

# 3/4 NEW BROADWAY

RICHMOND UPON THAMES /// LONDON

FORMALISE AND RECONCILE APPROVED APPLICATIONS

DESIGN AND ACCESS STATEMENT

JUNE 2023

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Refer also to all documents and drawings submitted with this application.

# BACKGROUND

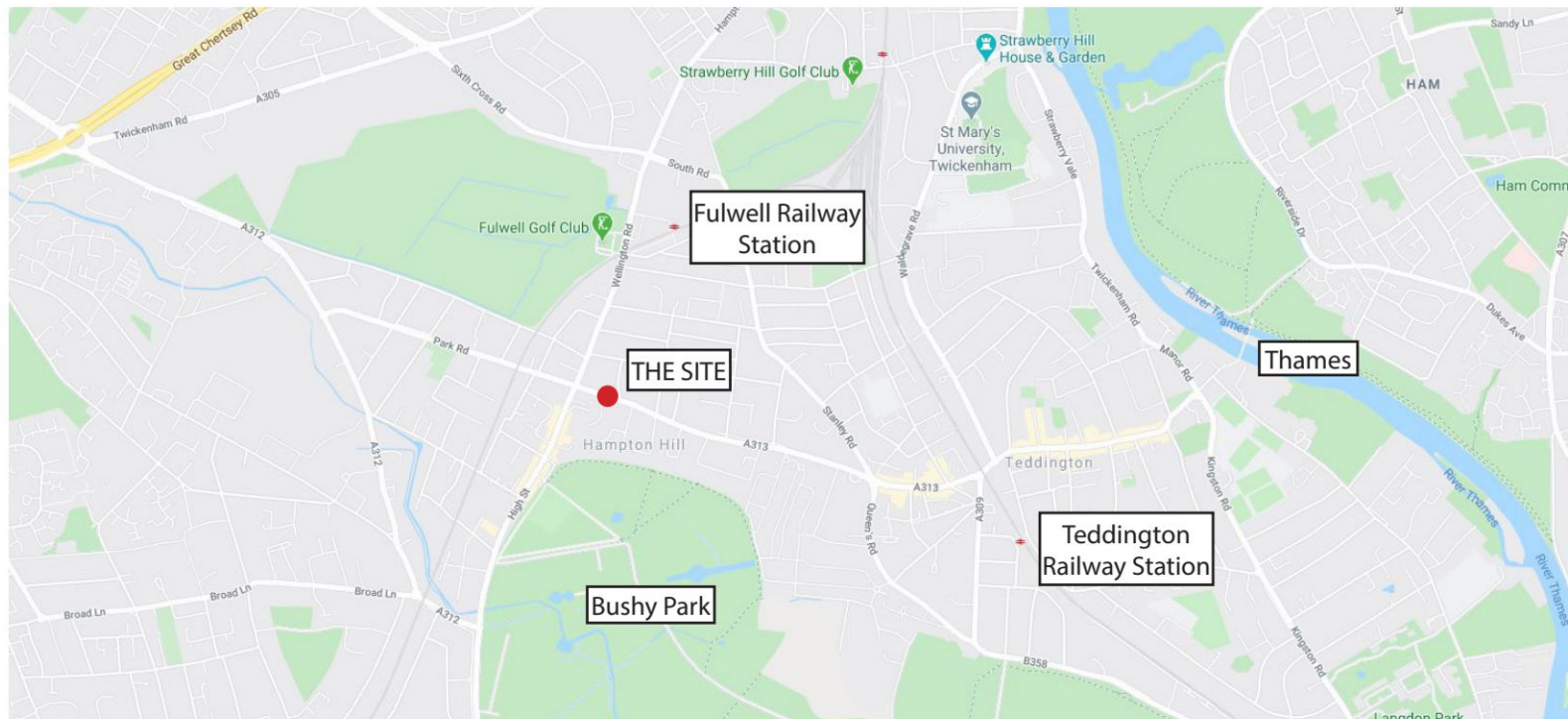


FIGURE 01 - SITE LOCATION



## 1.1 SITE LOCATION

No 3-4 New Broadway, Hampton Rd, Hampton Hill TW12 1JG

## 1.2 BACKGROUND

Mark Smith Architects Ltd were asked to prepare a planning application to formalise and reconcile the following two planning applications:

20/2395/VRC (19/3704/FUL)

*Part single, part two-storey rear extension to allow the expansion of both ground floor retail / commercial units and the sub-division of the existing 3 bedroom first floor flat to form 2No. 1-bedroom flats and the construction of a mansard style roof extension to provide a further 2No. 1 bedroom flats at second floor level. Re-siting of existing front doors at ground floor level of the residential units.*

22/3328/FUL

*Ground floor conversion from commercial to two 1B1P self-contained dwellings. Single storey rear extension to accommodate one new 2B4P self-contained dwelling.*



FIGURE 02 - SITE CONTEXT



## 1.3 SITE CONTEXT

No. 3 - 4 New Broadway is located in Hampton Hill, within the London Borough of Richmond upon Thames. The nearest train station is Fullwell, 700m north of the site. The subject site is part of a parade of 6 units in New Broadway.

Bushy Park, 600m south of the site, is a short walk away and offers substantial open space and various external amenity activities. Hampton Hill High Street is 50m away offering further shops, cafes and restaurants.

Fulwell and Hampton Hill is primarily residential as are the buildings opposite and to the rear of the subject site. The scale is suburban with mostly two/three storey buildings with pitched roofs and rear extensions. There are buildings up to four storeys on the junction of Hampton Road and the High Street.

The principle building material in the surrounding context is brick although there are some rendered buildings. There are a mix of slate roofs and flat roofs with rooflights. Windows are mostly white framed (timber/aluminium/PVC).

# BACKGROUND

## 1.4 EXISTING BUILDING

The subject site is not in a conservation area, nor are there any listed buildings or structures. The existing building on the site is 2 storeys with retail at ground floor and residential on the first floor which is accessed directly from a front door on New Broadway.

No. 3-4 is part of a 1920's parade (1-6 New Broadway). The facade of the existing buildings are finished in render around the shopfronts, pebble dash to the first floor with a brick parapet (triple basket weave).

A garage is located on an external area to the rear of the site. This area and garage is accessed from a rear road which is accessed from Hampton Road.

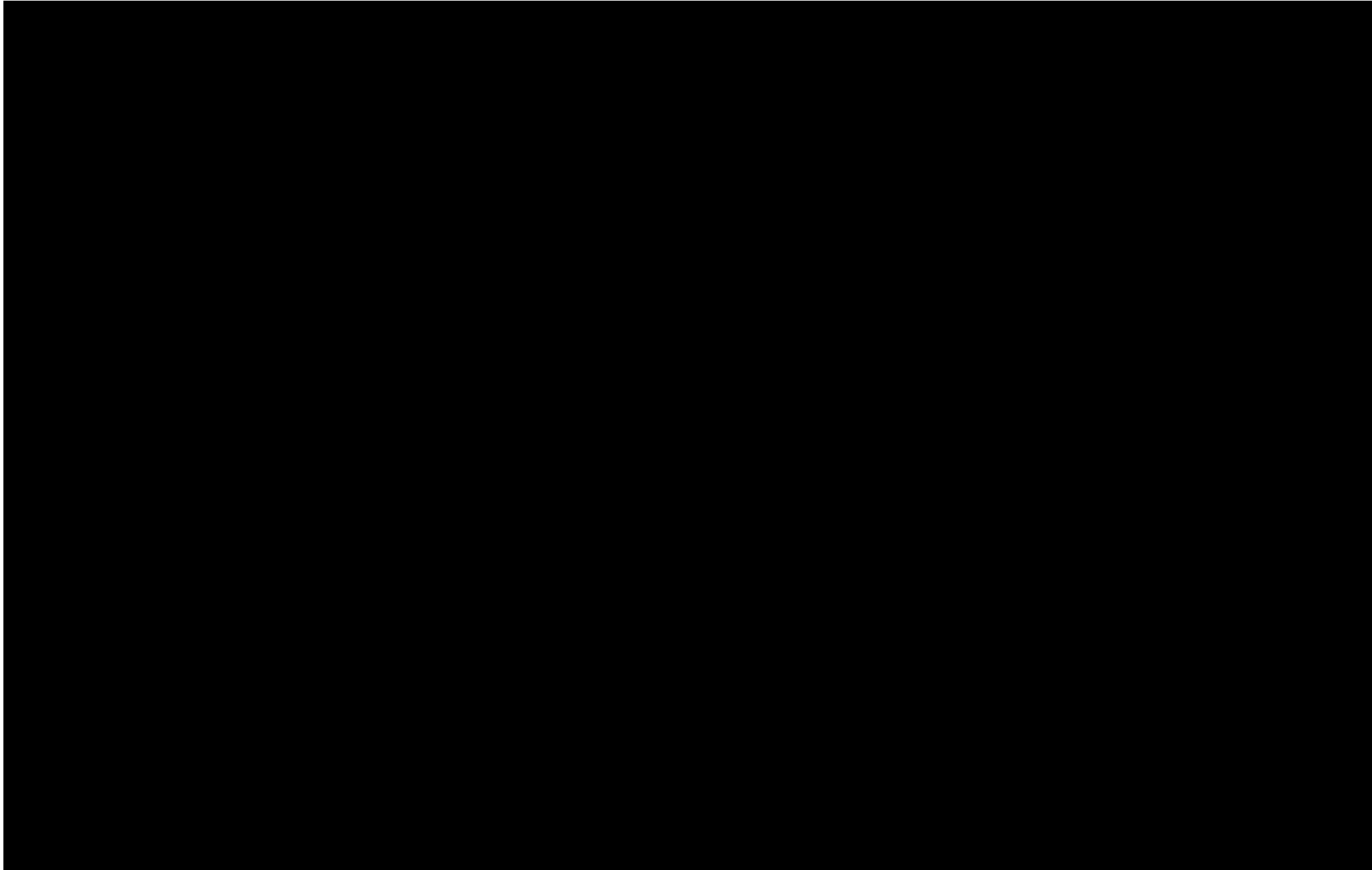


FIGURE 03 - EXISTING REAR ELEVATION



FIGURE 04 - EXISTING 1-6 NEW BROADWAY (NO. 3&4 IN MIDDLE)

# PLANNING CONTEXT

## 2.1 PLANNING HISTORY

(PLANNING REF: 16/0983/FUL)

Conversion of existing 3 bedroom flat into 2 x 1 bedroom flats;  
GRANTED ON APPEAL 09.06.17

(PLANNING REF: 16/4908/FUL)

Formation of additional floor of accommodation in the form of a mansard style roof extension to facilitate the provision of 1 no. 2 bedroom flat. Conversion of existing first floor 3 bedroom flat into 2 x 1 bedroom flats. Re-siting of existing front doors;  
GRANTED 19.06.17

(PLANNING REF: 17/2957/FUL)

Formation of additional floor of accommodation in the form of a mansard style roof extension to facilitate the conversion of existing first floor 3 bedroom flat into 2x1 bedroom flats and provision of 2x1 bedroom flats at second floor level through the mansard roof; re-siting of existing front doors at ground floor level of the residential units and enlargement of first floor rear windows including new Juliet balconies.  
GRANTED 20/12/2017

(PLANNING REF: 18/1948/FUL)

Single-storey ground floor rear extensions (additional A1 (Retail floorspace)), new patio and boundary fence to rear of existing ground floor retail units.  
GRANTED 28/09/2018

(PLANNING REF: 19/3704/FUL)

Part single, part two-storey rear extension to allow the expansion of both ground floor retail / commercial units and the sub-division of the existing 3 bedroom first floor flat to form 2No. 1-bedroom flats and the construction of a mansard style roof extension to provide a further 2No. 1 bedroom flats at second floor level. Re-siting of existing front doors at ground floor level of the residential units.  
GRANTED 06/08/2020

(PLANNING REF: 21/2665/GPD13)

Proposed change of use from A1 (retail) units to 2No. 1 bed apartments C3 (residential) Use Class  
GRANTED 16/10/2021

(PLANNING REF: 22/3328/FUL)

Ground floor conversion from commercial to two 1B1P self-contained dwellings. Single storey rear extension to accommodate one new 2B4P self-contained dwelling.  
GRANTED 07.03.23

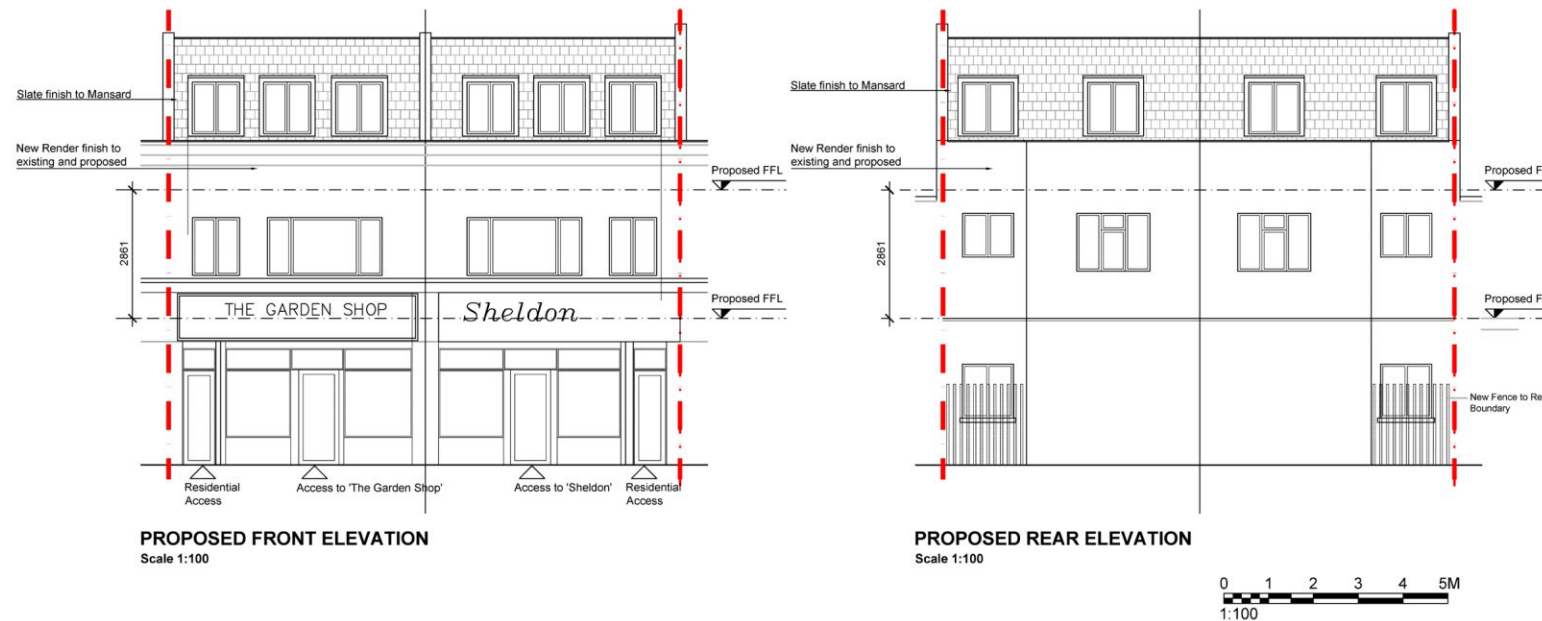
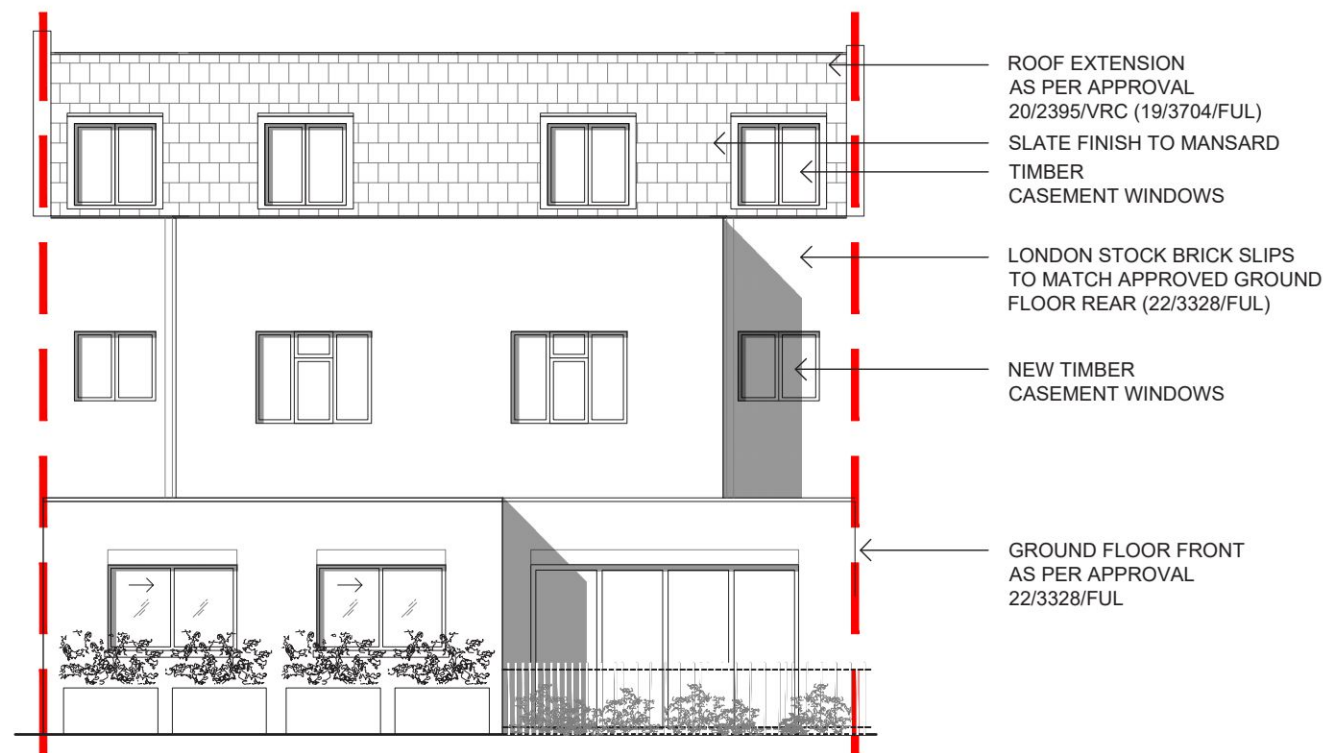
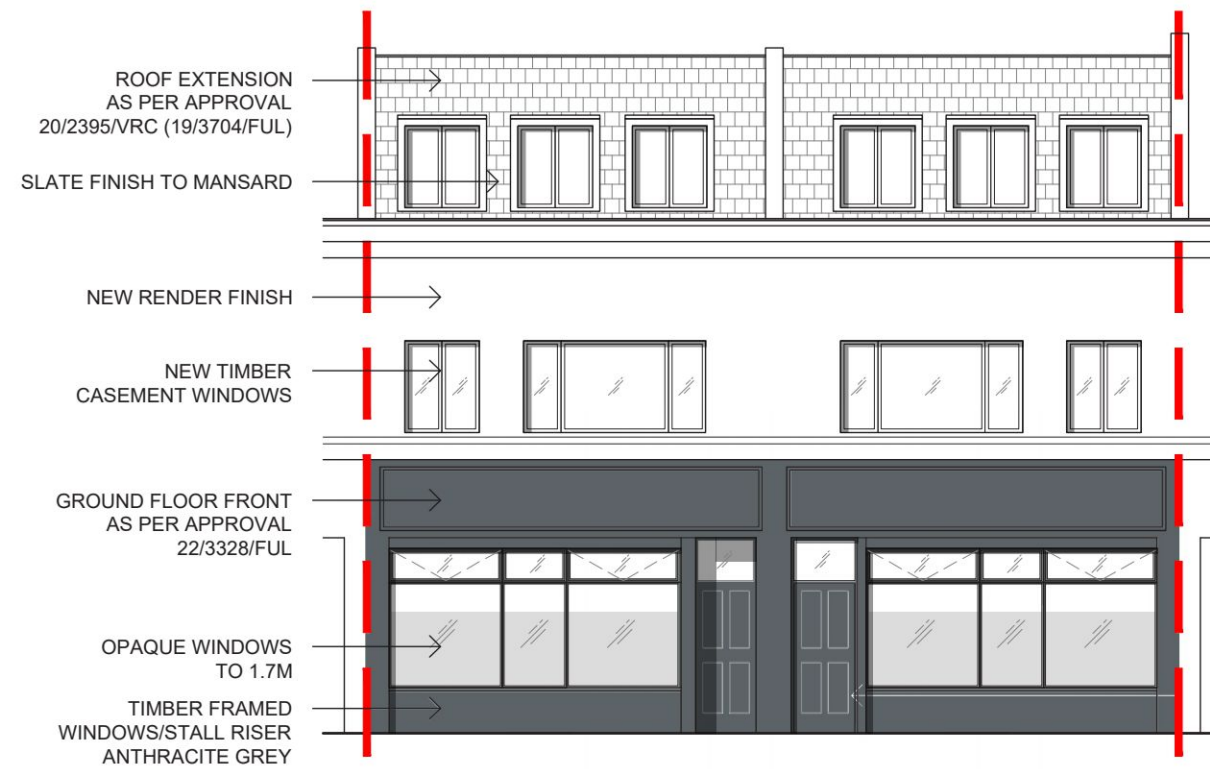


FIGURE 05 - APPROVED NEW STOREY ELEVATIONS 19/3704/FUL



FIGURE 06 - APPROVED GROUND REAR EXTENSION ELEVATION AND FRONT ELEVATION ALTERATIONS 22/3328/FUL

# PROPOSALS



## 3.1 PROPOSALS

Refer to the proposed elevations in Figure 07 opposite and the proposed plans in Figure 08 on the following page.

The proposals are to formalise and reconcile the following two planning applications: 20/2395/VRC (19/3704/FUL) & 22/3328/FUL.

The principle of both applications remain entirely the same and the mix, and dwelling types of the proposed dwellings are as per their respective approvals. Massing of both the rear and roof extensions remain within the parameters of each approval. Lastly, the external appearance of the roof and rear extensions are as per the approvals.

The ground floor plan and ground front elevation, including central single communal entrance is identical to approval 22/3328/FUL. To reconcile this arrangement with the upper floor approval 20/2395/VRC (19/3704/FUL), the internal layout of the upper floors is adjusted in the following ways;

- The single central staircase is extended to the upper floor dwellings, in lieu of two separate access stairs.
- The position of the approved bathrooms is adjusted.
- The central rear dormer of each second floor flat is moved 100mm.

Note that each upper floor dwelling continues to have the benefit of a cycle store.

FIGURE 07 - PROPOSED FRONT AND REAR ELEVATIONS

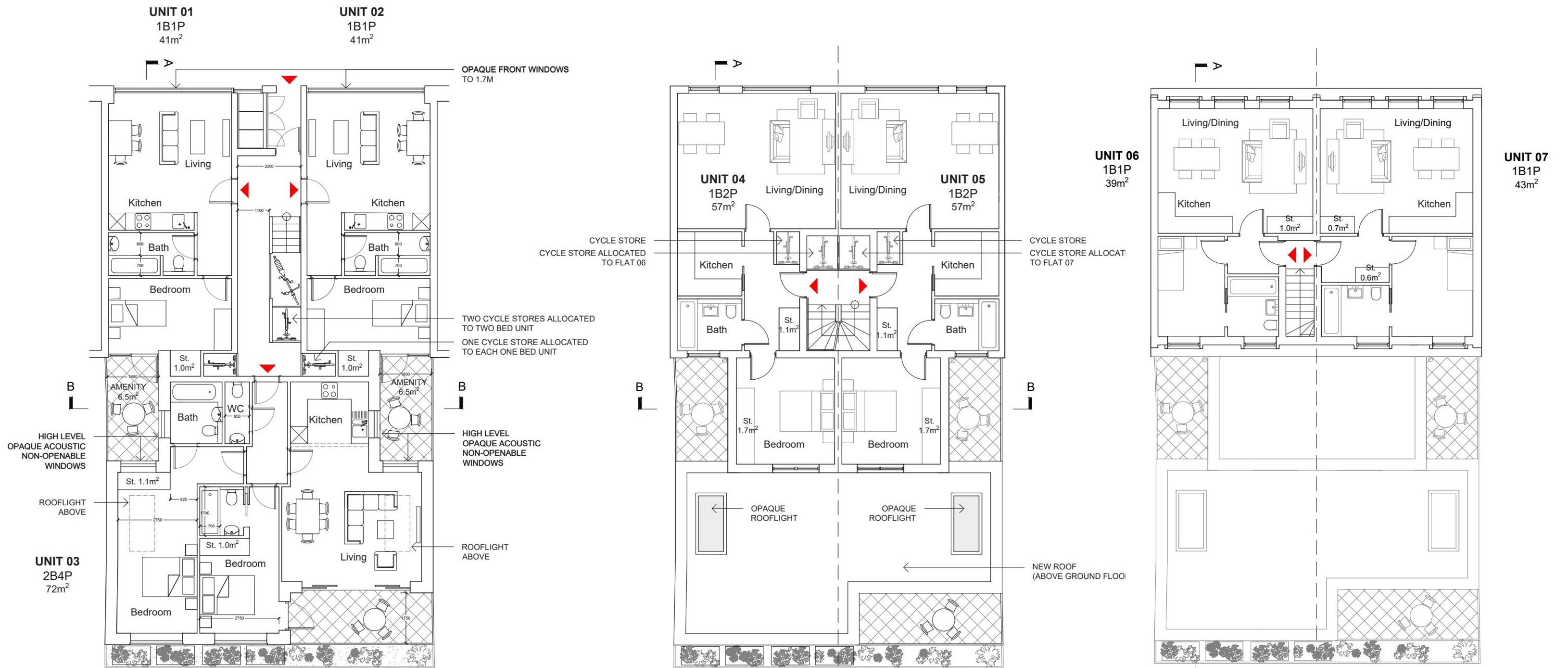
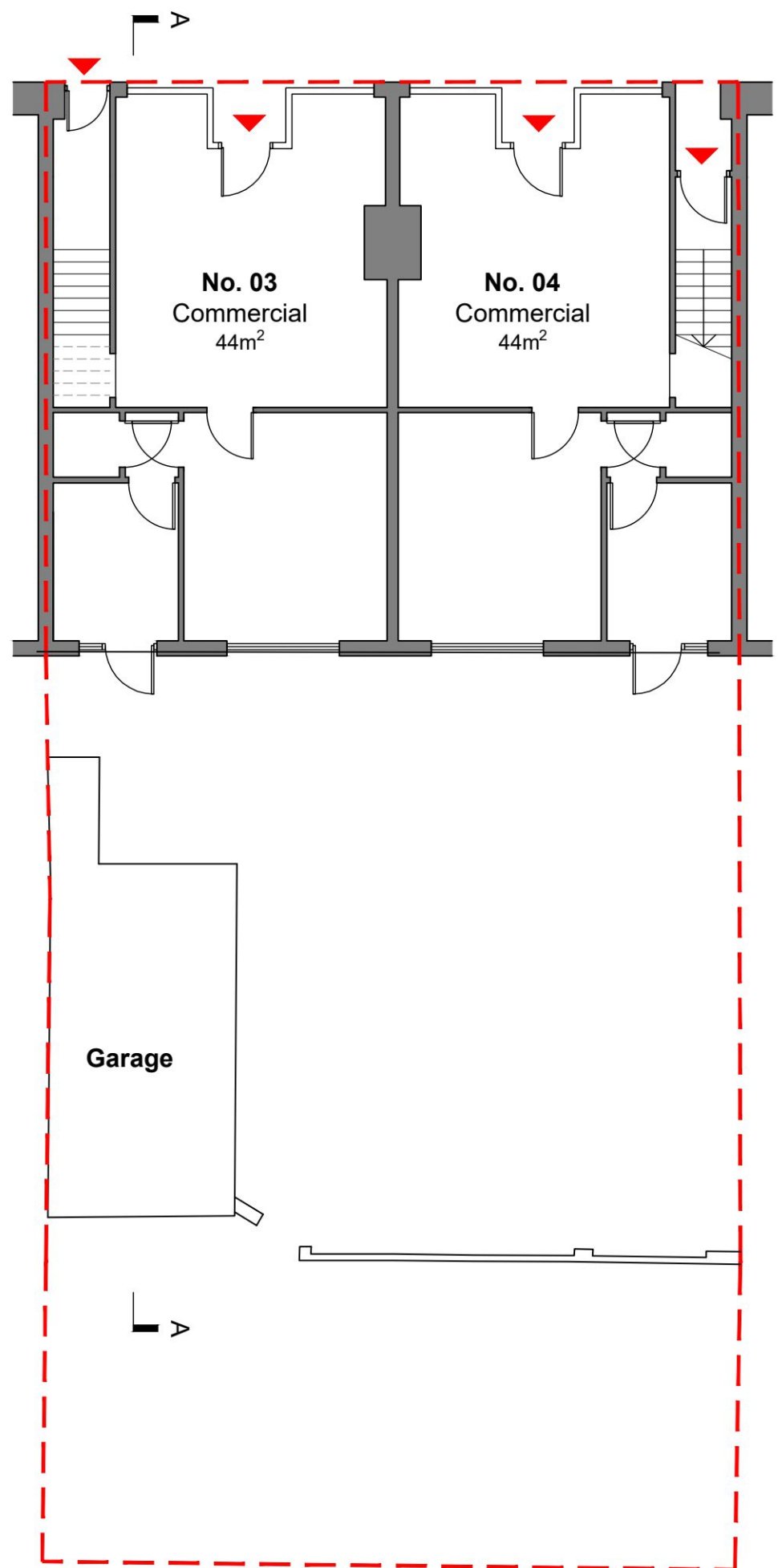


FIGURE 08 - PROPOSED GROUND / FIRST / SECOND FLOORS

## 4.0 EXISTING AND PROPOSED DRAWINGS





All dimensions to be checked on site prior to construction or manufacture. Refer also to written specification of works where applicable. No dimensions should be scaled from this drawing for construction purposes. Any discrepancies found between this drawing and other drawings should be referred to consultants immediately.

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REV	AMENDMENTS	DATE

PROJECT New Broadway/ Hampton Road
CLIENT

DRAWING Existing Plans		
SCALE 1:100 @ A3	DATE JUNE 2023	CHECKED MS

STATUS PLANNING	
DRAWING No. 2103_PL.05_001	REVISION

Mark Smith Architects Limited



Existing Front Elevation



Existing Rear Elevation



Existing Rear Elevation (at site boundary showing garage/boundary wall)



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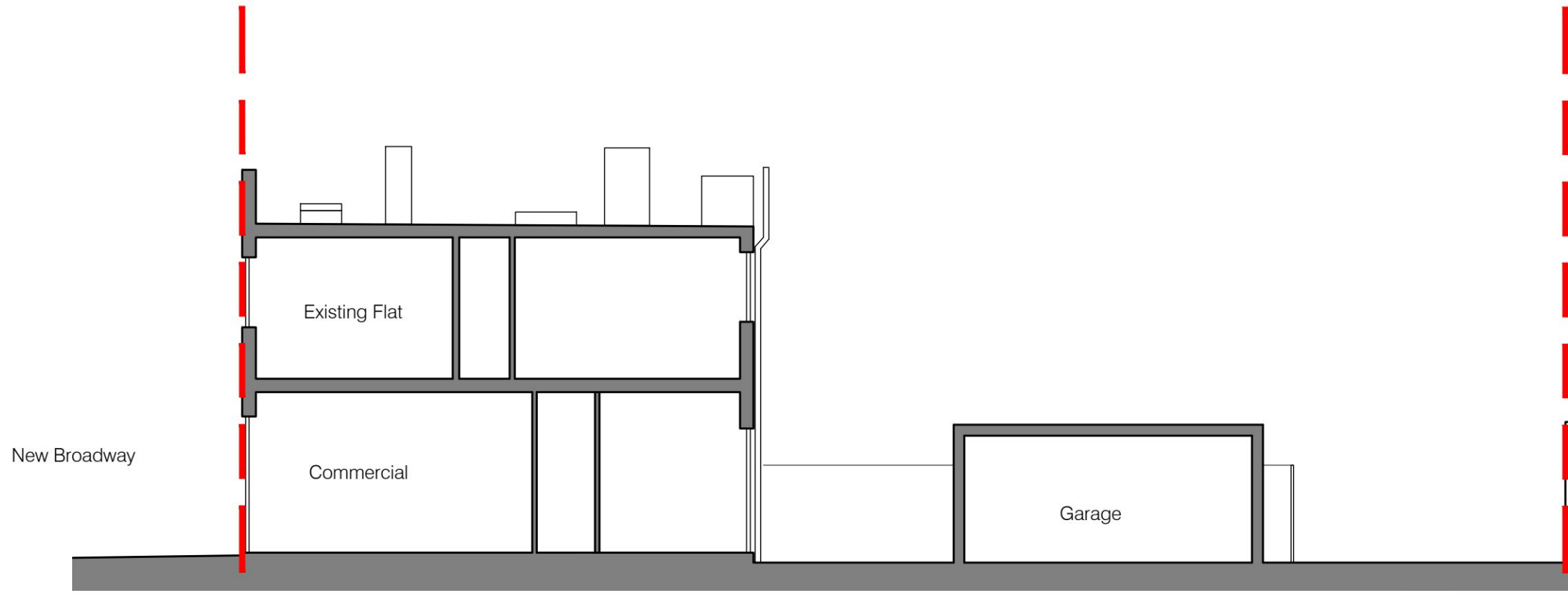
REV	AMENDMENTS	DATE

PROJECT New Broadway/ Hampton Road
CLIENT

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SCALE 1:100 @ A3
DATE JUNE 2023
CHECKED MS

STATUS PLANNING
DRAWING No. 2103_PL.05_005
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Existing Section A-A



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PROJECT New Broadway/ Hampton Road
CLIENT

DRAWING Existing Section A-A		
SCALE 1:100 @ A3	DATE JUNE 2023	CHECKED MS

STATUS PLANNING	
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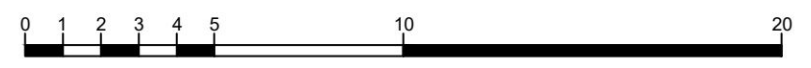
18e

L

9

179

Falstaff  
Mews



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PROJECT  
New Broadway/ Hampton Road

CLIENT

DRAWING  
Proposed Site Plan

SCALE  
1:200 @ A3

STATUS  
PLANNING

DATE  
JUNE 2023

CHECKED  
MS

REVISION

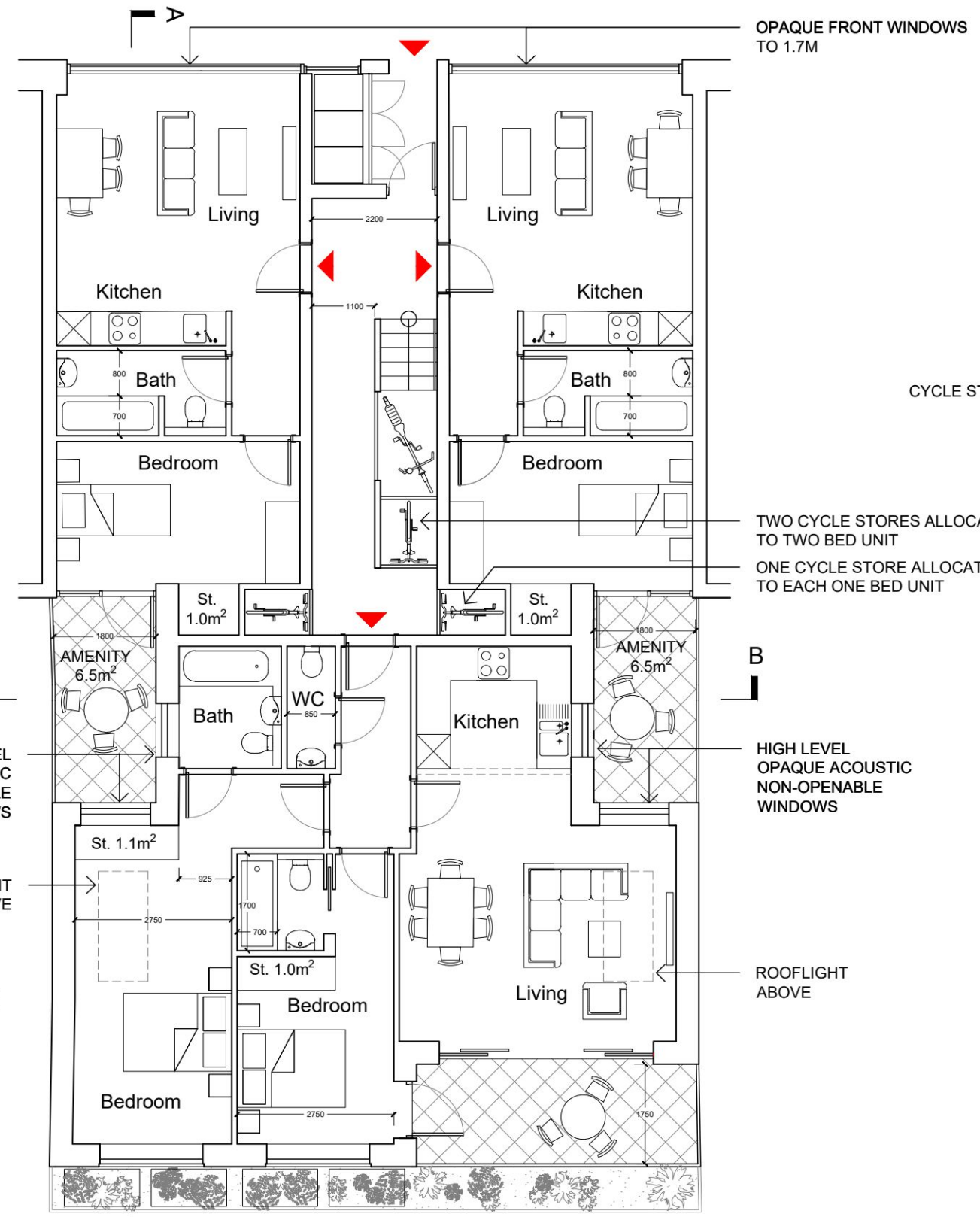
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**UNIT 01**  
1B1P  
41m<sup>2</sup>

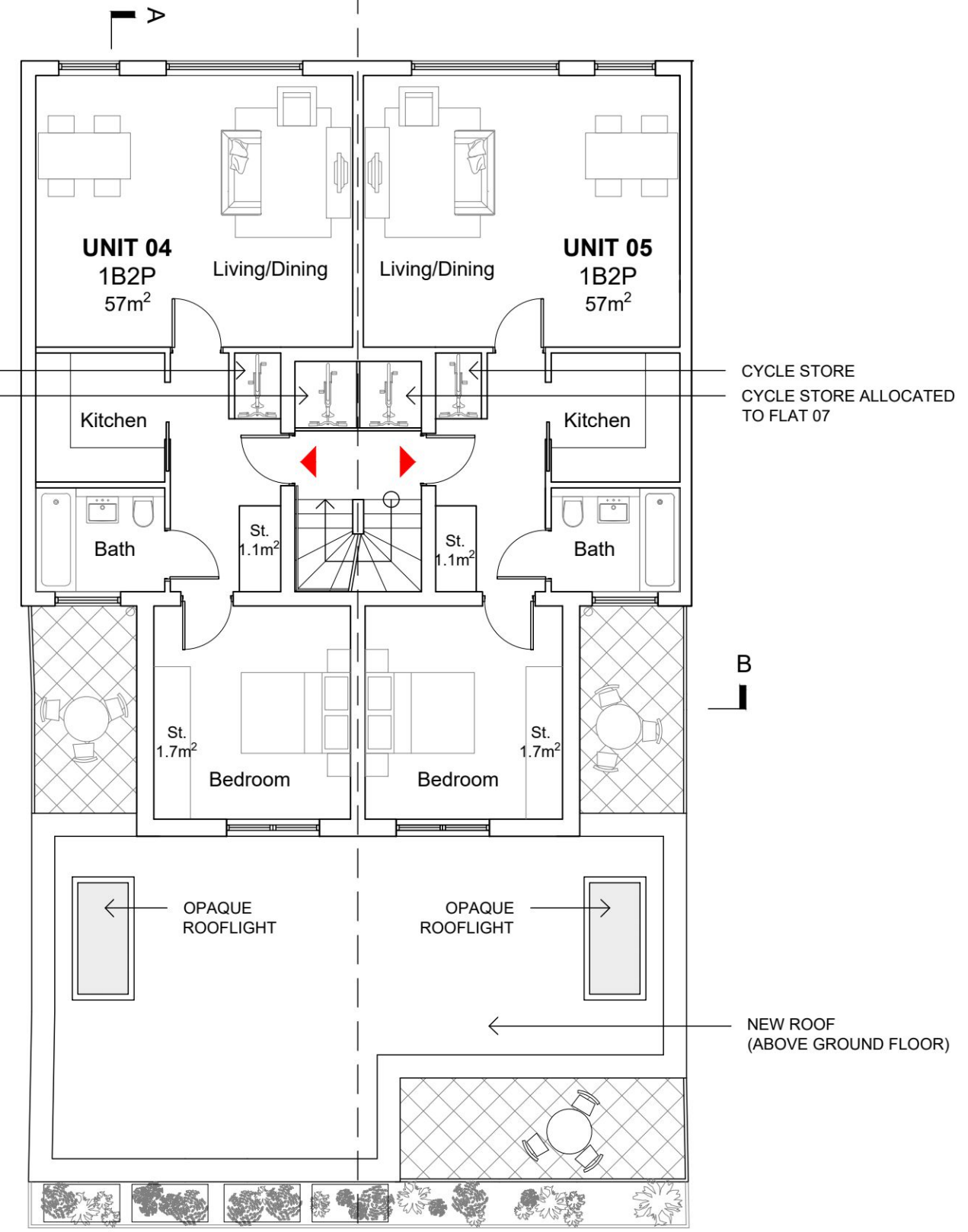
**UNIT 02**  
1B1P  
41m<sup>2</sup>



Proposed Ground Floor Plan

**UNIT 04**  
1B2P  
57m<sup>2</sup>

**UNIT 05**  
1B2P  
57m<sup>2</sup>



Proposed First Floor Plan



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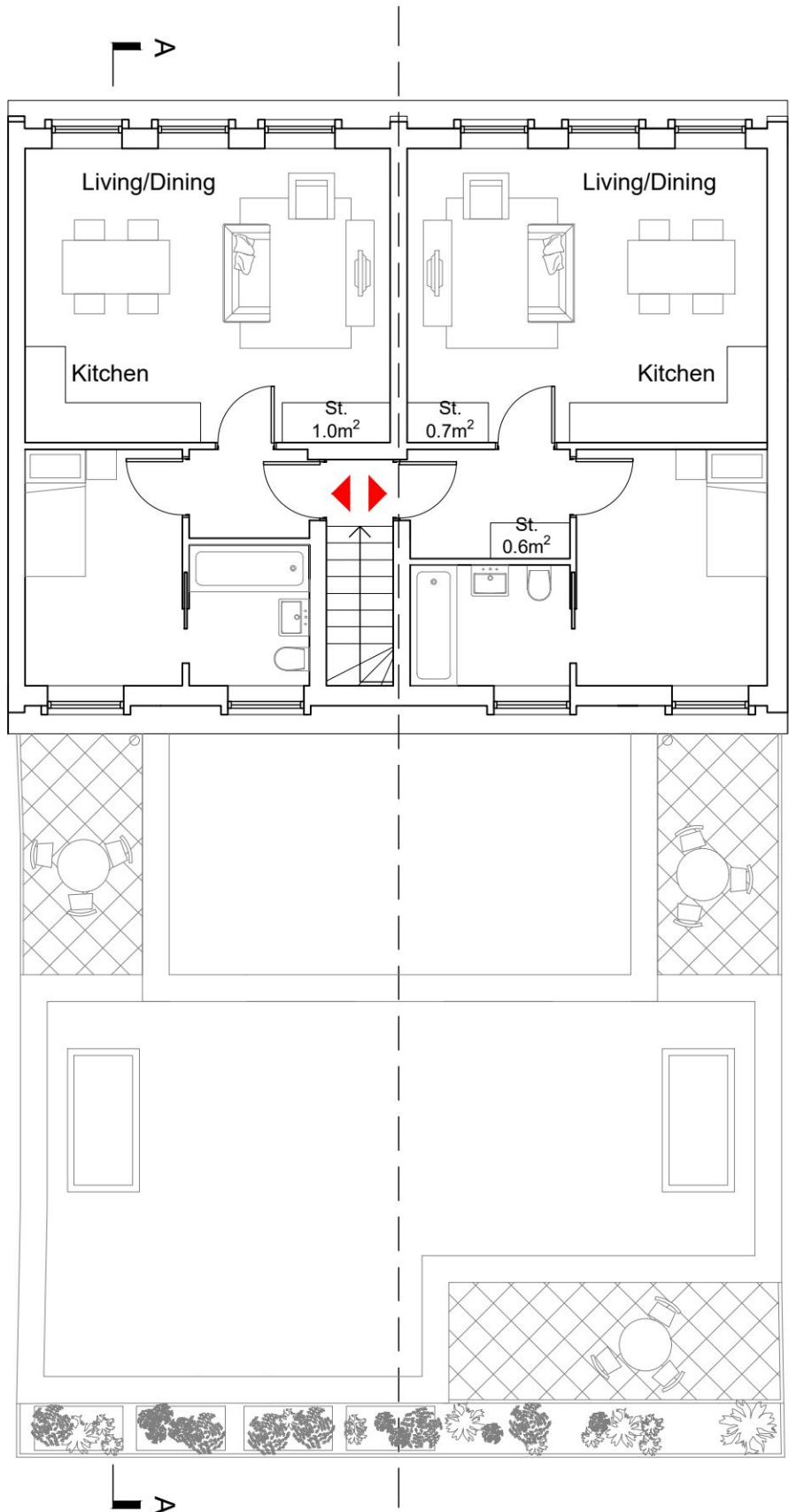
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SCALE 1:100 @ A3
DATE JUNE 2023
CHECKED MS

STATUS PLANNING
DRAWING No. 2103_PL.05_101
REVISION

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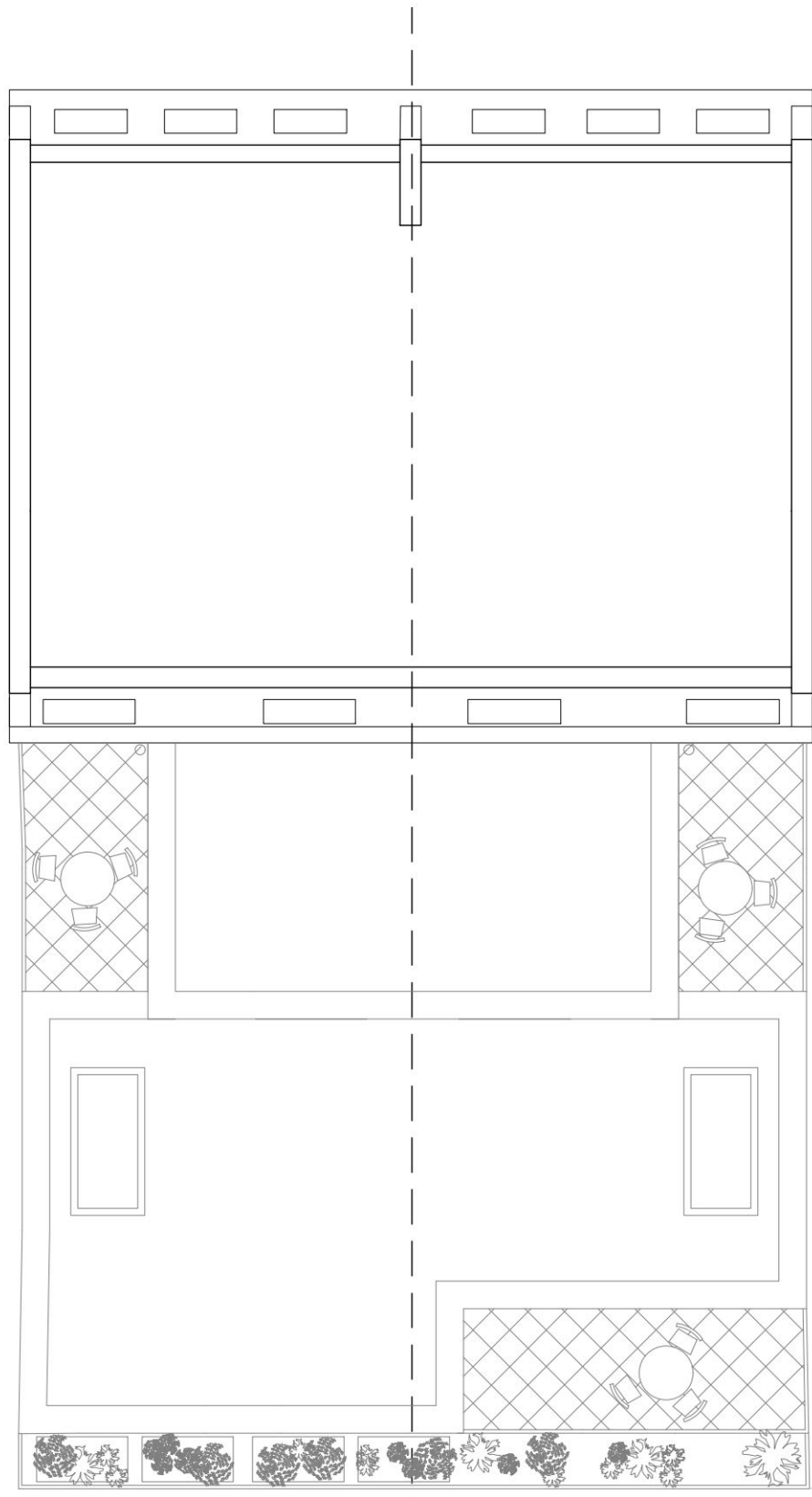


**UNIT 06**  
1B1P  
39m<sup>2</sup>



Proposed Second Floor Plan

**UNIT 07**  
1B1P  
43m<sup>2</sup>



Proposed Roof Plan



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PROJECT New Broadway/ Hampton Road
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SCALE 1:100 @ A3	DATE JUNE 2023	CHECKED MS

STATUS PLANNING	
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ROOF EXTENSION  
AS PER APPROVAL  
20/2395/VRC (19/3704/FUL)

SLATE FINISH TO MANSARD

NEW RENDER FINISH

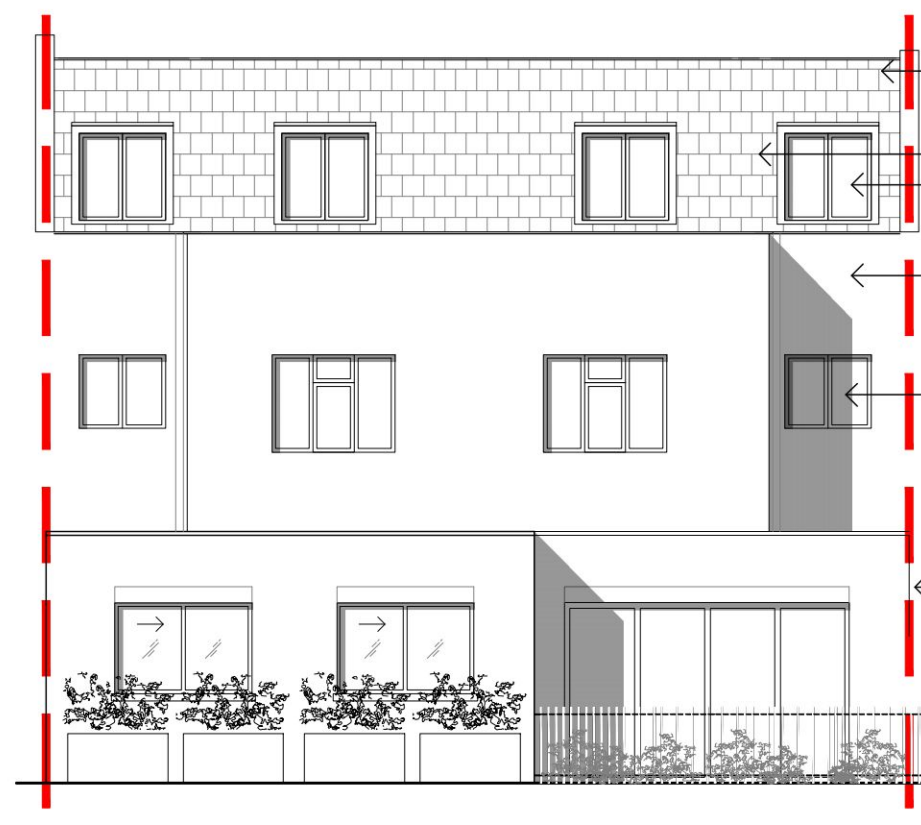
NEW TIMBER  
CASEMENT WINDOWS

GROUND FLOOR FRONT  
AS PER APPROVAL  
22/3328/FUL

OPAQUE WINDOWS  
TO 1.7M

TIMBER FRAMED  
WINDOWS/STALL RISER  
ANTHRACITE GREY

Proposed Front Elevation



ROOF EXTENSION  
AS PER APPROVAL  
20/2395/VRC (19/3704/FUL)

SLATE FINISH TO MANSARD  
TIMBER  
CASEMENT WINDOWS

LONDON STOCK BRICK SLIPS  
TO MATCH APPROVED GROUND  
FLOOR REAR (22/3328/FUL)

NEW TIMBER  
CASEMENT WINDOWS

GROUND FLOOR FRONT  
AS PER APPROVAL  
22/3328/FUL



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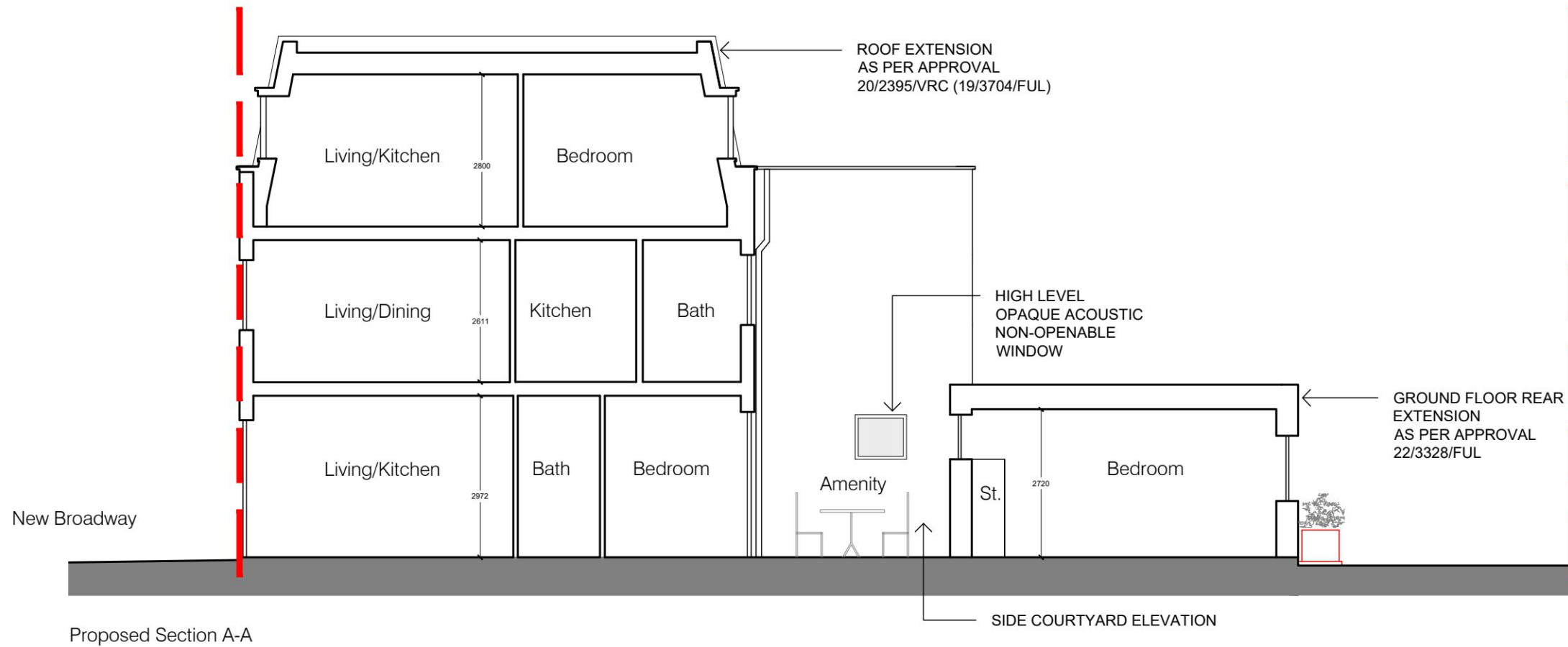
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PROJECT New Broadway/ Hampton Road
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SCALE 1:100 @ A3	DATE JUNE 2023	CHECKED MS

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REV	AMENDMENTS	DATE

PROJECT  
New Broadway/ Hampton Road

CLIENT

DRAWING  
Proposed Section A-A

SCALE  
1:100 @ A3

DATE  
JUNE 2023

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PLANNING

DRAWING No.  
2103\_PL.05\_110

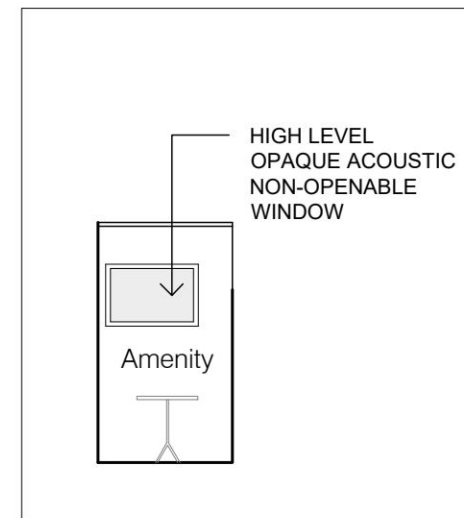
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Proposed Section B-B



Proposed End Courtyard Elevation



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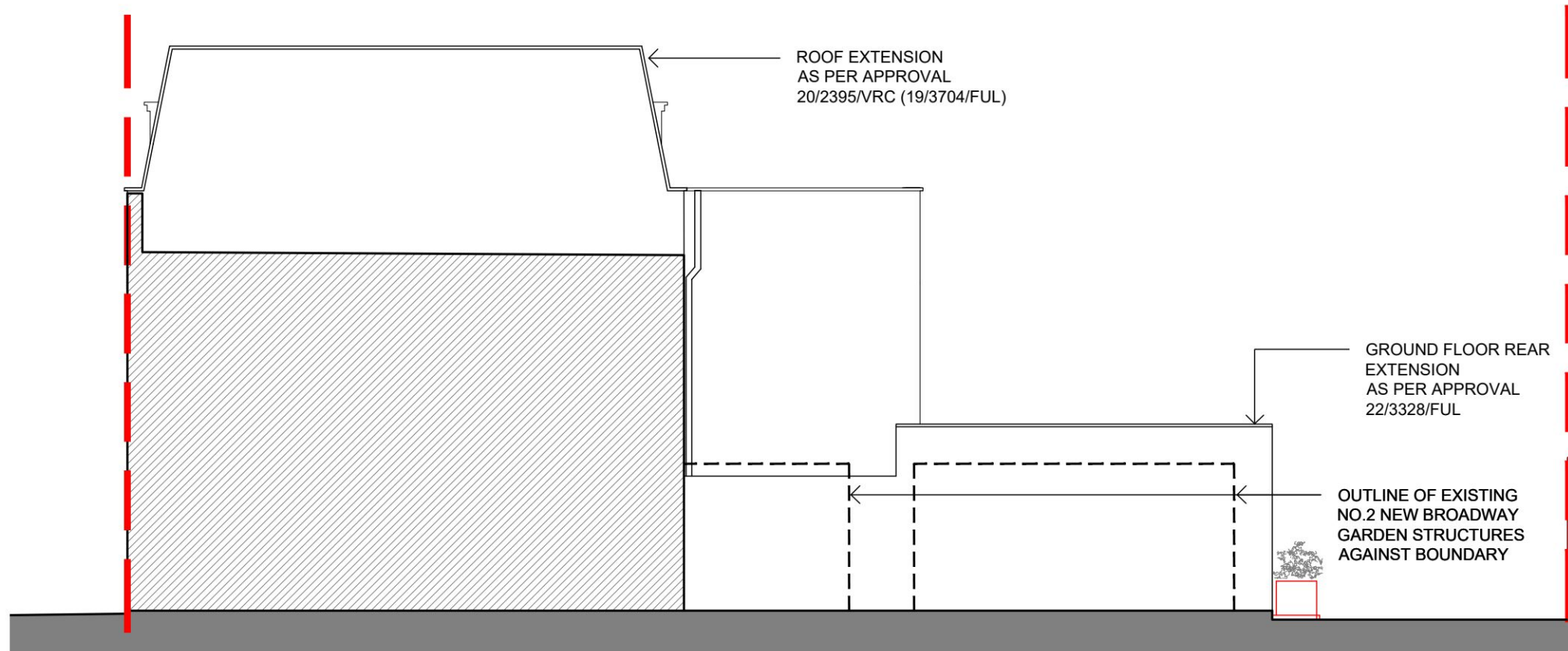
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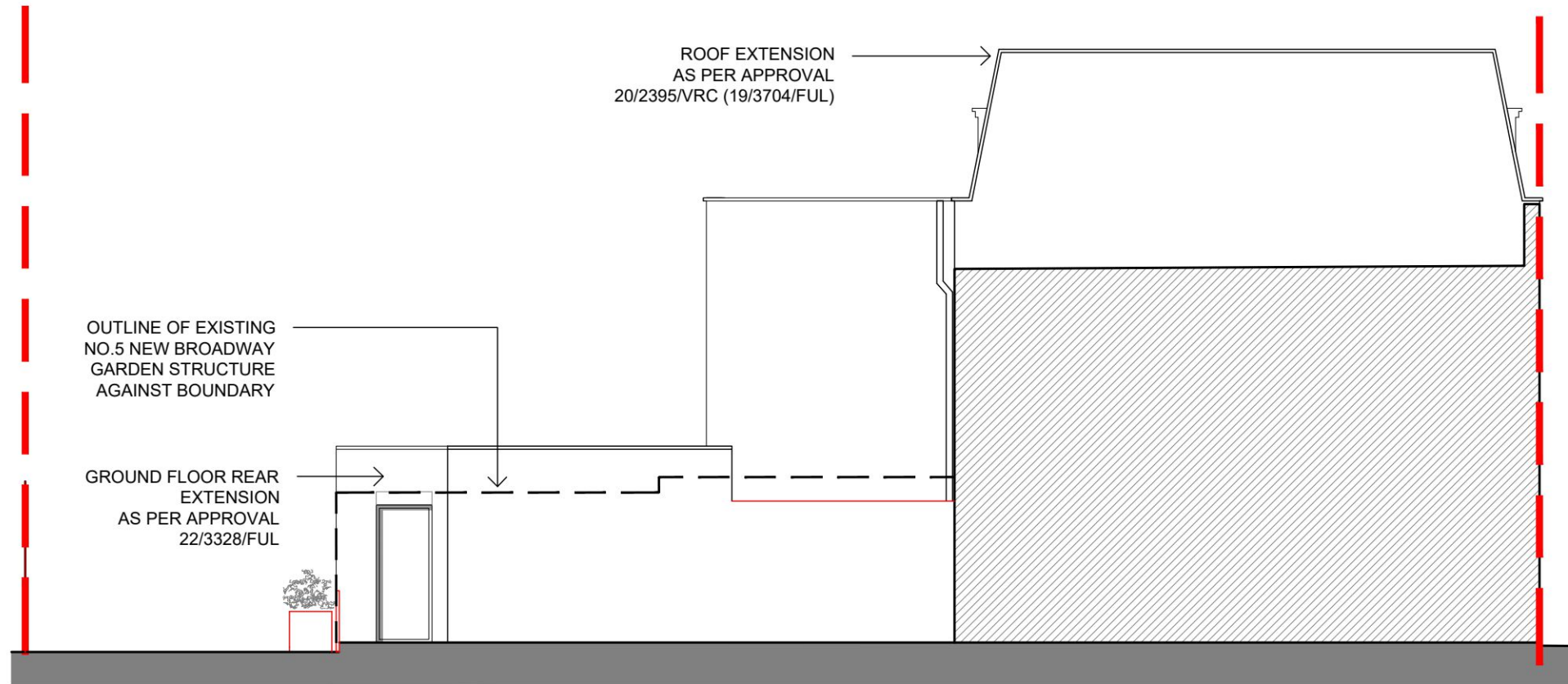
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Proposed West Elevation



Proposed East Elevation



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PROJECT New Broadway/ Hampton Road
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DRAWING Proposed Side Elevations		
SCALE 1:100 @ A3	DATE JUNE 2023	CHECKED MS

STATUS PLANNING	
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