

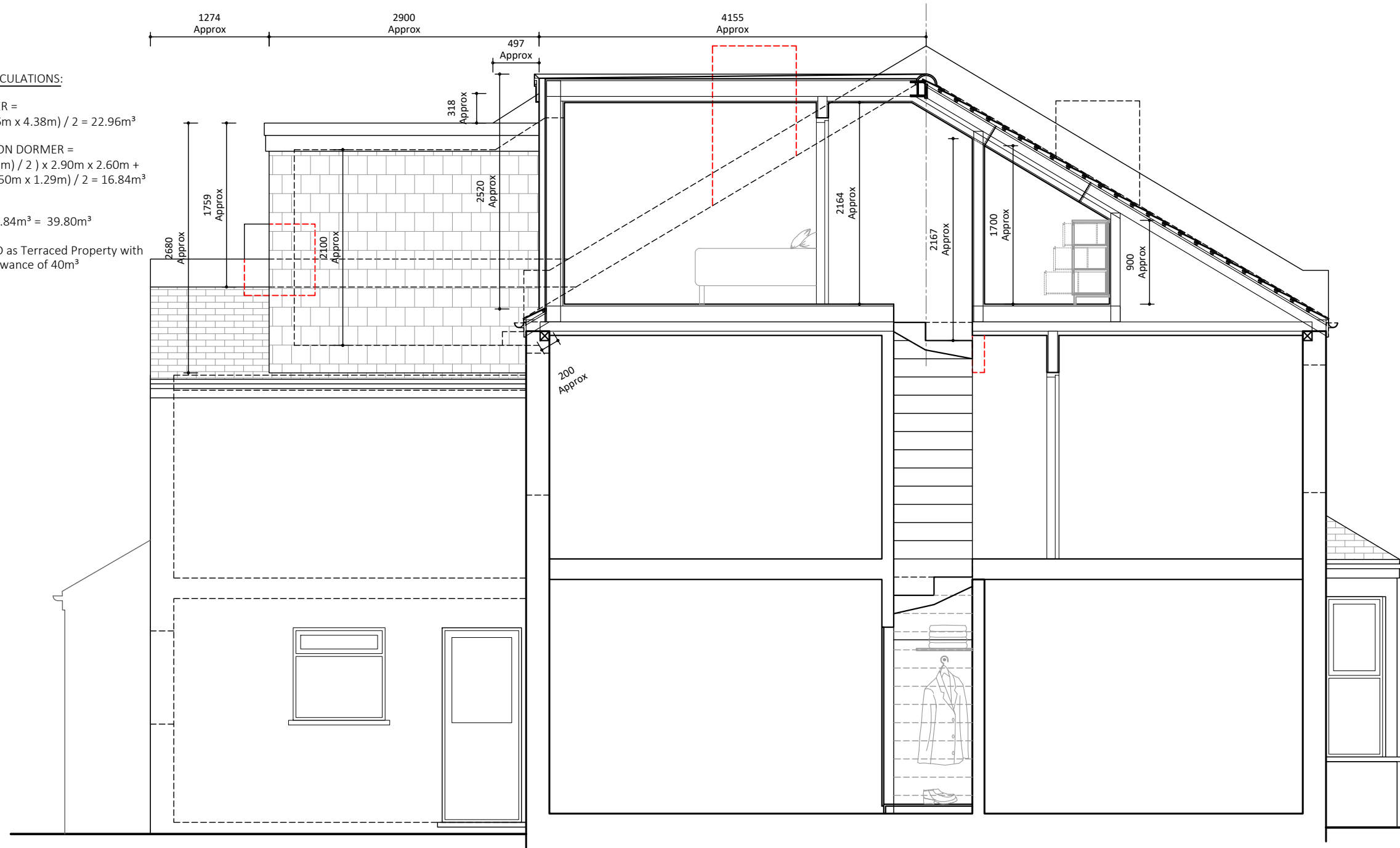
VOLUME CALCULATIONS:

REAR DORMER =
 $(2.52\text{m} \times 4.16\text{m} \times 4.38\text{m}) / 2 = 22.96\text{m}^3$

REAR ADDITION DORMER =
 $((1.76\text{m} + 2.68\text{m}) / 2) \times 2.90\text{m} \times 2.60\text{m} +$
 $+ (0.32\text{m} \times 0.50\text{m} \times 1.29\text{m}) / 2 = 16.84\text{m}^3$

$22.96\text{m}^3 + 16.84\text{m}^3 = 39.80\text{m}^3$

Therefore P.D as Terraced Property with
 a volume allowance of 40m^3



Proposed Section
 Scale 1/50@A3

Notes:

1. The General Contractor is responsible for the verification of all dimensions on site and shall inform the contract administrator of any discrepancies.
2. Do not scale from this drawing unless for Planning purposes. Use figure dimensions only for construction purposes.
3. Existing foundations, lintels and wall to be exposed if required by Building Control for assessment and upgrading if found inadequate.
4. It is the home owners responsibility to obtain party wall, line of junction or notice of adjacent excavation agreements.

Line reference:

EXISTING BRICK WALL	PROPOSED CAVITY WALL
EXISTING TIMBER WALL	PROPOSED STUD WALL
DEMOLITION	BOUNDARY LINE
AXIS LINE	EXISTING FOUNDATIONS
EXISTING FOUNDATIONS	PROPOSED FOUNDATIONS
PROPOSED STEEL BEAMS	PROPOSED TIMBER JOISTS

27.03.23	Client's amendments	B
24.03.23	Proposed second floor plan revision	A
21.03.23	Preliminary Drawings	Prelims

Date:	Description:	Rev.:
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Project:

45 Church Lane, Teddington, TW11 8PA
 Loft conversion with L-shaped dormer
 & two roof lights at the front roof slope

Client:

Cengiz & Çiçek Bilik

Drawing Title:

Proposed Section

Drawing No:

P.03

Drawn by:	Scale:
SK	1:50 @ A3

