass window to replace existing door
- Brick appearance to match existing
- Crittall-style bi-fold door

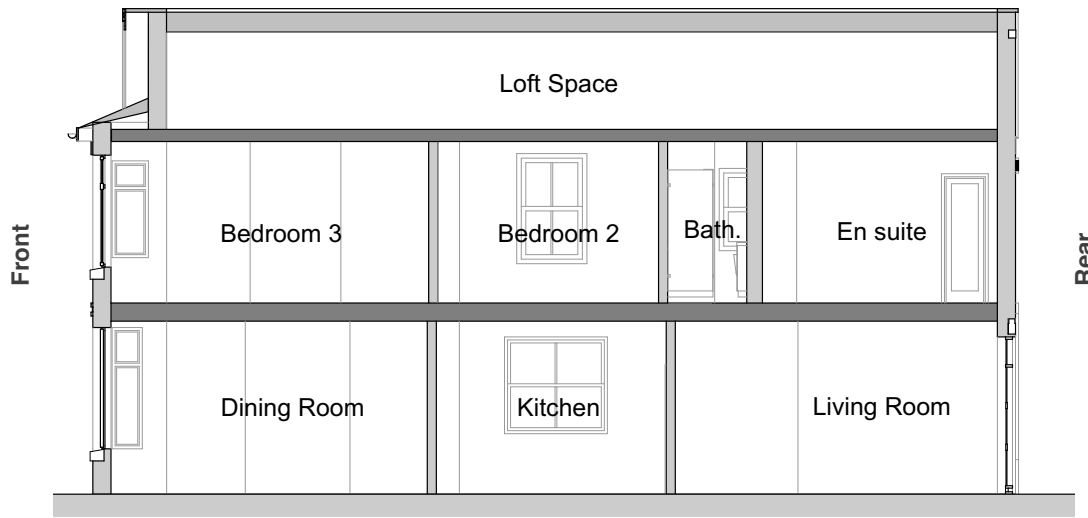


West Elevation

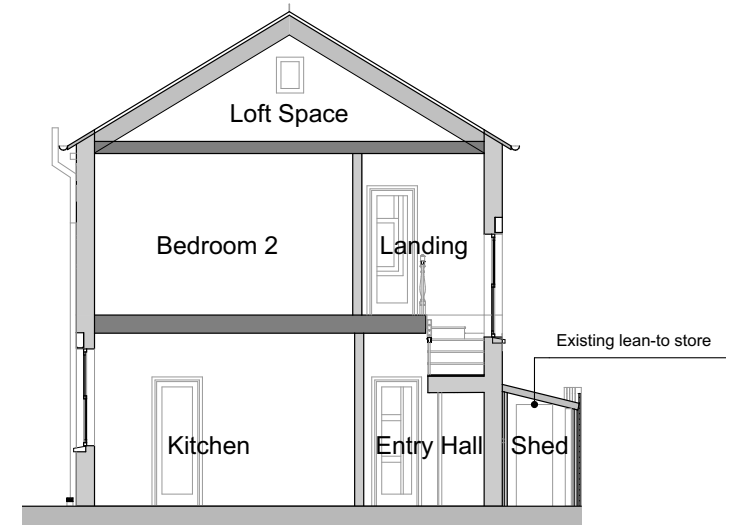


# Existing and Proposed Sections

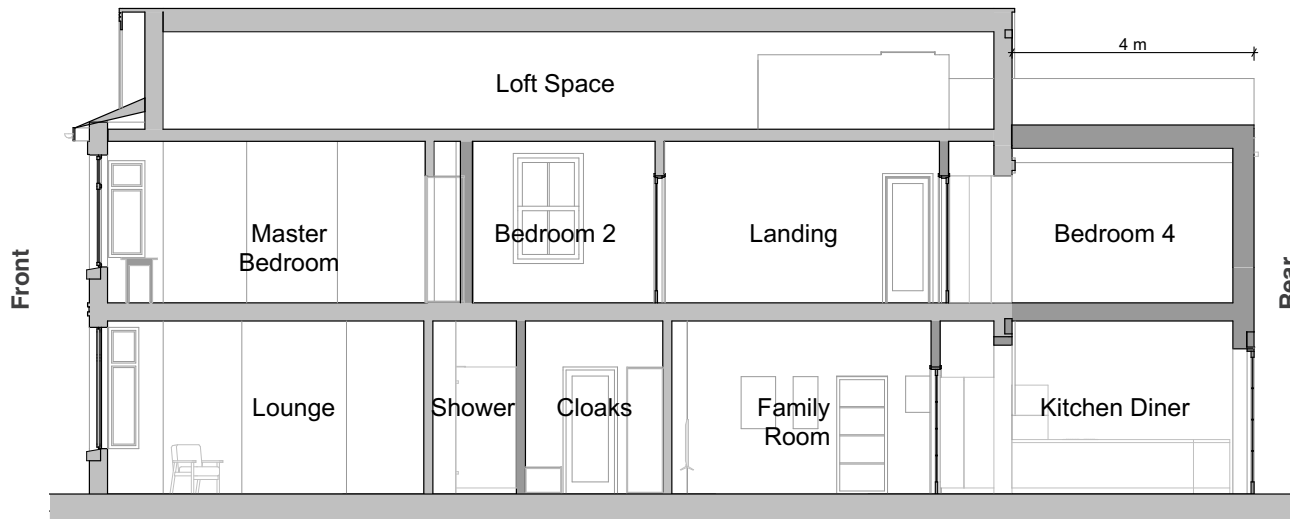
NTS



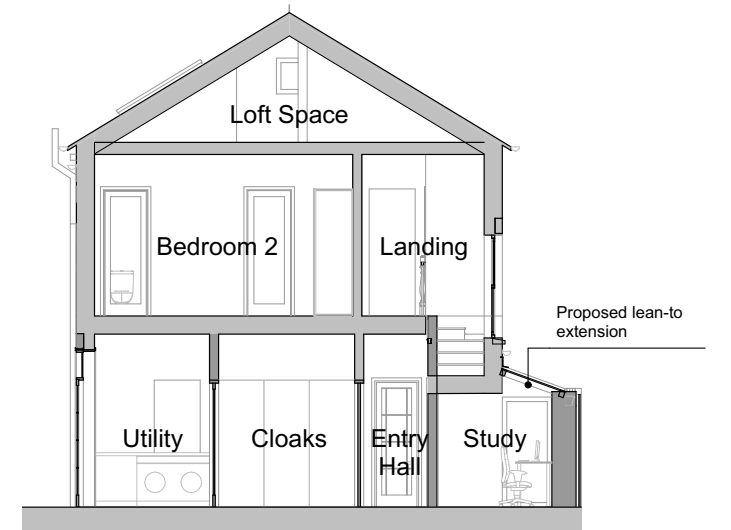
Existing Section A



Existing Section B



Proposed Section A



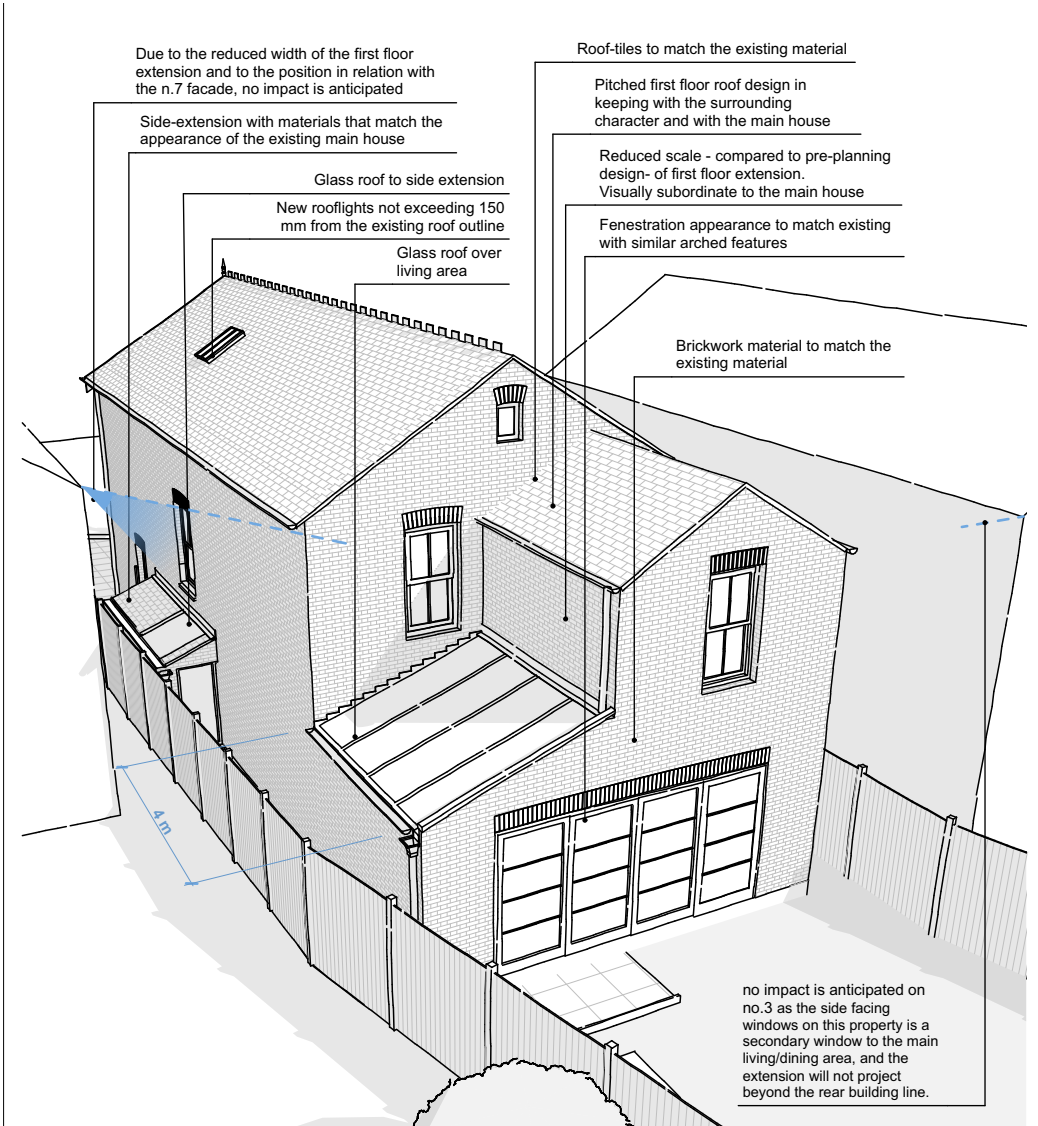
Proposed Section B

# Design Considerations

NTS



Existing Rear Perspective



Proposed Rear Perspective



## Precedent Images



Glazed Roof to extension



Crittall style windows to garden



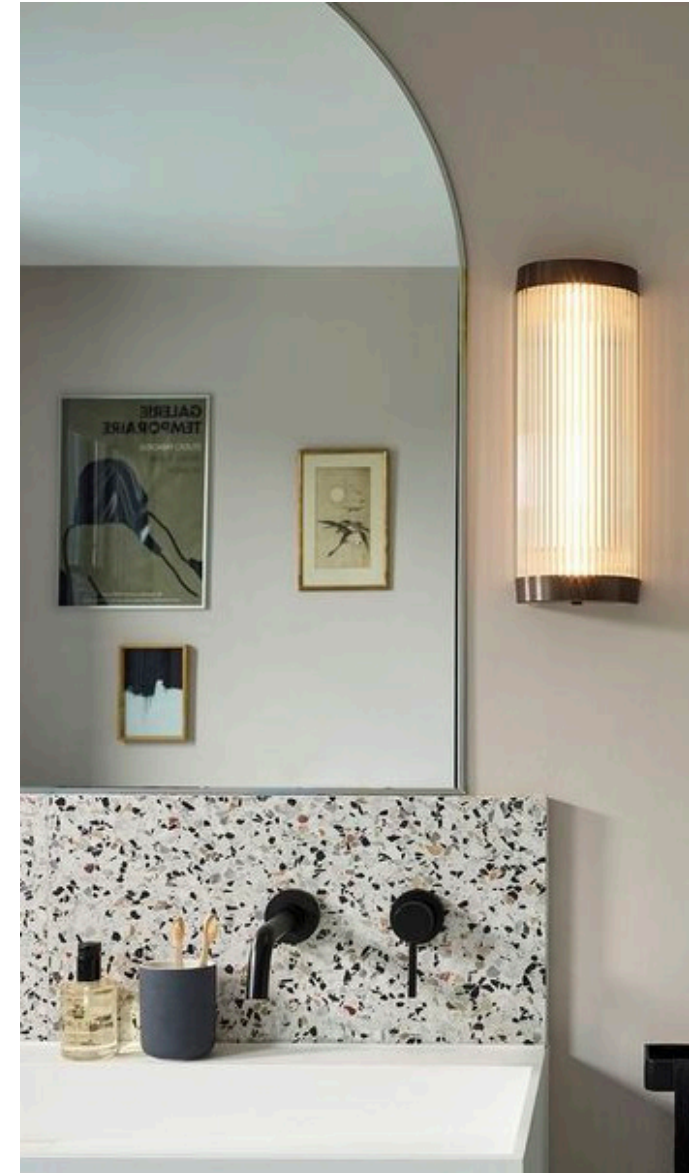
Boot room integrated bench and storage



Office 'Nook' extension

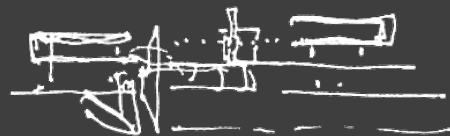


Built in, concealed office space



Bathroom





**FLETCHER CRANE**  
ARCHITECTS

44 Union Street | Kingston upon Thames | Surrey | KT1 1RP  
tel. - 020 8977 4693 | [www.fletchercranearchitects.com](http://www.fletchercranearchitects.com)