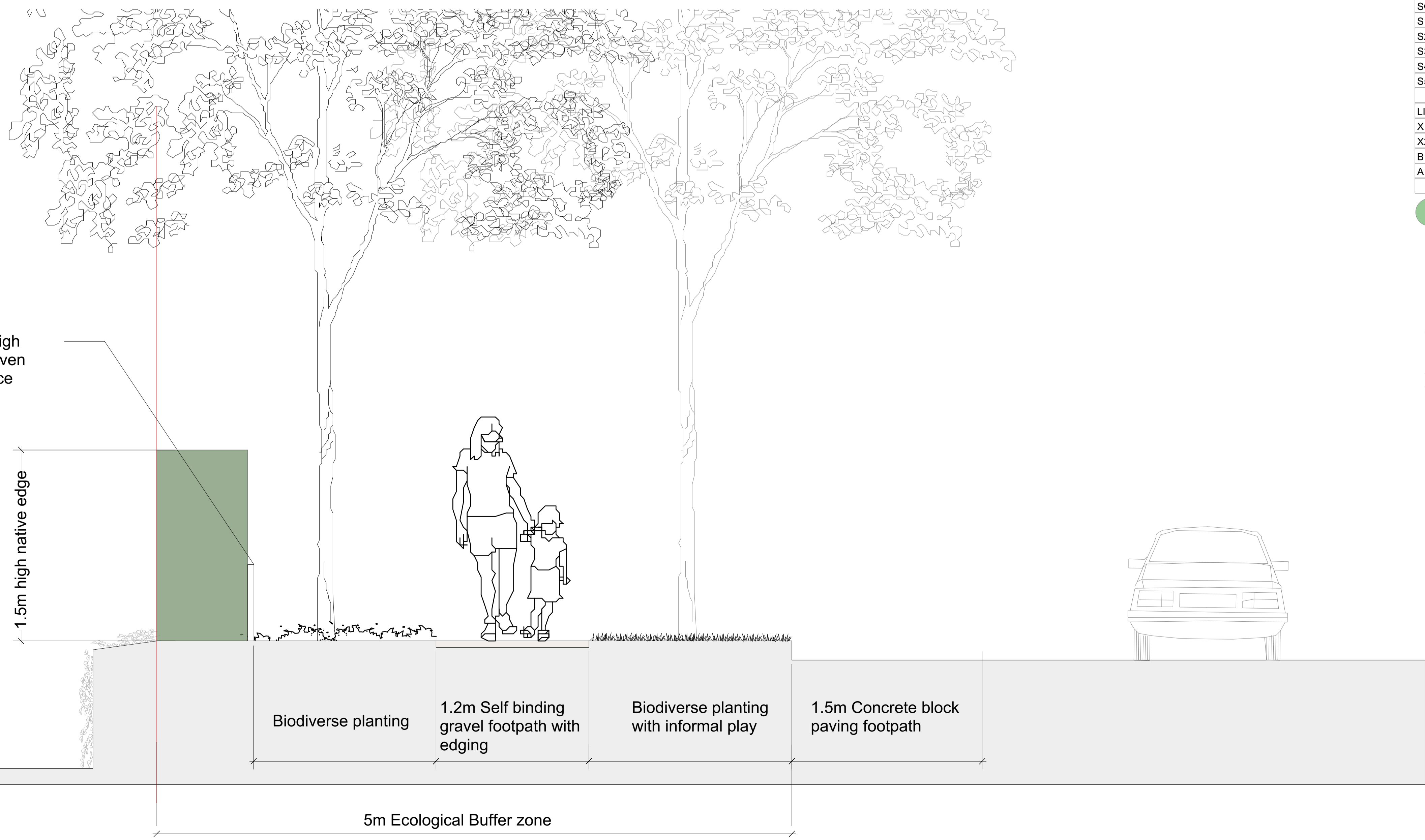
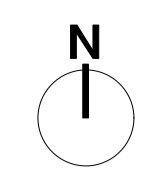




1 Canal edge
1:200



2 Ground Floor Technical section A-A
1:20



LEGEND

PAVING & SURFACES

- P1 Concrete block paving with natural granite aggregate - Type 1
- P2 Concrete block paving with natural granite aggregate - Type 2
- P3 Concrete block paving with natural granite aggregate - Type 3
- P4 Self binding gravel footpath with edging
- P5 Stone setts
- P6 Timber decking
- P7 Bark mulch
- P8 Amenity lawn
- P9 Asphalt + Black top

EDGES

- E1 Metal drainage channel
- E2 Concrete Kerb
- E3 Aluminium extrusion edging

WALL

- W1 Timber fence
- W2 Timber gate
- W3 Willow woven trellis fence
- W5 New boundary wall
- W6 Railing
- W7 Brick wall with railing

FURNITURE

- F1 Metal planter
- F2 Secure gate to commercial yard
- F3 Timber bench
- F4 Aluminium decking
- F5 Raised timber seating and planter
- F6 Cycle stand
- F7 Cycle shelter
- F8 Play features

SOFT LANDSCAPE

- S1 Hedge
- S2 Planting
- S3 Greenroof - Refer UGF Plan for all locations.
- S4 Planting in raised PPC metal planter
- S5 Bike & Bin storage with green roof

LIGHTING

- X1 LED Luminaire Roadway Light, 4m column
- X2 LED Luminaire Area Light, 4m column
- B1 LED Wall mounted luminaire
- A1 Bollard Luminaire, DW Windsor Pharola, dark skies 26w

Proposed Trees

Note:
Please refer to Desco External Lighting assessment report for technical detail.

Please refer to landscape chapter of DAS for:
- Trees and planting strategy
- Boundary treatments

General notes
This drawing must not be scaled. This drawing must not be used for land transfer purposes. This drawing must be read in conjunction with all relevant drawings. All measurements must be checked on site.

Areas are measured and calculated generally in accordance with RICS Property Measurement, 2nd Edition (January 2018). All areas have been calculated in metric units.

Construction tolerances, workmanship and design by others may affect the stated areas. Existing buildings and structures may present anomalies in relation to surveyed/drawn plans that may also affect the stated areas. All these factors should be considered before making any decisions on the basis of these predictions, whether as to project viability, pre-letting, lease agreements or otherwise, and should include due allowance for the increases and decreases inherent in the design and construction processes.

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Electronic file reference
GBT-ASA-ZZ-ALL-DR-L-0100-COM.vwx

Rev	Revision note	Date	Drawn	Check
1	New scheme updated	20/08/21	GG	GR
2	Draft Issue for Information	10/03/22	GG	GR
3	Issue for Planning	08/04/22	GG	GR
4	Issue for Planning	08/04/22	GG	GR
5	Issue for planning (tech update)	27/06/11	GG	GR
6	Section Detail updated	07/11/22	GG	GR
7	Issue for Planning	14/12/22	GG	GR

Key

	Proposed Trees
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Client
London Square

Project title
Greggs Bakery Site Twickenham

Drawing title
Ground Floor River Side General Arrangement

Scale @ A1 Issue date
1:200 14/12/22

Drawing number
GBT-ASA-ZZ-00-DR-L-0153

Proposed status	Revision
-	R7

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