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Former Stag Brewery, Mortlake: Heritage Impact Assessment



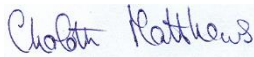
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1. INTRODUCTION AND METHODOLOGY

1.1. Origin and scope of the project

- 1.1.1. PCA Heritage has been commissioned by Pre-Construct Archaeology on behalf of Waterman to prepare a heritage impact assessment (hereafter 'HIA'). The assessment is intended to support a planning application for the use of land at the former Stag Brewery, Mortlake, London Borough of Richmond upon Thames (hereafter 'the site'; for location see Fig 1) for film production operations and ancillary activities (*sui generis*).
- 1.1.2. The planning application is for use of the existing buildings and land for film production operations and ancillary activities. The application seeks planning permission for the use of the whole site for filming purposes and associated ancillary activities. Initially, it is envisaged that the operator will only utilise Buildings 11, 12, 14 and 15 (see Fig 2) as well as yard areas in the east of the site and an external area adjacent to the maltings building (Building 9). All necessary information has been submitted alongside the application to enable the immediate occupation of these buildings and should other buildings on the site be required to be utilised under the permission, it is envisaged that further details would be required to be provided by way of a suitably worded condition attached to the permission. It should also be noted that the application also includes the erection of external film sets outside of the maltings building (Building 9). The application would be limited in duration by a legal agreement, so that it would not preclude the hybrid 2022 planning application (Application A, planning ref: 22/0900/OUT) and detailed planning application for a school (Application B, planning ref: 22/0902/FUL) coming forward as and when these are granted planning permission. The existing buildings on the site and the extent of external filming use areas are referred to hereafter as the 'proposed development'.
- 1.1.3. The preparation of this HIA is in accordance with policies set out in Section 16 of the National Planning Policy Framework (NPPF, July 2021) and the standards and guidance provided by Historic England (2019), the Chartered Institute for Archaeologists (CIfA 2020) and the Institute of Historic Building Conservation (IHBC 2017).
- 1.1.4. The HIA identifies the built heritage assets (including conservation areas) that will potentially be affected by the development proposals and assesses the potential impact on their significance (otherwise known as their heritage value), including any direct physical change or change to their setting. The HIA draws on a Built Heritage Assessment of the site produced in 2022 (Waterman 2022) to assess the heritage impacts of a proposed comprehensive redevelopment of the former Stag Brewery.
- 1.1.5. The HIA may be used by local authorities to help them formulate an appropriate response to the proposed development.

1.2. Report objectives

- 1.2.1. The objective of the HIA is to gain an understanding of the local built heritage resource in order to be able to formulate:

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- an assessment of the significance of known built heritage assets within a framework of their archaeological, historic, architectural and artistic interests;
- an assessment of the impact of the proposed development on the significance of known heritage assets and their settings; and
- design strategies to ensure new development makes a positive contribution to the character and local distinctiveness of the historic environment and local place-shaping.

1.3. Methodology

- 1.3.1. In 2022 Waterman Infrastructure & Environment Ltd, on behalf of Reselton Properties Limited, submitted a Built Heritage Assessment (hereafter referred to as 'BHA') in support of two linked planning applications for the comprehensive redevelopment of the former Stag Brewery (planning ref. 22/0900/OUT and 22/0902/FUL; Waterman 2022; Appendix 2). The redevelopment comprises demolition, alterations and extensions to existing buildings and the erection of new structures varying in height from three to nine storeys. The BHA provides historical background for the site, identifies designated and non-designated built heritage assets whose heritage value could potentially be affected by the redevelopment, and provides an assessment of their heritage value (significance) and contribution of setting to that value.
- 1.3.2. Given that the site falls within the scope and extent of the BHA's study area (Appendix 2), the BHA's scoping exercise, statements of significance and setting assessments have been used in this HIA. Further, in order to avoid duplication of effort, the BHA's historical background for the site has been used.
- 1.3.3. A site visit was undertaken on 20 July 2022 to determine matters of setting with respect to the proposed development. Wireframe photomontages of the proposed development have been utilised in the production of this HIA. The photomontages are based on maximum parameter heights and do not include any details of the external film sets which were not known at the time of writing, and should, therefore, be treated as indicative only. Viewshed analysis based on Environment Agency 1m composite DSM (digital surface model) has been undertaken to help determine intervisibility between the site and the heritage assets identified within the study area.
- 1.3.4. NPPF defines the term 'heritage asset' as a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions because of its heritage interest. The term embraces all manner of features, including buildings, parks and gardens, standing, buried and submerged remains, and sites and landscapes, whether they have been formally designated or not, and whether or not capable of future designation.
- 1.3.5. Heritage value (sometimes known as the significance or importance of a heritage asset) is a term used to capture the qualities that make an otherwise ordinary place a heritage asset. The heritage value of a heritage asset is the sum of its architectural and artistic, historic and/or archaeological interests (Historic England 2017a, 2019) and may be ascribed a level. The criteria of each level are set out in Table 1 and follow those given in the Design Manual for Roads and Bridges (DMRB) Volume II, Section 3, Part 2, LA 104, page 13 issued by the Highways

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Agency in August 2020. Although the DMRB, as its name suggests, provides guidance for highways schemes, its methodology is widely used for determining cultural heritage impacts within a development context and, accordingly, has been used to guide this assessment.

Heritage value	Description
Very high	Very high importance and rarity, international scale and very limited potential for substitution.
High	High importance and rarity, national scale, and limited potential for substitution.
Medium	Medium or high importance and rarity, regional scale, limited potential for substitution.
Low	Low or medium importance and rarity, local scale.
Negligible	Very low importance and rarity, local scale.

Table 1: The characteristics that define heritage value

- 1.3.6. The significance of effect arising from change to heritage assets is determined by weighing the heritage value of each asset against the predicted level of change (in other words, the magnitude of impact, Table 2). Effects can be beneficial or adverse. This is not intended to lead to a formulaic assessment and professional judgement is used at all stages in the process (Table 3).

Magnitude of impact		
Major	Adverse	Loss of resource and/or quality and integrity of resource; severe damage to key characteristics, features or elements.
	Beneficial	Large scale or major improvement of resource quality; extensive restoration; major improvement of attribute quality.
Moderate	Adverse	Loss of resource, but not adversely affecting the integrity; partial loss of/damage to key characteristics, features or elements.
	Beneficial	Benefit to, or addition of, key characteristics, features or elements; improvement of attribute quality.
Minor	Adverse	Some measurable change in attributes, quality or vulnerability; minor loss of, or alteration to, one (maybe more) key characteristics, features or elements.
	Beneficial	Minor benefit to, or addition of, one (maybe more) key characteristics, features or elements; some beneficial impact on attribute or a reduced risk of negative impact occurring.
Negligible	Adverse	Very minor loss or detrimental alteration to one or more characteristics, features or elements.
	Beneficial	Very minor benefit to or positive addition of one or more characteristics, features or elements.
No change		No loss or alteration of characteristics, features or elements; no observable impact in either direction.

Table 2: Magnitude of impact

Heritage value	Magnitude of impact				
	No change	Negligible	Minor	Moderate	Major
Very high	Neutral	Slight	Moderate to large	Large to very large	Very large

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High	Neutral	Slight	Slight to moderate	Moderate to large	Large to very large
Medium	Neutral	Neutral to slight	Slight	Moderate	Moderate to large
Low	Neutral	Neutral to slight	Neutral to slight	Slight	Slight to moderate
Negligible	Neutral	Neutral	Neutral to slight	Neutral to slight	Slight

Table 3: Significance of effect

1.3.7. The matrix of effects is graded, with neutral to slight effects being the least significant, and very large effects the most significant. Significant effects are those that are slight to moderate, moderate, moderate to large, large to very large or very large. In this definition, effects that are neutral, neutral to slight or slight are not significant and not considered further, although will be subject to the same range of mitigation measures as significant effects.

1.4. Setting

1.4.1. All heritage assets have a setting, irrespective of the form in which they survive and whether they are designated or not. The setting of a heritage asset and the asset's curtilage may not have the same extent (Planning Practice Guidance paragraph 013).

1.4.2. NPPF policies, together with the accompanying Planning Practice Guidance (PPG) and Good Practice Advice Notes (GPA), provide the framework for the consideration of how change can affect the setting of designated and non-designated heritage assets. NPPF (Annex 2) defines the setting of heritage assets as:

The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

1.4.3. Historic England's *The Setting of Heritage Assets* (Historic England 2017b) provides a recommended staged approach to assessing the implications of development proposals on the significance of heritage assets. The stages are:

- Step 1: identify which heritage assets and their settings are affected;
- Step 2: assess whether, how and to what degree these settings make a contribution to the significance of the heritage asset(s);
- Step 3: assess the effects of the proposed development, whether beneficial or harmful, on that significance;
- Step 4: explore the way to maximise enhancement and avoid or minimise harm; and
- Step 5: make and document the decision and monitor outcomes.

1.5. Limitations

1.5.1. This report has been prepared solely for the titled project and should not be relied upon by, or transferred to, any third party without prior written authorisation of PCA Heritage. PCA

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- 1.5.2. This report has been prepared on the basis of the proposed end land use defined by the client. If this proposed end land use is changed, it will be necessary to review the findings of the report. It should be noted that some of the aspects considered in this study are subject to change with time. Therefore, if the development is delayed or postponed for a significant period then it should be reviewed to confirm that no changes have taken place, either at the site or within relevant legislation.

2. THE SITE AND THE PROPOSED DEVELOPMENT

- 2.1.1. The site is centred on National Grid Reference 520380 176022 (Figs 1 and 2). It comprises the former Stag Brewery, a walled parcel of land extending to approximately 6.6ha, occupied by a mixture of large-scale industrial brewery structures and hardstanding, and part of a playing field in the south-west known as Watney's Sports Ground (cf. Section 5.1.11). Ship Lane, a public highway, bisects the site north to south. To the north-west the site borders residential properties and to the north-east it is defined by the Thames Path. The southern boundary of the site is formed by Mortlake High Street and Lower Richmond Road. To the south-west, the site's boundary crosses the aforementioned Watney's Sports Ground and to the north-west, its boundary rests on Williams Lane.

- 2.1.2. Existing structures within the site include (cf. Fig 2):

- Offices (Building 1) – located to the north-east of the main brewery entrance. Rectangular in plan, five storeys, concrete and glass construction.
- Brewhouse (Building 2) – large metal structure, six storeys in height, originally containing brewing tanks and other machinery, currently in the process of being removed.
- Process Building (Building 3) – located on the western side of the main entrance route, adjacent to the cricket pitch. Large, eight storeys in height, metal clad with a first-floor level bridge to the Chip Cellar to the east.
- Chip Cellar (Building 4) – large industrial structure, four storeys in height, metal clad with large circular tanks on its north side, located on the east side of the main entrance track.
- Finishing Cellar (Building 5) – large metal-clad industrial building located just north of the Chip Cellar.
- Power House (Building 6) – located adjacent to the east side of Ship Lane, a late 20th-century brick and metal clad four-storey structure with a central brick chimney stack and a separate, taller, concrete stack to the south (Building 18).
- Powder Store (Building 7) – small, single-storey modern corrugated metal structure with a corrugated pitched roof, to the north of Finishing Cellar.
- Effluent Treatment (Building 8) – located north of Brewhouse in the western part of the site. Brick and metal cladding, with black concrete treatment facility to the east, as well

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as the brick foundations of two now demolished treatment tanks to the north. Two storeys in height.

- Maltings Building (Building 9) – Early 20th-century former maltings building, located adjacent to the River Thames.
- Former Hotel Building (Building 10) – Late 19th-century building located at the junction of Mortlake High Street, Lower Richmond Road and Sheen Lane, formerly a public house and then a hotel.
- Former Bottling Building (Building 11) – Mid- 19th-century building located on the north side of Mortlake High Street, formerly the bottling plant for the brewery.
- Packaging (Building 12) – otherwise known as the bottling halls, this is a large brick and metal clad flat-roofed structure, taking up the majority of the interior of the eastern part of the site. This has a mock 19th-century façade in stock brick on its south side with a Stag and Sunburst circular medallion inserted above its main entrance.
- Stable Court (Building 13) – the Site’s former maintenance depot, a utilitarian four-storey block of brick with a pitched metal-clad roof in the north-west corner of the site, with cleaning machinery for transport vehicles on its south side and a mechanics workshop on its western side.
- Sports Club (Building 14) – irregularly shaped two-storey building of red brick and concrete with metal windows on the west side of the main entrance, acting as offices and the sports pavilion.
- East Gatehouse (Building 15) – single-storey 20th-century brick structure with sliding brewery gates behind, located east of Ship Lane.
- West Gatehouse (Building 16) – single-storey brick and concrete entrance structure with ‘Stag Brewery’ sign on the roof, located west of Ship Lane.
- Co2 Block (Building 17) – two-storey building of brick, glass and metal-clad construction, located adjacent to the east side of Ship Lane.
- Chimney Stack (Building 18) – concrete stack located to the south of the Power House (Building 6).
- Boundary Walls (Building 19) – sections of the brick boundary walls to the north, east and south of the brewery site.
- Railway Tracks, Granite Paving and River Moorings (Building 20) – historic structures located adjacent to the northern boundary wall, alongside the river.

2.1.3. The planning application is for use of the existing buildings and land within the site for film production operations and ancillary activities. Initially, it is envisaged that the operator will only utilise Buildings 11, 12, 14 and 15 as well as yard areas in the east of the site and an external area adjacent to the maltings building (Building 9). All necessary information has been submitted alongside the application to enable the immediate occupation of these buildings and should other buildings on the site be required to be utilised under the permission, it is envisaged that further details would be required to be provided by way of a suitably worded condition attached to the permission. It should also be noted that the application also includes the erection of external film sets outside of the maltings building (Building 9). It is anticipated

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that the maximum height of the erected external sets will be 11.6m, with a suggested cap of 11.9-12.2m at the rear (i.e. towards the maltings building) and 10.7-11m at the front.

- 2.1.4. While detailed engineering drawings illustrating these proposals were not available as the HIA was prepared, it is understood that the proposed film set will not require alterations to the fabric of known heritage assets within the site (see Section 7), nor require any excavations that have the potential to impact any buried archaeological remains that may exist within the site. However, should it later become evident that physical impacts to heritage assets could occur, it is recommended that a revised impact assessment of such impacts be prepared, and an appropriate mitigation strategy developed.

3. PLANNING BACKGROUND

3.1. National legislation

Ancient Monuments and Archaeological Areas Act 1979

- 3.1.1. Current legislation, in the form of the Ancient Monuments and Archaeological Areas Act 1979, provides for the legal protection of important and well-preserved archaeological sites and monuments through their addition to a list, or 'schedule', of archaeological monuments by the Secretary of State for Digital, Culture, Media and Sport (DCMS). This necessitates the granting of formal scheduled monument consent for any work undertaken within the designated area of a scheduled ancient monument (now known simply as scheduled monuments).

Planning (Listed Buildings and Conservation Areas) Act 1990

- 3.1.2. The Planning (Listed Buildings and Conservation Areas) Act 1990 affords legal protection to buildings and structures in the form of their inclusion on 'lists' of buildings of special architectural or historical interest (see Sections 66 and 72). The listing of buildings is carried out by DCMS. This legislation also allows for the creation and protection of conservation areas by local planning authorities to protect areas and groupings of historical significance.

3.2. National planning policy

National Planning Policy Framework 2021

- 3.2.1. The Government's planning policies for the historic environment are set out in the NPPF, the use of which is described in PPG. Both the NPPF and PPG are material considerations in planning applications and underpin how the historic environment on the site is considered in this assessment.
- 3.2.2. Section 16 of the NPPF (paragraphs 189 to 208) relates to 'conserving and enhancing the historic environment'. This requires local planning authorities to identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset), taking account of the available evidence and any necessary expertise. They should take this into account when considering

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the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

- 3.2.3. In determining applications, the NPPF requires local planning authorities to take account of:
- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
 - c) the desirability of new development making a positive contribution to local character and distinctiveness.

3.3. London Plan 2021

- 3.3.1. The London Plan 2021 is the Spatial Development Strategy for Greater London. The plan is part of the statutory development plan for London, meaning that the policies it contains should inform decisions on planning applications across the capital. Borough's Local Plans must be in 'general conformity' with the London Plan, ensuring that the planning system for London operates in a joined-up way and reflects the overall strategy for how London can develop sustainably, which the London Plan sets out. The following sets out policies towards the historic environment relevant to the proposed development:

London Plan 2021

Policy HC1 Heritage conservation and growth

A. Boroughs should, in consultation with Historic England, local communities and other statutory and relevant organisations, develop evidence that demonstrates a clear understanding of London's historic environment. This evidence should be used for identifying, understanding, conserving, and enhancing the historic environment and heritage assets, and improving access to, and interpretation of, the heritage assets, landscapes and archaeology within their area.

B. Development Plans and strategies should demonstrate a clear understanding of the historic environment and the heritage values of sites or areas and their relationship with their surroundings. This knowledge should be used to inform the effective integration of London's heritage in regenerative change by:

- 1) setting out a clear vision that recognises and embeds the role of heritage in place-making*
- 2) utilising the heritage significance of a site or area in the planning and design process*
- 3) integrating the conservation and enhancement of heritage assets and their settings with innovative and creative contextual architectural responses that contribute to their significance and sense of place*

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4) delivering positive benefits that conserve and enhance the historic environment, as well as contributing to the economic viability, accessibility and environmental quality of a place, and to social wellbeing.

C. Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

D. Development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Where applicable, development should make provision for the protection of significant archaeological assets and landscapes. The protection of undesignated heritage assets of archaeological interest equivalent to a scheduled monument should be given equivalent weight to designated heritage assets.

E. Where heritage assets have been identified as being At Risk, boroughs should identify specific opportunities for them to contribute to regeneration and place-making, and they should set out strategies for their repair and reuse.

Policy HC3 Strategic and Local Views

A. Strategic Views include significant buildings, urban landscapes or riverscapes that help to define London at a strategic level. They are seen from places that are publicly-accessible and well-used. The Mayor has designated a list of Strategic Views (Table 7.1) that he will keep under review. Development proposals must be assessed for their impact on a designated view if they fall within the foreground, middle ground or background of that view.

B. Within the designated views, the Mayor will identify landmarks that make aesthetic, historic, cultural or other contributions to the view and which assist the viewer's understanding and enjoyment of the view.

C. The Mayor will also identify Strategically-Important Landmarks in the views that make a very significant contribution to the image of London at the strategic level or provide a significant cultural orientation point. He will seek to protect vistas towards Strategically-Important Landmarks by designating landmark viewing corridors and wider setting consultation areas. These elements together form a Protected Vista. Each element of the vista will require a level of management appropriate to its potential impact on the viewer's ability to recognise and appreciate the Strategically-Important Landmark. These and other views are also subject to wider assessment beyond the Protected Vista.

D. The Mayor will also identify and protect aspects of views that contribute to a viewer's ability to recognise and appreciate a World Heritage Site's authenticity, integrity, and attributes of Outstanding Universal Value. This includes the identification of Protected Silhouettes of key features in a World Heritage Site.

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E. The Mayor has prepared Supplementary Planning Guidance on the management of the designated views – the London View Management Framework Supplementary Planning Guidance (LVMF SPG). The Mayor will, when necessary, review this guidance.

F. Boroughs should include all designated views, including the protected vistas, in their Local Plans and work with relevant land owners to ensure there is inclusive public access to the viewing location, and that the view foreground, middle ground and background are effectively managed in accordance with the LVMF SPG.

G. Boroughs should clearly identify local views in their Local Plans and strategies. Boroughs are advised to use the principles of Policy HC4 London View Management Framework for the designation and management of local views. Where a local view crosses borough boundaries, the relevant boroughs should work collaboratively to designate and manage the view.

3.4. Local planning policy

3.4.1. Local planning policy is formed by London Borough of Richmond upon Thames Local Plan (adopted July 2018). Richmond borough is currently preparing a new Local Plan which will replace the current Local Plan in 2024. Additionally, the local planning authority has issued a number of supplementary planning documents, of which the following are relevant to heritage aspects of the site: *Buildings of Townscape Merit* (adopted May 2015), *Planning Information for Conservation Areas* (adopted September 2002 with minor updates December 2018), *Planning Information for Listed Buildings* (adopted July 2005), *Planning Obligations* (June 2020), *Mortlake Village Planning Guidance* (December 2015), *Stag Brewery, Mortlake, SW14 Planning Brief* (adopted July 2011). Together these contain a suite of planning policies against which planning applications in the borough will be determined. The following sets out the local authority's policy towards the historic environment relevant to the proposed development:

London Borough of Richmond upon Thames Local Plan 2018

Policy LP 1 Local Character and Design Quality

A. The Council will require all development to be of high architectural and urban design quality. The high quality character and heritage of the borough and its villages will need to be maintained and enhanced where opportunities arise. Development proposals will have to demonstrate a thorough understanding of the site and how it relates to its existing context, including character and appearance, and take opportunities to improve the quality and character of buildings, spaces and the local area.

To ensure development respects, contributes to and enhances the local environment and character, the following will be considered when assessing proposals:

1. compatibility with local character including the relationship to existing townscape, development patterns, views, local grain and frontages as well as scale, height, massing, density, landscaping, proportions, form, materials and detailing;

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- 2. sustainable design and construction, including adaptability, subject to aesthetic considerations;*
- 3. layout, siting and access, including making best use of land;*
- 4. space between buildings, relationship of heights to widths and relationship to the public realm, heritage assets and natural features;*
- 5. inclusive design, connectivity, permeability (as such gated developments will not be permitted), natural surveillance and orientation; and*
- 6. suitability and compatibility of uses, taking account of any potential adverse impacts of the co-location of uses through the layout, design and management of the site.*

All proposals, including extensions, alterations and shopfronts, will be assessed against the policies contained within a neighbourhood plan where applicable, and the advice set out in the relevant Village Planning Guidance and other SPDs relating to character and design (...)

Policy LP 2 Building Heights

The Council will require new buildings, including extensions and redevelopment of existing buildings, to respect and strengthen the setting of the borough's valued townscapes and landscapes, through appropriate building heights, by the following means:

- 1. require buildings to make a positive contribution towards the local character, townscape and skyline, generally reflecting the prevailing building heights within the vicinity; proposals that are taller than the surrounding townscape have to be of high architectural design quality and standards, deliver public realm benefits and have a wholly positive impact on the character and quality of the area;*
- 2. preserve and enhance the borough's heritage assets, their significance and their setting;*
- 3. respect the local context, and where possible enhance the character of an area, through appropriate:*
 - a. scale*
 - b. height*
 - c. mass*
 - d. urban pattern*
 - e. development grain*
 - f. materials*
 - g. streetscape*
 - h. Roofscape and*
 - i. wider townscape and landscape;*

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4. take account of climatic effects, including overshadowing, diversion of wind speeds, heat island and glare;
5. refrain from using height to express and create local landmarks; and
6. require full planning applications for any building that exceeds the prevailing building height within the wider context and setting.

Policy LP 3 Designated Heritage Asset

A. The Council will require development to conserve and, where possible, take opportunities to make a positive contribution to, the historic environment of the borough. Development proposals likely to adversely affect the significance of heritage assets will be assessed against the requirement to seek to avoid harm and the justification for the proposal. The significance (including the settings) of the borough's designated heritage assets, encompassing Conservation Areas, listed buildings, Scheduled Monuments as well as the Registered Historic Parks and Gardens, will be conserved and enhanced by the following means:

1. Give great weight to the conservation of the heritage asset when considering the impact of a proposed development on the significance of the asset.
2. Resist the demolition in whole, or in part, of listed building. Consent for demolition of Grade II listed buildings will only be granted in exceptional circumstances and for Grade II* and Grade I listed buildings in wholly exceptional circumstances following a thorough assessment of the justification for the proposal and the significance of the asset.
3. Resist the change of use of listed buildings where their significance would be harmed, particularly where the current use contributes to the character of the surrounding area and to its sense of place.
4. Require the retention and preservation of the original structure, layout, architectural features, materials as well as later features of interest within listed buildings, and resist the removal or modification of features that are both internally and externally of architectural importance or that contribute to the significance of the asset.
5. Demolitions (in whole or in part), alterations, extensions and any other modifications to listed buildings should be based on an accurate understanding of the significance of the heritage asset.
6. Require, where appropriate, the reinstatement of internal and external features of special architectural or historic significance within listed buildings, and the removal of internal and external features that harm the significance of the asset, commensurate with the extent of proposed development.
7. Require the use of appropriate materials and techniques and strongly encourage any works or repairs to a designated heritage asset to be carried out in a correct, scholarly manner by appropriate specialists.

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8. Protect and enhance the borough's registered Historic Parks and Gardens by ensuring that proposals do not have an adverse effect on their significance, including their setting and/or views to and from the registered landscape.

9. Protect Scheduled Monuments by ensuring proposals do not have an adverse impact on their significance.

B. Resist substantial demolition in Conservation Areas and any changes that could harm heritage assets, unless it can be demonstrated that:

1. in the case of substantial harm or loss to the significance of the heritage asset, it is necessary to achieve substantial public benefits that outweigh that harm or loss;

2. in the case of less than substantial harm to the significance of the heritage asset, that the public benefits, including securing the optimum viable use, outweigh that harm; or

3. the building or part of the building or structure makes no positive contribution to the character or distinctiveness of the area.

C. All proposals in Conservation Areas are required to preserve and, where possible, enhance the character or the appearance of the Conservation Area.

D. Where there is evidence of intentional damage or deliberate neglect to a designated heritage asset, its current condition will not be taken into account in the decision-making process.

E. Outline planning applications will not be accepted in Conservation Areas. The Council's Conservation Area Statements, and where available Conservation Area Studies, and/or Management Plans, will be used as a basis for assessing development proposals within, or where it would affect the setting of, Conservation Areas, together with other policy guidance, such as Village Planning Guidance SPDs.

Policy LP 4 Non-Designated Heritage Assets

The Council will seek to preserve, and where possible enhance, the significance, character and setting of non-designated heritage assets, including Buildings of Townscape Merit, memorials, particularly war memorials, and other local historic features.

There will be a presumption against the demolition of Buildings of Townscape Merit.

LP 5: Views and Vistas

The Council will protect the quality of the views, vistas, gaps and the skyline, all of which contribute significantly to the character, distinctiveness and quality of the local and wider area, by the following means:

1. protect the quality of the views and vistas as identified on the Policies Map, and demonstrate such through computer-generated imagery (CGI) and visual impact assessments;

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2. *resist development which interrupts, disrupts or detracts from strategic and local vistas, views, gaps and the skyline;*
3. *require developments whose visual impacts extend beyond that of the immediate street to demonstrate how views are protected or enhanced;*
4. *require development to respect the setting of a landmark, taking care not to create intrusive elements in its foreground, middle ground or background;*
5. *seek improvements to views, vistas, gaps and the skyline, particularly where views or vistas have been obscured;*
6. *seek improvements to views within Conservation Areas, which:*
 - a. *are identified in Conservation Area Statements and Studies and Village Plans;*
 - b. *are within, into, and out of Conservation Areas;*
 - c. *are affected by development on sites within the setting of, or adjacent to, Conservation Areas and listed buildings.*

Planning Obligations

Heritage assets

6.35 *The importance of heritage assets in the borough is covered in Policies LP 3 Designated Heritage Asset, LP 4 Non-Designated Heritage Assets, LP 6 Royal Botanic Gardens, Kew World Heritage Site and LP 7 Archaeology. In relation to on-site or adjacent heritage assets, a Section 106 agreement could include for example the repair, restoration or maintenance of a heritage asset (including those on the national Heritage at Risk Register) as well as increased public access and improved signage to and from a heritage asset, the protection of archaeological assets and any landscape treatment ancillary to the works. The agreement may secure the identified works and ensure, through the use of trigger points, that works are provided in a timescale commensurate with the proposed phasing of the development.*

4. HISTORICAL BACKGROUND

- 4.1.1. The historical background of the site was analysed in detail in Section 4 of HBA (Appendix 2) and is not repeated in this HIA.

5. BUILT HERITAGE ASSETS WITHIN THE STUDY AREA

World heritage sites

- 5.1.1. There are no world heritage sites within the site or the study area.

Scheduled monuments

- 5.1.2. There are no scheduled monuments within the site or the study area.

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Listed buildings

- 5.1.3. There are no listed buildings within the site. Twenty listed buildings are situated within the study area (Fig 3, Appendix 1): three are listed at Grade II* and seventeen are listed at Grade II.

Conservation areas

- 5.1.4. The northern and south-eastern parts of the site fall within Mortlake Conservation Area. Mortlake Green Conservation Area lies immediately to the south of the site. Six more conservation areas are located within the study area (Fig 3, Appendix 1).

Battlefields and registered parks and gardens

- 5.1.5. There are no battlefields or registered parks and gardens within the site or study area.

Locally listed buildings

- 5.1.6. Within the study area, there are 367 locally listed buildings, described by the London Borough of Richmond upon Thames as 'Buildings of Townscape Merit' (Fig 3, Appendix 1). The list comprises buildings and structures which, due to their historical associations, architectural style and visual interest, as well as possibly their siting within an area, are of significance to the history and character of the environment.
- 5.1.7. Three of these buildings: the former hotel (Building 10; HA001), bottling building (Building 11; HA002) and maltings building (Building 9; HA003) lie within the site.
- 5.1.8. Within the study area, there is also one locally listed building listed by the London Borough of Hounslow: Quintin Boat Club, Hartington Road (HA398)

Other non-designated heritage assets

- 5.1.9. In addition to the locally listed buildings, the HBA assessment identified six non-designated structures with a heritage value within the site (Fig 3, Appendix 1). These are:
- Northern boundary walls (Building 19; HA004);
 - Eastern boundary wall (Building 19; HA005);
 - Southern boundary wall (Building 19; HA006);
 - Railway tracks, granite paving and river moorings (Building 20; HA007);
 - Memorials (HA008); and
 - Historic gates (HA009).

Metropolitan Open Land and Other Open Land of Townscape Importance

- 5.1.10. Three parcels of land: Mortlake Riverside, Mortlake Cemetery East, and Mortlake Cemetery West are locally designated as Metropolitan Open Land (MOL). While they contribute to the setting of local heritage assets that they contain, MOL parcels located within the study area are not considered to be heritage assets.

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- 5.1.11. West Watney's Sports Ground is locally designated by the London Borough of Richmond Upon Thames as Other Open Land of Townscape Importance, but it is not considered to be a heritage asset.

6. STATEMENT OF SIGNIFICANCE AND SETTINGS ASSESSMENT

- 6.1.1. Statements of significance and setting assessments of heritage assets identified within the site and study area are set out in Section 6 and Appendix B of the HBA (Appendix 2) and are not repeated here, although references and summaries of the assessment's relevant sections are made throughout Section 7 of this HIA, as appropriate.

7. IMPACT ASSESSMENT

7.1. Scoping

Listed buildings

- 7.1.1. All 20 listed buildings located within the study area have been subject to HBA assessment. Given the scope and extent of the redevelopment considered by the HBA, which far exceeds the scale of the proposed development considered in this HIA, it is considered that the HBA's assessment conclusions more than adequately cover the needs of this HIA.
- 7.1.2. On the basis of the HBA's conclusions, nine of the listed buildings within the study area may be affected by the proposed development. For the purposes of this HIA, these buildings are grouped where appropriate. The remaining 11 listed buildings do not have intervisibility with the site and will not be subject to any other impacts that would result in changes to their setting. They are, therefore, scoped out from the impact assessment.

Conservation areas

- 7.1.3. There are two conservation areas near, or extending into the site: Mortlake Conservation Area (HA023) and Mortlake Green Conservation Area (HA027). Part of the site running along Mortlake High Street and the Thames shoreline lies within Mortlake Conservation Area. Immediately south of the site is Mortlake Green Conservation Area, which is centred on Mortlake Green, and includes a residential area to the west. Due to their proximity to the site and their intervisibility with it, the heritage value of these conservation areas may be affected by the proposed development. Additionally, to the north-west of the site is Grove Park Conservation Area (HA036), designated by the London Borough of Hounslow. This covers the northern half of Chiswick Bridge and, due to the intervisibility it has with the site, is scoped in to this HIA.
- 7.1.4. To the south and east of the site are the further conservation areas of Holmesdale Avenue, Model Cottages, Sheen Lane (Mortlake), Queen's Road (Mortlake) and Cowley Road. Views between the proposed development and these conservation areas are screened by intervening development, meaning that the heritage value of these heritage assets will not be

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affected by the proposed development. They are, therefore, scoped out from the impact assessment.

Locally listed buildings

- 7.1.5. Three locally listed buildings (the former hotel, the bottling building and the maltings building; HA001-3) and six otherwise non-designated heritage assets (northern, eastern and southern boundary walls, memorials, historic gates and railway tracks, granite paving and river moorings; HA004-9) are located within the site and, therefore, may be impacted by the proposed development.
- 7.1.6. In addition to those located within the site, there are a number of heritage assets identified as buildings of townscape merit (locally listed buildings) situated in the vicinity of the site. Due to intervisibility with the proposed external film set, they could be affected by the proposed development. For the purposes of this assessment, these buildings are grouped where appropriate. The following locally listed buildings within the environs of the site are considered relevant for this assessment:
- The Ship Public House, Thames Bank (HA020);
 - The Old Stables, Thames Bank (HA015);
 - 6 and 7 Thames Bank (HA011); and
 - 1-14 Parliament Mews (HA013).
- 7.1.7. Another group of locally listed buildings, either located within Mortlake Green Conservation Area on the opposite side of Lower Richmond Road or surrounding Mortlake Green, has intervisibility with the proposed development. Given the nature of these assets, it is considered that the factors which contribute to their heritage value are also factors which contribute to Mortlake Green Conservation Area's heritage value. Possible impact to their setting is therefore assessed as part of the consideration of the wider impacts (if any) to the setting of the conservation area. The group comprises:
- The Tapestry Public House (1 Lower Richmond Road) (HA028);
 - The Jolly Gardeners Public House (36 Lower Richmond Road) (HA029);
 - 3,5,7,9 Lower Richmond Road (HA030);
 - 33 Lower Richmond Road (HA031);
 - 37,39,41,45,47,49 and 51 Lower Richmond Road (HA032);
 - 1-10 Cromwell Place (HA033);
 - 11-27 Sheen Lane East (HA034); and
 - Mortlake Railway Station (HA035).
- 7.1.8. In the HBA, this group also included 35 Lower Richmond Road (WA18). However, the building no longer features on the London Borough of Richmond upon Thames list of Buildings of Townscape Merit and has, therefore, been excluded from this HIA.
- 7.1.9. Similarly, 61-69 Mortlake High Street (HA024) and 1-3 Tapestry Court (HA025), also located within Mortlake Conservation Area, have intervisibility with the proposed development. Given the nature of these assets and their coherence with other listed buildings along Mortlake High

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Street, it is considered that the factors which contribute to their heritage value are also the factors which they contribute to Mortlake Conservation Area's heritage value. Possible impact to their setting is therefore assessed as part of the consideration of the wider impacts (if any) to the setting of the conservation area.

7.1.10. The remainder of the locally listed buildings within the study area have no intervisibility with the proposed development and will not be subject to any other impacts that could result in changes to their setting. They are, therefore, scoped out from the impact assessment.

Heritage assets scoped in for impact assessment

7.1.11. The list of heritage assets scoped in to the HIA is provided in Table 4.

Key: ND = non-designated asset; LLB = locally listed building; LB = listed building; CA = conservation area; n/a = not applicable

Heritage Asset number	Type	Grade	Name	Heritage value	NHLE ref.	Local list ref.	HBA ref.
HA001	LLB	n/a	The former hotel building	Low	n/a	83/00079/BTM	WA1
HA002	LLB	n/a	The former bottling building	Low	n/a	83/00079/BTM	WA2
HA003	LLB	n/a	The maltings building	Medium	n/a	83/00338/BTM	WA3
HA004	ND	n/a	Northern boundary wall	Negligible/Low	n/a	n/a	WA9
HA005	ND	n/a	Southern boundary wall	Negligible	n/a	n/a	WA10
HA006	ND	n/a	Eastern boundary wall	Low	n/a	n/a	WA11
HA007	ND	n/a	Railway tracks, granite paving and river moorings	Low	n/a	n/a	WA12
HA008	ND	n/a	Memorials	Low	n/a	n/a	WA13
HA009	ND	n/a	Historic gates	Low	n/a	n/a	WA14
HA010	LB	II	Riverside House	Medium	1254107	n/a	n/a
HA011	LLB	n/a	6 and 7 Thames Bank	Low	n/a	98/00028/BTM 98/00029/BTM	WA7
HA012	LB	II	Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court	Medium	1261445	n/a	n/a
HA013	LLB	n/a	1-14 Parliament Mews	Negligible	n/a	98/00030/BTM 98/00031/BTM 98/00032/BTM 98/00033/BTM 98/00034/BTM 98/00035/BTM 98/00036/BTM 98/00037/BTM 98/00038/BTM 98/00039/BTM 98/00030/BTM	WA6
HA014	LB	II	Leyden House	Medium	1252972	n/a	n/a
HA015	LLB	n/a	The Old Stables, Thames Bank	Low	n/a	00/00018/BTM	WA5
HA016	LB	II	Thames Bank House	Medium	1252971	n/a	n/a
HA017	LB	II	Tudor Lodge	Medium	1252970	n/a	n/a
HA018	LLB	n/a	Asplin Cottage	Low	n/a	19/00079/BTM	n/a
HA019	LB	II	Thames Cottage	Medium	1261996	n/a	n/a

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HA020	LLB	n/a	The Ship Public House, Thames Bank	Low	n/a	83/00337/BTM	WA4
HA021	LB	II	Gateway, formerly to Cromwell House	Medium	1417979	n/a	n/a
HA022	LB	II	Chiswick Bridge and attached balustrades	Medium	1390737 1031877	n/a	n/a
HA023	CA	n/a	Mortlake Conservation Area	Medium	n/a	33	n/a
HA024	LB	II*	Parish Church of St Mary	High	1357705	n/a	n/a
HA025	LLB	n/a	61-69 Mortlake High Street	Low	n/a	13/00115/BTM 05/00054/BTM	WA20
HA026	LLB	n/a	1-3 Tapestry Court	Low	n/a	83/00015/BTM	n/a
HA027	CA	n/a	Mortlake Green Conservation Area	Medium	n/a	51	n/a
HA028	LLB	n/a	The Tapestry Public House (1 Lower Richmond Road)	Low	n/a	98/00026/BTM	WA15
HA029	LLB	n/a	The Jolly Gardeners Public House (36 Lower Richmond Road)	Low	n/a	98/00004/BTM	WA8
HA030	LLB	n/a	3,5,7,9 Lower Richmond Road	Low	n/a	98/00005/BTM 98/00006/BTM 98/00007/BTM 98/00008/BTM	WA16
HA031	LLB	n/a	33 Lower Richmond Road	Low	n/a	98/00009/BTM	WA17
HA032	LLB	n/a	37,39,41,45,47,49 and 51 Lower Richmond Road	Low	n/a	88/00010/BTM 88/00011/BTM 88/00030/BTM 98/00010/BTM 98/00011/BTM 98/00012/BTM 98/00013/BTM	WA19
HA033	LLB	n/a	1-10 Cromwell Place	Low	n/a	88/00005/BTM 88/00006/BTM 88/00007/BTM 88/00008/BTM 88/00009/BTM	n/a
HA034	LLB	n/a	11-27 Sheen Lane East	Low	n/a	83/00162/BTM 83/00163/BTM 83/00164/BTM 83/00165/BTM 83/00784/BTM 83/00914/BTM 83/00915/BTM 83/00916/BTM 83/00917/BTM 83/00918/BTM	n/a
HA035	LLB	n/a	Mortlake Railway Station	Low	n/a	98/00003/BTM	n/a
HA036	CA	n/a	Grove Park Conservation Area	Medium	n/a	n/a	n/a
HA037	ND	n/a	River Thames Historic Landscape Character Area	Negligible	n/a	n/a	n/a

Table 4: Heritage assets scoped in for impact assessment

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7.2. The former hotel building (HA001; Building 10)

- 7.2.1. The setting of the former hotel building contributes to its historic interest. It is formed by its relationship to other remaining historic structures within the brewery site, principally the former bottling building (HA002) and the southern boundary walls (HA006). It is most readily appreciated in the views along Mortlake High Street where all three structures form a uniform façade (Plate 1). This element of the asset's setting will not be affected by the proposed development.
- 7.2.2. Also contributing to the setting of the former hotel building is its relationship with the maltings building (HA003), although this can be appreciated only from a narrow vantage point at the junction of Sheen Lane and Mortlake High Street (Plate 2). The visual link between the two historic structures was partially broken by the relatively recent erection of Building 12, although efforts were made at the time to alleviate the effect by providing it with a pastiche 19th-century brick façade. The proposed development will introduce a new visual element to the relationship between the former hotel building and the maltings building, and additionally obscure the sympathetic portion of Building 12. It will, therefore, adversely affect an aspect of HA001's setting, which is one factor contributing to the asset's historic interest (and thereby its heritage value).
- 7.2.3. In summary, the proposed development will have a **minor adverse impact** on the setting of the former hotel building (HA001), leading to a **neutral to slight adverse effect** on its heritage value.



Plate 1: Former hotel and bottling buildings and southern boundary wall. Existing view to east

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Plate 2: Former bottling building with the maltings building in the background. Existing view to north-west

7.3. The former bottling building (HA002; Building 11)

- 7.3.1. While the former bottling building is to be used for film production operations and ancillary activities, the proposed development does not include any physical alterations to the fabric of the heritage asset and, therefore, will not have a direct impact on its heritage value.
- 7.3.2. As with HA001, the historic interest of HA002 is formed of multiple aspects, of which setting is only one. However, unlike HA001 the visual relationship between the former bottling building and the maltings building is less important as it is not immediately obvious from the level of Mortlake High Street, from where the heritage value of HA002 can be most readily appreciated. In this case, it is the visual and physical link between HA002 and the former hotel to the west (HA001) and southern boundary walls to the east (HA006) which contribute most to an appreciation of the historic, architectural and artistic interests of the group.
- 7.3.3. In summary, the proposed development will have no impact on (**no change to**) the heritage value of the former bottling building, in other words a **neutral effect**.

7.4. The maltings building (HA003; Building 9)

- 7.4.1. The proposed development includes the erection of external film sets immediately to the south and east of the maltings building. While the construction details were not known at the time of writing this HIA, it is not thought that the proposed development will result in any physical impacts to the historic fabric of the heritage asset.

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- 7.4.2. The maltings building is a prominent landmark within the local townscape which contributes to local distinctiveness and is associated with the finish line of the Oxford and Cambridge Boat Races (Waterman 2022, 48). Unobstructed views towards the asset from Chiswick Bridge (Plate 3), Duke's Meadows (Plate 5), the northern part of the Mortlake Conservation Area along the Thames Path (Plate 9) and to a lesser extent from Mortlake Green within the Mortlake Green Conservation Area (due to vegetation filtering, Plate 7) form important elements of the asset's setting.
- 7.4.3. As with the former hotel (HA001), the value of the setting of the maltings building is partially its relationship with other surviving historic buildings within the site, principally the former hotel building (cf. Section 7.2.2).
- 7.4.4. The proposed development will partially obscure the lower five storeys of the maltings building in views from the south and the east. Due to perspective foreshortening, this effect will be most pronounced in the northerly views from Mortlake Green, in which the proposed structures will almost completely conceal the maltings building (Plate 8). As noted above (Section 7.2.2), this will also adversely affect the visual relationship between the asset and the former hotel (HA001) and will impair the legibility of the maltings building being a part of the historic brewery complex. The proposed development will also result in a very minor alteration to the visual context of the asset when seen in long views from the north, west and east, namely from Chiswick Bridge (Plate 4), Duke's Meadows (Plate 6), and Mortlake Conservation Area along the Thames Path.
- 7.4.5. Although the impacts of the erection of external film sets on the setting of the maltings building will translate to partial loss of two of several key characteristics of the asset's setting (views towards it from the south and the visual link it enjoys with the former hotel), the historic interest of the asset in question is formed of multiple aspects, of which setting is only one. Overall, it is considered that the proposed development will have a **minor adverse impact** on the maltings building (HA003), meaning that there will be a **slight adverse effect** on its heritage value.

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Plate 3: View towards the maltings building from Chiswick Bridge. Existing view to south-east



Plate 4: Photomontage of the proposed development viewed from Chiswick Bridge. Proposed view to south-east. Refer to Appendix 3 for high-resolution image

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Plate 5: View towards the maltings building from Duke's Meadows. Existing view to south



Plate 6: Photomontage of the proposed development viewed from Duke's Meadows. Proposed view to south. Refer to Appendix 3 for high-resolution image

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Plate 7: View towards the maltings building and former hotel from Mortlake Green. Existing view to north



Plate 8: Photomontage of the proposed development viewed from Mortlake Green. Proposed view to north. Refer to Appendix 3 for high-resolution image

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Plate 9: View towards the maltings building from the Thames Path. Existing view to south-east

7.5. Northern (HA004), eastern (HA005) and southern (HA006) boundary walls

- 7.5.1. The proposed development envisages erection of external film sets immediately to the south of the northern boundary wall (HA004). While construction details are not known at the time of writing, it is not anticipated that this will result in physical impacts to the fabric of the heritage asset.
- 7.5.2. The heritage value of the boundary walls is primarily derived from their architectural and aesthetic interest (Waterman 2022, 58). The setting of the heritage asset is, in essence, formed by its spatial relationship with the extant historic brewery buildings (HA001-HA003, HA007), a relationship which contributes to the historic interest of the assets. In this spatial context, the boundary walls serve as a physical demarcation and an unambiguous visual reminder of the industrial history of the site. While the proposed development will slightly alter this setting, the effect will be confined to a short, modern section of the northern wall which is adjacent to the maltings building, and will only be prominent in two narrow views confined within the site (Plate 10 and Plate 11).
- 7.5.3. In summary, there will be **no change** to the legibility of the heritage asset's historic interest, meaning that there be a **neutral effect** on its heritage value.

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Plate 10: Section of northern boundary wall (HA004) adjacent to the maltings building (HA003), viewed from within the site. Existing view to west.



Plate 11: Section of northern boundary wall (HA004) to the right of the maltings building (HA003), viewed from within the site. Existing view to north

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7.6. Railway tracks, granite paving and river moorings (HA007)

- 7.6.1. By forming a tangible physical link between the former brewery and the River Thames, the railway tracks, granite paving and river moorings which constitute this heritage asset illustrate and enhance our understanding of the historic interrelated functions of the brewery. The setting of this heritage asset is formed by its relationship with the adjacent sections of the boundary walls (HA004, HA005) and the River Thames, and to a lesser extent by easterly views towards the maltings building (HA003), which are largely obscured by intervening vegetation along the Thames Path.
- 7.6.2. The proposed development will not affect the setting of this heritage asset in any measurable way meaning, therefore, there will be **no change** to its heritage value.

7.7. Memorials (HA008)

- 7.7.1. The setting of the memorials, which are set within a modern section of a boundary wall adjacent to Building 1 (Fig 2), while not original, is of primary importance to the historic interest of the memorials (i.e. they are situated so that they can be read by passers-by). However, the proposed development will not affect the setting of the memorials, therefore, there would be **no change** to the heritage value of the memorials resulting from the proposed development.

7.8. Historic gates (HA009)

- 7.8.1. A set of historic cast metal Watney's Brewery gates are currently installed in the wall facing William's Lane, on the western side of the site. The gates have been removed from their original locations on Lower Richmond Road in order to widen access to the site and, therefore, have lost their original context. However, they retain some historic interest as part of the historic fabric of the site and their design contributes to their architectural and aesthetic interest (Waterman 2022, 61). The gates' setting, whilst not original, offers immediate legibility of their original use as part of the brewery's historic fabric, particularly in views to the north-east where the upper storeys and roofline of the maltings building (HA003) can be made out through and above the gates (Plate 12). Given its proposed height, it is unlikely that the proposed development will be discernible in these views. In consequence, there will be **no change** to the asset's heritage value.

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Plate 12: Historic gates on William's Lane with the maltings building visible in the background. Existing view to north-east

7.9. Heritage assets to the north-west of the site, along Thames Bank (HA010-HA020)

7.9.1. This group comprises the following heritage assets (west to east):

- Riverside House (HA010);
- 6 and 7 Thames Bank (HA011);
- Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court (HA012);
- 1-14 Parliament Mews (HA013);
- Leyden House (HA014);
- The Old Stables, Thames Bank (HA015);
- Thames Bank House (HA016);
- Tudor Lodge (HA017);
- Asplin Cottage (HA018);
- Thames Cottage (HA019); and
- The Ship Public House, Thames Bank (HA020).

7.9.2. This group of statutorily and locally listed buildings forms a coherent group of Georgian properties (excluding 1-14 Parliament Mews, HA013), located alongside the southern bank of the River Thames. Nos 1-14 Parliament Mews, whilst modern, are locally listed as an example of quality Neo-Georgian infill, whose architectural and aesthetic interest contributes to the

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heritage asset group as a whole, particularly in views across the river (Waterman 2022, 63-67).

- 7.9.3. As the heritage assets are situated on the south bank of the River Thames, the river dominates the immediate setting of the assets and how they are experienced. The river frontage affords panoramic views along the river both towards and from the group. It forms an attractive element of their setting and informs the historic context of the assets, and, therefore, contributes positively to their heritage value (Waterman 2022, 68).
- 7.9.4. The site forms part of the immediate setting of the group and the historic structures within the site enhance an appreciation of the group's historic interest. This context is particularly well articulated by the maltings building (HA003) and adjacent boundary walls (HA004), especially in views from Chiswick Bridge across the River Thames (Plate 3-Plate 9). This contribution is, however, lessened by the large-scale modern brewery structures on the site, which are visible above the group and dominate views of the assets along and across the river (Waterman 2022, 69).
- 7.9.5. The proposed development will introduce new elements to either side of the maltings building (Plate 4), and to above the northern boundary wall (Plate 6). However, the views from the group of heritage assets along Thames Bank form only one aspect of their setting, which in turn is only one factor of the many which form their historic interest. Moreover, the new visual elements which will be introduced by the proposed development will be barely distinguishable against the existing background of modern brewery structures.
- 7.9.6. In summary, there will be **no change** to the heritage value of the heritage assets to the north-west of the site along Thames Bank (HA10-HA20).

7.10. Gateway, formerly to Cromwell House (HA021)

- 7.10.1. This gateway was previously located on the Cromwell Lane frontage of the site of Cromwell House. In 1962, it was taken down and re-erected in its current position at the head of Williams Lane, where it served as the foot-gate to the brewery's bowling green, today known as Watney's Sports Ground. As a result of its relocation, it has lost its historic setting. The only element of its current setting which contributes to its heritage value is Watney's Sports Ground (Waterman 2022, 70). There would be **no change** to the setting of the asset resulting from the proposed development.

7.11. Chiswick Bridge and attached balustrades (HA022)

- 7.11.1. The River Thames forms the principal aspect of the setting of Chiswick Bridge and helps contribute to its heritage value. The structure affords long-distance views along the river in both directions, with the viewing platforms embedded in the bridge's piers providing optimum vantage points (Waterman 2022, 72).
- 7.11.2. To the south-east, the views from the bridge incorporate the group of heritage assets along South Bank (HA010-HA020); the group contributes to the heritage value of the bridge. Similarly, the maltings building (HA003), and to a lesser degree (due to being partly obscured

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by intervening vegetation) the adjacent boundary walls (HA004) also form key elements of the historic aspect of the asset's setting and, therefore, contribute to its heritage value (Waterman 2022, 72).

7.11.3. The proposed development would introduce new visual elements into this part of Chiswick Bridge's setting (Plate 8). However, as with the South Bank group (HA010-HA020), this effect will be barely distinguishable against the background of modern brewery structures when viewed from Chiswick Bridge. Consequently, there will be **no change** to the asset's heritage value.

7.12. Mortlake Conservation Area with locally listed buildings

7.12.1. This group comprises Mortlake Conservation Area (HA023) and the following heritage assets within it which will have limited intervisibility with the proposed development:

- 61-69 Mortlake High Street (HA024); and
- 1-3 Tapestry Court (HA025).

7.12.2. The setting of these heritage assets comprises the River Thames to the north, and the varied urban townscape of Mortlake to the east and south (Waterman 2022, 74), which is focused primarily on Mortlake High Street. The River Thames forms a fundamental aspect of the setting of the riverside section of the Mortlake Conservation Area and 1-3 Tapestry Court, and allows an appreciation and understanding of the residential and industrial history of the area, and therefore contributes to the heritage value of this group of assets. Despite being interspersed with modern infill, which is more often than not sympathetic, the urban setting of Mortlake High Street is characterised by surviving 18th and 19th-century residential and industrial (brewery) buildings (Waterman 2022, 73-74).

7.12.3. The proposed development will be situated adjacent to the north-western part of the conservation area and would encroach on it immediately south of the maltings building. The erection of external film sets will introduce new, albeit modestly sized elements to the views towards the conservation area from the north and north-west, as well as within it along the Thames Path (Plate 4 and 9), although they would be hardly noticeable in long views (Plate 14).

7.12.4. The visual impact of the proposed development will be more pronounced in the south-western part of Mortlake Conservation Area as it would increase the visual separation of the riverside and Mortlake High Street parts of the conservation area, in essence between the former hotel (HA001) and the maltings building (HA003), cf. Sections 7.2 and 7.4. The proposed development would introduce new elements to some aspects of the setting of Mortlake Conservation Area and its associated assets. This will result in a very minor adverse alteration of just one element of the assets' heritage value. Consequently, the impact of the proposed development on the historic, architectural and aesthetic interests of the asset group would be **negligible adverse**, leading to a **neutral to slight or slight adverse effect**, depending on the heritage value of the individual assets within the group (cf. Table 5: Heritage assets whose setting has the potential to be impacted by the proposed development).

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Plate 13: View towards the site from the Thames Path at the western end of Mortlake Conservation Area. Existing view to west



Plate 14: Photomontage of the proposed development viewed from the Thames Path at the western end of Mortlake Conservation Area. Proposed view to west. Refer to Appendix 3 for high-resolution image

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Plate 15: View towards the proposed development from the churchyard of St Mary's Church. Existing view to west



Plate 16: Photomontage of the proposed development viewed from the churchyard of St Mary's Church. Proposed view to west. Refer to Appendix 3 for high-resolution image

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7.13. Parish Church of St Mary (HA026)

- 7.13.1. The Parish Church of St Mary lies south of Mortlake High Street, within the historic heart of the original village. Its setting is formed by its churchyard and by the surrounding settlement of Mortlake, which is focused on Mortlake High Street (Waterman 2022, 74). The asset's setting contributes to its heritage value, although most of its value is drawn from its historic and architectural interest (ibid.)
- 7.13.2. The proposed development will lead to some modest changes to the easterly views from St Mary's Church along Mortlake High Street, although the proposed external film set structures would be barely distinguishable against the background of existing modern brewery buildings within the site (Plate 16). These changes will not adversely affect the asset's setting. There will be **no change** to the asset's heritage value.

7.14. Mortlake Green Conservation Area and locally listed buildings at Lower Richmond Road and Mortlake Green

- 7.14.1. This group comprises Mortlake Green Conservation Area (HA027) and the locally listed heritage assets within it which will have intervisibility with the proposed development:
- The Tapestry Public House (1 Lower Richmond Road) (HA028);
 - The Jolly Gardeners Public House (36 Lower Richmond Road) (HA029);
 - 3,5,7,9 Lower Richmond Road (HA030);
 - 33 Lower Richmond Road (HA031);
 - 37,39,41,45,47,49 and 51 Lower Richmond Road (HA032);
 - 1-10 Cromwell Place (HA033);
 - 11-27 Sheen Lane East (HA034); and
 - Mortlake Railway Station (HA035).
- 7.14.2. The setting of Mortlake Green Conservation Area and the locally listed buildings it contains is formed by the surrounding residential and industrial townscape which contributes to the assets' heritage value (Waterman 2022, 75). Perhaps counterintuitively, the mass of the historic and modern brewery buildings which dominate the road to the north provides a stark counterpoint against which one can appreciate the inward-looking, residential character of the conservation area which is focused on its main cohesive element, the central green.

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Plate 17: The site viewed from the north-western boundary of Mortlake Green Conservation Area. Existing view to north-east



Plate 18: Photomontage of the proposed development viewed from the north-western boundary of Mortlake Green Conservation Area. Proposed view to north-east. Refer to Appendix 3 for high-resolution image

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- 7.14.3. The proposed development will introduce new elements into easterly views along Lower Richmond Road and to the north from and across Mortlake Green (Plate 8 and Plate 18). Most notably, the proposed erection of external film sets will affect visual links with the brewery structures to the north of the green, particularly the maltings building (HA003). It is considered, however, that while this element of the assets' setting will be significantly altered by the proposed development, the proposed structures, in adopting the brewery's massing, will provide an interpretative counterpoint against which the residential nature of the Mortlake Green Conservation Area can be appreciated.
- 7.14.4. In summary, the proposed development would have a **minor adverse impact** on the heritage value of Mortlake Conservation Area and the locally listed buildings it contains, leading to a **neutral to slight or slight adverse effect**, depending on the heritage value of the individual assets within the group (see Table 5).

7.15. Grove Park Conservation Area (HA036)

- 7.15.1. The heritage value of Grove Park Conservation Area is drawn from its architectural and historic interest. It was the first large Victorian housing estate in Chiswick, which included high-status properties. Its setting includes residential areas to the north and north-east, the large recreational open space of Duke's Meadows to the south-west, Kew to the south-west and the Strand on the Green to the west with the River Thames forming its south-western boundary (Waterman 2022, 75-76).
- 7.15.2. This setting contributes to the conservation area's heritage value, although it is primarily derived from the asset's historic, architectural and aesthetic interests (Waterman 2022, 76). The setting of the conservation area can be best appreciated in views along the River Thames, particularly from Chiswick Bridge. The impact of the proposed development on the setting of Grove Park Conservation Area can therefore be considered analogous to that of the setting of the bridge (cf. Section 7.11). However, given that only the most south-easterly part of the conservation area will have any intervisibility with the proposed development, there will be **no change** to the ability to appreciate the conservation area's heritage value.

7.16. River Thames Historic Landscape Character Area (HA037)

- 7.16.1. The River Thames Historic Landscape Character Area (HLCA) varies considerably along its extent and in many areas, it has been subject to considerable alteration and development, particularly during the 19th and 20th centuries (Waterman 2022, 78). Isolated by modern development are pockets of 18th- and 19th-century residential and industrial development, green areas, recreation grounds and public amenity spaces (Waterman 2022, 78-79). The HBA established that along the Mortlake and Chiswick stretches of the Thames, the landscape is largely of modern date and of very limited heritage value (Waterman 2022, 79-80).
- 7.16.2. While the proposed development will introduce new, albeit modestly sized elements to the views towards a narrow section of the HLCA from the north and north-west, and along the Thames Path, they will not adversely affect the heritage value of the HLCA as a whole. Consequently, there will be **no change** to River Thames HLCA's heritage value.

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8. CONCLUSIONS

- 8.1.1. The proposed development comprises film production operations and ancillary activities use utilising the existing buildings and land. Initially, it is envisaged that the operator will only utilise Buildings 11 (HA002), 12, 14 and 15 as well as yard areas in the east of the site and an external area adjacent to the maltings building (Building 9; HA003). All necessary information has been submitted alongside the application to enable the immediate occupation of these buildings and should other buildings on the site be required to be utilised under the permission, it is envisaged that further details would be required to be provided by way of a suitably worded condition attached to the permission. It should also be noted that the application also includes the erection of external film sets outside of the Maltings building (Building 9). It is anticipated that the maximum height of the erected sets will be 11.6m, with a suggested cap of 11.9-12.2m at the rear (i.e. towards the maltings building) and 10.7-11m at the front.
- 8.1.2. While detailed engineering drawings were not available at the time of writing, it is understood that the proposed erection of external film sets will not require alterations to the fabric of known heritage assets within the site (i.e. Buildings 9, 10, 11 and 19; see Section 7) or excavations with the potential to impact any buried archaeological remains that may exist within the site. However, should it emerge that physical impacts on heritage assets could occur, it is recommended that a revised impact assessment of such impacts is prepared, and an appropriate mitigation strategy developed.
- 8.1.3. Within a study area extending to 500m beyond the boundary of the site, there are twenty listed buildings and seven conservation areas. The northern and south-eastern parts of the site fall within one of them, Mortlake Conservation Area. Eight non-designated heritage assets, of which three are locally listed buildings, also lie within the site. There are a further 365 locally listed buildings within the study area.

Heritage asset number	Name	Heritage value	Magnitude of impact	Significance of effect
HA001	The former hotel building	Low	Minor adverse	Neutral to slight
HA003	The maltings building	Medium	Minor adverse	Slight
HA023	Mortlake Conservation Area	Medium	Negligible adverse	Neutral to slight
HA024	61-69 Mortlake High Street	Low	Negligible adverse	Neutral to slight
HA025	1-3 Tapestry Court	Low	Negligible adverse	Neutral to slight
HA027	Mortlake Green Conservation Area	Medium	Minor adverse	Slight
HA028	The Tapestry Public House (1 Lower Richmond Road)	Low	Minor adverse	Neutral to slight
HA029	The Jolly Gardeners Public House (36 Lower Richmond Road)	Low	Minor adverse	Neutral to slight
HA030	3,5,7,9 Lower Richmond Road	Low	Minor adverse	Neutral to slight
HA031	33 Lower Richmond Road	Low	Minor adverse	Neutral to slight

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HA032	37,39,41,45,47,49 and 51 Lower Richmond Road	Low	Minor adverse	Neutral to slight
HA033	1-10 Cromwell Place	Low	Minor adverse	Neutral to slight
HA034	11-27 Sheen Lane East	Low	Minor adverse	Neutral to slight
HA035	Mortlake Railway Station	Low	Minor adverse	Neutral to slight

Table 5: Heritage assets whose setting has the potential to be impacted by the proposed development

- 8.1.4. Of these identified heritage assets, in fourteen cases the setting of a heritage asset has the potential to be impacted by the proposed development (Table 5). In all these cases, the heritage value of the asset in question is formed of multiple interests and aspects, of which setting is only one. The result of the impact would vary accordingly, ranging from negligible to minor adverse. The resultant significance of effect on the assets' heritage value would be neutral to slight or slight. On the criteria set out in Section 1.3.7, these effects are not significant. Consequently, no mitigation measures are considered necessary.
- 8.1.5. In conclusion, no significant adverse heritage effects will arise as a result of the planning application for use of the existing buildings and land at the former Stag Brewery for film production operations and ancillary activities.

9. BIBLIOGRAPHY

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10. APPENDIX 1: HERITAGE ASSETS WITHIN THE STUDY AREA

Key: ND = non-designated asset; LLB = locally listed building; LB = listed building; CA = conservation area; n/a = not applicable

Heritage Asset number (HA)	Type	NHLE reference	Local list reference	Name	Grade	Easting	Northing
001	LLB	n/a	83/00079/BTM	The former hotel building (known as Brewery Building dated 1896)	n/a	520505	175946
002	LLB	n/a	83/00079/BTM	The former bottling building (known as Brewery Building dated 1896)	n/a	520539	175957
003	LLB	n/a	83/00338/BTM	The former maltings building (known as Granary at Corner Ship Lane and Towpath)	n/a	520420	176098
004	ND	n/a	n/a	Northern boundary walls	n/a	520552	176056
005	ND	n/a	n/a	Eastern boundary wall	n/a	520665	175999
006	ND	n/a	n/a	Southern boundary wall	n/a	520611	175971
007	ND	n/a	n/a	Railway tracks, granite paving and river moorings	n/a	520647	176028
008	ND	n/a	n/a	Memorials	n/a	520326	175915
009	ND	n/a	n/a	Historic gates	n/a	520179	176027
010	LB	1254107	n/a	Riverside House	II	520220	176213
011	LLB	n/a	98/00028/BTM	6 Thamesbank Varsity Row Mortlake London MBC - MORTLAKE, BARNES COMMON	n/a	520235	176203
011	LLB	n/a	98/00029/BTM	7 Thamesbank Varsity Row Mortlake London MBC - MORTLAKE, BARNES COMMON	n/a	520240	176200
012	LB	1261445	n/a	Garden Wall to East of Number 1 To 8 Riverside House and Extending Behind Numbers 1 To 24 Reid Court	II	520228	176171
013	LLB	n/a	98/00030/BTM	1-3 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520291	176181
013	LLB	n/a	98/00031/BTM	4 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520287	176174
013	LLB	n/a	98/00032/BTM	5 Parliament Mews Mortlake London SW14 7QP MBC -	n/a	520283	176168

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				MORTLAKE, BARNES COMMON			
013	LLB	n/a	98/00033/BTM	6 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520273	176154
013	LLB	n/a	98/00034/BTM	7 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520267	176158
013	LLB	n/a	98/00035/BTM	8 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520263	176160
013	LLB	n/a	98/00041/BTM	9 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520257	176163
013	LLB	n/a	98/00040/BTM	10 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520251	176167
013	LLB	n/a	98/00036/BTM	11 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520246	176171
013	LLB	n/a	98/00037/BTM	12 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520250	176184
013	LLB	n/a	98/00038/BTM	13 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520253	176189
13	LLB	n/a	98/00039/BTM	14 Parliament Mews Mortlake London SW14 7QP MBC - MORTLAKE, BARNES COMMON	n/a	520261	176195
014	LB	1252972	n/a	Leyden House	II	520313	176164
015	LLB	n/a	00/00018/BTM	Old Stables Thames Bank Mortlake London Surrey SW14 7QR MBC - MORTLAKE, BARNES COMMON	n/a	520321	176144
015	LLB	n/a	00/00018/BTM	Old Stables Thames Bank Mortlake London Surrey SW14 7QR MBC - MORTLAKE, BARNES COMMON	n/a	520318	176134
016	LB	1252971	n/a	Thames Bank House	II	520335	176154

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017	LB	1252970	n/a	Tudor Lodge	II	520345	176143
018	LLB	n/a	19/00079/BTM	Asplin Cottage Thames Bank Mortlake London SW14 7QR MBC - MORTLAKE, BARNES COMMON	n/a	520350	176115
019	LB	1261996	n/a	Thames Cottage	II	520368	176124
020	LLB	n/a	83/00337/BTM	The Ship Thames Bank Mortlake London SW14 7QR MBC - MORTLAKE, BARNES COMMON	n/a	520387	176115
021	LB	1417979	n/a	Gateway, Formerly to Cromwell House	II	520126	176010
022	LB	1031877	n/a	Chiswick Bridge and Attached Balustrades	II	520263	176326
022	LB	1390737	n/a	Chiswick Bridge and Attached Balustrades	II	520263	176326
023	CA	n/a	33	Mortlake	n/a	520734	176011
024	LLB	n/a	13/00115/BTM	61 - 69 Mortlake High Street Mortlake London	n/a	520696	175985
025	LLB	n/a	83/00015/BTM	Tapestry Court 1 - 3 Mortlake High Street Mortlake London	n/a	520800	176007
026	LB	1357705	n/a	Parish Church of St Mary	II*	520845	175941
027	CA	n/a	51	Mortlake Green	n/a	520399	175841
028	LLB	n/a	98/00026/BTM	1 Lower Richmond Road Richmond Surrey SW14 7EZ	n/a	520358	175910
029	LLB	n/a	98/00004/BTM	36 Lower Richmond Road Richmond Surrey SW14 7EX	n/a	520359	175937
030	LLB	n/a	98/00006/BTM	3 Lower Richmond Road Richmond Surrey SW14 7EZ	n/a	520341	175894
030	LLB	n/a	98/00007/BTM	5 Lower Richmond Road Richmond Surrey SW14 7EZ	n/a	520337	175892
030	LLB	n/a	98/00008/BTM	7 Lower Richmond Road Richmond Surrey SW14 7EZ	n/a	520332	175888
030	LLB	n/a	98/00005/BTM	9 Lower Richmond Road Richmond Surrey SW14 7EZ	n/a	520328	175884
031	LLB	n/a	98/00009/BTM	33 Lower Richmond Road Richmond Surrey SW14 7EZ	n/a	520307	175869
032	LLB	n/a	98/00010/BTM	37 Lower Richmond Road Richmond Surrey SW14 7HH	n/a	520289	175861
032	LLB	n/a	88/00030/BTM	51 Lower Richmond Road Richmond Surrey SW14 7HH MBC - MORTLAKE, BARNES COMMON	n/a	520257	175833
032	LLB	n/a	88/00011/BTM	49 Lower Richmond Road Richmond Surrey SW14 7HH	n/a	520262	175835

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032	LLB	n/a	88/00010/BTM	47 Lower Richmond Road Richmond Surrey SW14 7HH	n/a	520266	175837
032	LLB	n/a	98/00013/BTM	45 Lower Richmond Road Richmond Surrey SW14 7HH	n/a	520272	175840
032	LLB	n/a	98/00012/BTM	41 Lower Richmond Road Richmond Surrey SW14 7HH	n/a	520284	175849
032	LLB	n/a	98/00011/BTM	39 Lower Richmond Road Richmond Surrey SW14 7HH	n/a	520287	175852
033	LLB	n/a	88/00005/BTM	1 - 2 Cromwell Place Mortlake London	n/a	520365	175901
033	LLB	n/a	88/00006/BTM	3 - 4 Cromwell Place Mortlake London	n/a	520365	175894
033	LLB	n/a	88/00007/BTM	5 - 6 Cromwell Place Mortlake London	n/a	520367	175888
033	LLB	n/a	88/00008/BTM	7 - 8 Cromwell Place Mortlake London	n/a	520370	175882
033	LLB	n/a	88/00009/BTM	9 - 10 Cromwell Place Mortlake London	n/a	520371	175877
034	LLB	n/a	83/00165/BTM	15 - 17 Sheen Lane East Sheen MBC - MORTLAKE, BARNES COMMON	n/a	520507	175866
034	LLB	n/a	83/00784/BTM	19 Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520507	175858
034	LLB	n/a	83/00914/BTM	19A Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520508	175853
034	LLB	n/a	83/00915/BTM	19B Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520508	175849
034	LLB	n/a	83/00916/BTM	21 Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520509	175843
034	LLB	n/a	83/00162/BTM	11 Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520505	175882
034	LLB	n/a	83/00917/BTM	23 Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520508	175839
034	LLB	n/a	83/00918/BTM	25 Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520508	175833
034	LLB	n/a	83/00163/BTM	Flat A 13 Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520506	175877
034	LLB	n/a	83/00164/BTM	Flat B 13 Sheen Lane East Sheen SW14 8HY MBC -	n/a	520506	175872

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				MORTLAKE, BARNES COMMON			
035	LLB	n/a	98/00003/BTM	Mortlake Railway Station Sheen Lane East Sheen SW14 8LN MBC - MORTLAKE, BARNES COMMON	n/a	520485	175769
036	CA	n/a	n/a	Grove Park	n/a	520185	176960
037	ND	n/a	n/a	River Thames Historic Landscape Character Area	n/a		
038	CA	n/a	35	Queen's Road (Mortlake)	n/a	521003	175656
039	CA	n/a	34	Model Cottages	n/a	520373	175574
040	CA	n/a	68	Holmesdale Avenue	n/a	519971	175461
041	CA	n/a	70	Sheen Lane (Mortlake)	n/a	520489	175578
042	CA	n/a	79	Cowley Road	n/a	521152	175865
043	LB	1065392	n/a	Mausoleum Of Sir Richard and Lady Burton, Churchyard of St Mary Magdalen	II*	520860	175793
044	LB	1065426	n/a	Acacia House	II	520877	175995
045	LB	1065427	n/a	117, High Street Sw14	II	520897	175994
046	LB	1065428	n/a	Limes House and Forecourt Piers	II*	521132	176050
047	LB	1253022	n/a	44 And 46, Victoria Road	II	520672	175908
048	LB	1254175	n/a	28, Sheen Lane	II	520478	175663
049	LB	1261445	n/a	Garden Wall to East of Number 1 To 8 Riverside House and Extending Behind Numbers 1 To 24 Reid Court	II	520228	176171
050	LB	1286039	n/a	Suthrey House With Attached Railings	II	520930	175990
051	LB	1395422	n/a	Air Raid Shelter	II	520302	175674
052	LB	1400834	n/a	Mortlake Crematorium	II	520014	176275
053	LB	1400837	n/a	Hammersmith Memorial to World War II Civilian Dead, Mortlake Cemetery	II	519831	176226
054	LLB	n/a	83/00180/BTM	42B Sheen Lane East Sheen	n/a	520454	175593
055	LLB	n/a	98/00027/BTM	Art Deco House And 1 And 2 Sheen Lane East Sheen	n/a	520356	175824
056	LLB	n/a	83/00080/BTM	1 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520347	175794
057	LLB	n/a	83/00081/BTM	2 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520332	175791

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058	LLB	n/a	83/00082/BTM	3 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520336	175792
059	LLB	n/a	83/00083/BTM	4 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520340	175792
060	LLB	n/a	83/00084/BTM	5 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520343	175793
061	LLB	n/a	83/00085/BTM	6 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520351	175794
062	LLB	n/a	83/00086/BTM	7 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520355	175795
063	LLB	n/a	83/00087/BTM	8 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520358	175795
064	LLB	n/a	83/00181/BTM	8A Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520363	175796
065	LLB	n/a	83/00088/BTM	9 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520367	175797
066	LLB	n/a	83/00089/BTM	10 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520371	175797
067	LLB	n/a	83/00090/BTM	11 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520375	175798
068	LLB	n/a	83/00091/BTM	12 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520379	175799
069	LLB	n/a	83/00092/BTM	13 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520382	175799

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070	LLB	n/a	83/00093/BTM	14 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520386	175800
071	LLB	n/a	83/00094/BTM	15 Rosemary Gardens Mortlake London SW14 7HD MBC - MORTLAKE, BARNES COMMON	n/a	520390	175801
072	LLB	n/a	13/00122/BTM	Water Tower Rear Of 8A Rosemary Cottages Rosemary Gardens MBC Mortlake - MORTLAKE, London BARNES COMMON	n/a	520359	175811
073	LLB	n/a	98/00014/BTM	1 Waldeck Terrace Mortlake London SW14 7HE	n/a	520323	175830
074	LLB	n/a	98/00015/BTM	2 Waldeck Terrace Mortlake London SW14 7HE	n/a	520328	175832
075	LLB	n/a	98/00016/BTM	3 Waldeck Terrace Mortlake London SW14 7HE	n/a	520331	175833
076	LLB	n/a	98/00017/BTM	4 Waldeck Terrace Mortlake London SW14 7HE	n/a	520335	175834
077	LLB	n/a	98/00018/BTM	5 Waldeck Terrace Mortlake London SW14 7HE	n/a	520338	175835
078	LLB	n/a	98/00019/BTM	6 Waldeck Terrace Mortlake London SW14 7HE	n/a	520342	175837
079	LLB	n/a	98/00020/BTM	7 Waldeck Terrace Mortlake London SW14 7HE	n/a	520347	175823
080	LLB	n/a	98/00021/BTM	8 Waldeck Terrace Mortlake London SW14 7HE	n/a	520343	175822
081	LLB	n/a	98/00022/BTM	9 Waldeck Terrace Mortlake London SW14 7HE	n/a	520339	175820
082	LLB	n/a	98/00023/BTM	10 Waldeck Terrace Mortlake London SW14 7HE	n/a	520335	175819
083	LLB	n/a	98/00024/BTM	11 Waldeck Terrace Mortlake London SW14 7HE	n/a	520331	175818
084	LLB	n/a	98/00025/BTM	12 Waldeck Terrace Mortlake London SW14 7HE	n/a	520327	175816
085	LLB	n/a	88/00033/BTM	1 Rosemary Terrace Rosemary Lane Mortlake London SW14 7HG MBC - MORTLAKE, BARNES COMMON	n/a	520276	175768
086	LLB	n/a	88/00034/BTM	2 Rosemary Terrace Rosemary Lane Mortlake London SW14 7HG MBC - MORTLAKE, BARNES COMMON	n/a	520281	175769

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087	LLB	n/a	88/00035/BTM	3 Rosemary Terrace Rosemary Lane Mortlake London SW14 7HG MBC - MORTLAKE, BARNES COMMON	n/a	520287	175770
088	LLB	n/a	88/00036/BTM	4 Rosemary Terrace Rosemary Lane Mortlake London SW14 7HG MBC - MORTLAKE, BARNES COMMON	n/a	520293	175771
089	LLB	n/a	88/00037/BTM	5 Rosemary Terrace Rosemary Lane Mortlake London SW14 7HG MBC - MORTLAKE, BARNES COMMON	n/a	520299	175772
090	LLB	n/a	88/00031/BTM	Eton Lodge Rosemary Lane Mortlake London SW14 7HG MBC - MORTLAKE, BARNES COMMON	n/a	520284	175786
091	LLB	n/a	88/00032/BTM	Woodbine Cottage Rosemary Lane Mortlake London SW14 7HG MBC - MORTLAKE, BARNES COMMON	n/a	520278	175792
092	LLB	n/a	17/00077/BTM	Mortlake Training Centre 67B Lower Richmond Road Mortlake London NRW - SW14 NORTH 7HJ RICHMOND	n/a	520124	175803
093	LLB	n/a	83/00058/BTM	1 Little St Leonards East Sheen SW14 7LT	n/a	520368	175664
094	LLB	n/a	83/00059/BTM	3 Little St Leonards East Sheen SW14 7LT	n/a	520367	175672
095	LLB	n/a	83/00060/BTM	5 Little St Leonards East Sheen SW14 7LT	n/a	520367	175679
096	LLB	n/a	83/00061/BTM	7 Little St Leonards East Sheen SW14 7LT	n/a	520366	175685
097	LLB	n/a	83/00062/BTM	9 Little St Leonards East Sheen SW14 7LT	n/a	520366	175690
098	LLB	n/a	83/00102/BTM	22 St Leonards Road East Sheen SW14 7LX	n/a	520430	175622
099	LLB	n/a	83/00103/BTM	24 St Leonards Road East Sheen SW14 7LX	n/a	520424	175623
100	LLB	n/a	83/00104/BTM	26 St Leonards Road East Sheen SW14 7LX	n/a	520419	175623
101	LLB	n/a	83/00105/BTM	28 St Leonards Road East Sheen SW14 7LX	n/a	520414	175624
102	LLB	n/a	83/03650/BTM	30 St Leonards Road East Sheen SW14 7LX	n/a	520407	175624

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103	LLB	n/a	83/00182/BTM	32 St Leonards Road East Sheen SW14 7LX	n/a	520402	175624
104	LLB	n/a	83/00107/BTM	34 St Leonards Road East Sheen SW14 7LX	n/a	520395	175624
105	LLB	n/a	83/00020/BTM	13 St Leonards Road East Sheen SW14 7LY	n/a	520409	175594
106	LLB	n/a	83/00095/BTM	15 St Leonards Road East Sheen SW14 7LY	n/a	520404	175594
107	LLB	n/a	83/00096/BTM	17 St Leonards Road East Sheen SW14 7LY	n/a	520398	175595
108	LLB	n/a	83/00097/BTM	19 St Leonards Road East Sheen SW14 7LY	n/a	520393	175596
109	LLB	n/a	83/00098/BTM	21 St Leonards Road East Sheen SW14 7LY	n/a	520387	175596
110	LLB	n/a	83/00156/BTM	36 St Leonards Road East Sheen SW14 7NA	n/a	520380	175628
111	LLB	n/a	83/00157/BTM	38 St Leonards Road East Sheen SW14 7NA	n/a	520374	175628
112	LLB	n/a	83/00158/BTM	40 St Leonards Road East Sheen SW14 7NA	n/a	520367	175628
113	LLB	n/a	83/00159/BTM	42 St Leonards Road East Sheen SW14 7NA	n/a	520361	175627
114	LLB	n/a	83/00160/BTM	44 St Leonards Road East Sheen SW14 7NA	n/a	520355	175627
115	LLB	n/a	83/00161/BTM	46 St Leonards Road East Sheen SW14 7NA	n/a	520349	175626
116	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520290	175621
117	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520297	175633
118	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520294	175651
119	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520281	175658
120	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520279	175677
121	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520277	175694
122	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520286	175707

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123	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520304	175709
124	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520321	175711
125	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520332	175703
126	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520353	175704
127	LLB	n/a	12/00004/BTM	St Leonards Court St Leonards Road East Sheen SW14 7NG	n/a	520363	175715
128	LLB	n/a	83/00099/BTM	57 St Leonards Road East Sheen SW14 7NQ	n/a	520200	175568
129	LLB	n/a	83/00100/BTM	59 St Leonards Road East Sheen SW14 7NQ	n/a	520189	175566
130	LLB	n/a	83/00101/BTM	61 St Leonards Road East Sheen SW14 7NQ	n/a	520177	175563
131	LLB	n/a	83/00399/BTM	1 Model Cottages East Sheen London SW14 7PH	n/a	520386	175453
132	LLB	n/a	83/00400/BTM	2 Model Cottages East Sheen London SW14 7PH	n/a	520385	175460
133	LLB	n/a	83/00401/BTM	3 Model Cottages East Sheen London SW14 7PH	n/a	520384	175474
134	LLB	n/a	83/00402/BTM	4 Model Cottages East Sheen London SW14 7PH	n/a	520383	175482
135	LLB	n/a	83/00403/BTM	5 Model Cottages East Sheen London SW14 7PH	n/a	520382	175492
136	LLB	n/a	83/00404/BTM	6 Model Cottages East Sheen London SW14 7PH	n/a	520381	175500
137	LLB	n/a	83/00063/BTM	7 Model Cottages East Sheen London SW14 7PH	n/a	520379	175512
138	LLB	n/a	83/00064/BTM	8 Model Cottages East Sheen London SW14 7PH	n/a	520380	175521
139	LLB	n/a	83/00065/BTM	9 Model Cottages East Sheen London SW14 7PH	n/a	520377	175534
140	LLB	n/a	83/00066/BTM	10 Model Cottages East Sheen London SW14 7PH	n/a	520377	175539
141	LLB	n/a	83/00067/BTM	11 Model Cottages East Sheen London SW14 7PH	n/a	520375	175555
142	LLB	n/a	83/00068/BTM	12 Model Cottages East Sheen London SW14 7PH	n/a	520375	175560
143	LLB	n/a	83/00069/BTM	13 Model Cottages East Sheen London SW14 7PH	n/a	520373	175575

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144	LLB	n/a	83/00071/BTM	14 Model Cottages East Sheen London SW14 7PH	n/a	520373	175580
145	LLB	n/a	83/00070/BTM	15 Model Cottages East Sheen London SW14 7PH	n/a	520371	175594
146	LLB	n/a	83/00072/BTM	16 Model Cottages East Sheen London SW14 7PH	n/a	520371	175600
147	LLB	n/a	83/00073/BTM	17 Model Cottages East Sheen London SW14 7PH	n/a	520335	175589
148	LLB	n/a	83/00074/BTM	18 Model Cottages East Sheen London SW14 7PH	n/a	520336	175582
149	LLB	n/a	83/00075/BTM	19 Model Cottages East Sheen London SW14 7PH	n/a	520338	175559
150	LLB	n/a	83/00076/BTM	20 Model Cottages East Sheen London SW14 7PH	n/a	520339	175549
151	LLB	n/a	83/00077/BTM	21 Model Cottages East Sheen London SW14 7PH	n/a	520343	175528
152	LLB	n/a	83/00078/BTM	22 Model Cottages East Sheen London SW14 7PH	n/a	520343	175519
153	LLB	n/a	83/00405/BTM	23 Model Cottages East Sheen London SW14 7PH	n/a	520345	175492
154	LLB	n/a	83/00406/BTM	24 Model Cottages East Sheen London SW14 7PH	n/a	520346	175486
155	LLB	n/a	83/00407/BTM	25 Model Cottages East Sheen London SW14 7PH	n/a	520350	175463
156	LLB	n/a	83/00408/BTM	26 Model Cottages East Sheen London SW14 7PH	n/a	520350	175453
158	LLB	n/a	83/00920/BTM	39-41 Sheen Lane East Sheen SW14 8AB	n/a	520511	175716
159	LLB	n/a	83/00926/BTM	43 Sheen Lane East Sheen SW14 8AB	n/a	520510	175706
160	LLB	n/a	83/00927/BTM	45 Sheen Lane East Sheen SW14 8AB	n/a	520509	175702
161	LLB	n/a	83/00928/BTM	47 Sheen Lane East Sheen SW14 8AB	n/a	520508	175695
162	LLB	n/a	83/00929/BTM	49 Sheen Lane East Sheen SW14 8AB	n/a	520508	175689
163	LLB	n/a	83/00930/BTM	51 Sheen Lane East Sheen SW14 8AB	n/a	520507	175683
164	LLB	n/a	83/00931/BTM	53 Sheen Lane East Sheen London SW14 8AB EAS - EAST SHEEN	n/a	520507	175676
165	LLB	n/a	83/00932/BTM	55 Sheen Lane East Sheen SW14 8AB EAS - EAST SHEEN	n/a	520506	175670
166	LLB	n/a	91/00086/BTM	59 Sheen Lane East Sheen SW14 8AB EAS - EAST SHEEN	n/a	520505	175659

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167	LLB	n/a	91/00001/BTM	61 Sheen Lane East Sheen SW14 8AB EAS - EAST SHEEN	n/a	520504	175653
168	LLB	n/a	83/00166/BTM	65 Sheen Lane East Sheen SW14 8AD EAS - EAST SHEEN	n/a	520503	175628
169	LLB	n/a	91/00002/BTM	67 Sheen Lane East Sheen SW14 8AD EAS - EAST SHEEN	n/a	520500	175621
170	LLB	n/a	91/00003/BTM	69 Sheen Lane East Sheen SW14 8AD EAS - EAST SHEEN	n/a	520500	175615
171	LLB	n/a	91/00004/BTM	77 Sheen Lane East Sheen SW14 8AD EAS - EAST SHEEN	n/a	520497	175591
172	LLB	n/a	83/00177/BTM	101 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520493	175535
173	LLB	n/a	83/00178/BTM	103 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520494	175531
174	LLB	n/a	91/00005/BTM	107 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520494	175522
175	LLB	n/a	13/00006/BTM	119 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520498	175485
176	LLB	n/a	91/00044/BTM	121 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520499	175480
177	LLB	n/a	13/00007/BTM	123 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520500	175475
178	LLB	n/a	13/00008/BTM	125 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520500	175470
179	LLB	n/a	91/00043/BTM	127 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520501	175465
180	LLB	n/a	91/00045/BTM	129 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520502	175459
181	LLB	n/a	04/00094/BTM	131 - 133 Sheen Lane East Sheen Richmond Upon Thames EAS - EAST SHEEN	n/a	520503	175454
182	LLB	n/a	04/00095/BTM	135 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520504	175448
183	LLB	n/a	83/00167/BTM	81 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520494	175575
184	LLB	n/a	83/00168/BTM	83 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520494	175572
185	LLB	n/a	83/00169/BTM	85 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520494	175567
186	LLB	n/a	83/00170/BTM	87 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520494	175563
187	LLB	n/a	83/00171/BTM	89 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520493	175559
188	LLB	n/a	83/00172/BTM	91 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520494	175555

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189	LLB	n/a	83/00173/BTM	93 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520494	175551
190	LLB	n/a	83/00174/BTM	95 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520493	175547
191	LLB	n/a	83/00175/BTM	97 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520493	175542
192	LLB	n/a	83/00176/BTM	99 Sheen Lane East Sheen SW14 8AE EAS - EAST SHEEN	n/a	520493	175539
193	LLB	n/a	98/00042/BTM	19 Alder Road Mortlake London SW14 8ER	n/a	520597	175839
194	LLB	n/a	98/00043/BTM	21 Alder Road Mortlake London SW14 8ER	n/a	520597	175818
195	LLB	n/a	98/00044/BTM	23 Alder Road Mortlake London SW14 8ER	n/a	520599	175807
196	LLB	n/a	98/00045/BTM	25 Alder Road Mortlake London SW14 8ER	n/a	520597	175825
197	LLB	n/a	98/00046/BTM	27 Alder Road Mortlake London SW14 8ER	n/a	520600	175800
198	LLB	n/a	98/00047/BTM	29 Alder Road Mortlake London SW14 8ER	n/a	520601	175788
199	LLB	n/a	98/00048/BTM	31 Alder Road Mortlake London SW14 8ER	n/a	520602	175782
200	LLB	n/a	98/00049/BTM	Iron Clad Gym Alder Road Mortlake London	n/a	520565	175838
201	LLB	n/a	83/00987/BTM	30 Vineyard Path Mortlake London SW14 8ET	n/a	520650	175920
202	LLB	n/a	83/00001/BTM	50 Vineyard Path Mortlake London SW14 8ET	n/a	520531	175883
203	LLB	n/a	83/00006/BTM	1 Wrights Walk Mortlake London SW14 8EU	n/a	520625	175901
204	LLB	n/a	83/00007/BTM	2 Wrights Walk Mortlake London SW14 8EU	n/a	520626	175896
205	LLB	n/a	83/00008/BTM	3 Wrights Walk Mortlake London SW14 8EU	n/a	520629	175879
206	LLB	n/a	83/00010/BTM	4 Wrights Walk Mortlake London SW14 8EU	n/a	520630	175872
207	LLB	n/a	83/00009/BTM	5 Wrights Walk Mortlake London SW14 8EU	n/a	520634	175853
208	LLB	n/a	83/00011/BTM	6 Wrights Walk Mortlake London SW14 8EU	n/a	520635	175847
209	LLB	n/a	83/00012/BTM	7 Wrights Walk Mortlake London SW14 8EU	n/a	520638	175828
210	LLB	n/a	83/00013/BTM	8 Wrights Walk Mortlake London SW14 8EU	n/a	520639	175823
211	LLB	n/a	83/00909/BTM	76A North Worpole Way Mortlake London SW14 8PP	n/a	520700	175769

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				MBC - MORTLAKE, BARNES COMMON			
212	LLB	n/a	83/00935/BTM	1 Victoria Road Mortlake London SW14 8EX MBC - MORTLAKE, BARNES COMMON	n/a	520671	175773
213	LLB	n/a	83/00970/BTM	10 Victoria Road Mortlake London SW14 8EX MBC - MORTLAKE, BARNES COMMON	n/a	520694	175797
214	LLB	n/a	83/00940/BTM	11 Victoria Road Mortlake London SW14 8EX MBC - MORTLAKE, BARNES COMMON	n/a	520668	175796
215	LLB	n/a	83/00971/BTM	12 Victoria Road Mortlake London SW14 8EX MBC - MORTLAKE, BARNES COMMON	n/a	520694	175802
216	LLB	n/a	83/00941/BTM	13 Victoria Road Mortlake London SW14 8EX	n/a	520667	175800
217	LLB	n/a	83/00972/BTM	14 Victoria Road Mortlake London SW14 8EX	n/a	520693	175808
218	LLB	n/a	83/00942/BTM	15 Victoria Road Mortlake London SW14 8EX	n/a	520666	175804
219	LLB	n/a	83/00973/BTM	16 Victoria Road Mortlake London SW14 8EX	n/a	520692	175814
220	LLB	n/a	83/00943/BTM	17 Victoria Road Mortlake London SW14 8EX	n/a	520665	175809
221	LLB	n/a	83/00974/BTM	18 Victoria Road Mortlake London SW14 8EX	n/a	520691	175820
222	LLB	n/a	83/00944/BTM	19 Victoria Road Mortlake London SW14 8EX	n/a	520665	175813
223	LLB	n/a	83/00966/BTM	2 Victoria Road Mortlake London SW14 8EX	n/a	520698	175775
224	LLB	n/a	83/00975/BTM	20 Victoria Road Mortlake London SW14 8EX	n/a	520691	175825
225	LLB	n/a	83/00945/BTM	21 Victoria Road Mortlake London SW14 8EX	n/a	520664	175818
226	LLB	n/a	83/00976/BTM	22 Victoria Road Mortlake London SW14 8EX	n/a	520689	175831
227	LLB	n/a	83/00946/BTM	23 Victoria Road Mortlake London SW14 8EX	n/a	520663	175822
228	LLB	n/a	83/00977/BTM	24 Victoria Road Mortlake London SW14 8EX	n/a	520688	175837
229	LLB	n/a	83/00947/BTM	25 Victoria Road Mortlake London SW14 8EX	n/a	520663	175826

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230	LLB	n/a	83/00978/BTM	26 Victoria Road Mortlake London SW14 8EX	n/a	520688	175843
231	LLB	n/a	83/00948/BTM	27 Victoria Road Mortlake London SW14 8EX	n/a	520662	175830
232	LLB	n/a	83/00979/BTM	28 Victoria Road Mortlake London SW14 8EX	n/a	520686	175849
233	LLB	n/a	83/00949/BTM	29 Victoria Road Mortlake London SW14 8EX	n/a	520662	175835
234	LLB	n/a	83/00936/BTM	3 Victoria Road Mortlake London SW14 8EX	n/a	520670	175778
235	LLB	n/a	83/00980/BTM	30 Victoria Road Mortlake London SW14 8EX	n/a	520685	175855
236	LLB	n/a	83/00950/BTM	31 Victoria Road Mortlake London SW14 8EX	n/a	520661	175839
237	LLB	n/a	83/00981/BTM	32 Victoria Road Mortlake London SW14 8EX	n/a	520684	175860
238	LLB	n/a	83/00951/BTM	33 Victoria Road Mortlake London SW14 8EX	n/a	520661	175844
239	LLB	n/a	83/00982/BTM	34 Victoria Road Mortlake London SW14 8EX	n/a	520684	175866
240	LLB	n/a	83/00952/BTM	35 Victoria Road Mortlake London SW14 8EX	n/a	520660	175848
241	LLB	n/a	83/00983/BTM	36 Victoria Road Mortlake London SW14 8EX	n/a	520683	175872
242	LLB	n/a	83/00953/BTM	37 Victoria Road Mortlake London SW14 8EX	n/a	520659	175852
243	LLB	n/a	83/00984/BTM	38 Victoria Road Mortlake London SW14 8EX	n/a	520682	175878
244	LLB	n/a	83/00954/BTM	39 Victoria Road Mortlake London SW14 8EX	n/a	520658	175857
245	LLB	n/a	83/00967/BTM	4 Victoria Road Mortlake London SW14 8EX	n/a	520697	175780
246	LLB	n/a	83/00985/BTM	40 Victoria Road Mortlake London SW14 8EX	n/a	520681	175883
247	LLB	n/a	83/00955/BTM	41 Victoria Road Mortlake London SW14 8EX	n/a	520659	175863
248	LLB	n/a	83/00986/BTM	42 Victoria Road Mortlake London SW14 8EX	n/a	520680	175890
249	LLB	n/a	83/00956/BTM	43 Victoria Road Mortlake London SW14 8EX	n/a	520658	175867
250	LLB	n/a	83/00957/BTM	45 Victoria Road Mortlake London SW14 8EX	n/a	520660	175873
251	LLB	n/a	83/00958/BTM	47 Victoria Road Mortlake London SW14 8EX	n/a	520660	175878
252	LLB	n/a	83/00959/BTM	49 Victoria Road Mortlake London SW14 8EX	n/a	520659	175883

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253	LLB	n/a	83/00937/BTM	5 Victoria Road Mortlake London SW14 8EX	n/a	520670	175783
254	LLB	n/a	83/00960/BTM	51 Victoria Road Mortlake London SW14 8EX	n/a	520659	175888
255	LLB	n/a	83/00961/BTM	53 Victoria Road Mortlake London SW14 8EX	n/a	520658	175893
256	LLB	n/a	83/00962/BTM	55 Victoria Road Mortlake London SW14 8EX	n/a	520657	175898
257	LLB	n/a	83/00963/BTM	57 Victoria Road Mortlake London SW14 8EX	n/a	520657	175903
258	LLB	n/a	83/00964/BTM	59 Victoria Road Mortlake London SW14 8EX	n/a	520656	175908
259	LLB	n/a	83/00968/BTM	6 Victoria Road Mortlake London SW14 8EX	n/a	520696	175786
260	LLB	n/a	83/00965/BTM	61 Victoria Road Mortlake London SW14 8EX	n/a	520655	175913
261	LLB	n/a	83/00938/BTM	7 Victoria Road Mortlake London SW14 8EX	n/a	520669	175787
262	LLB	n/a	83/00969/BTM	8 Victoria Road Mortlake London SW14 8EX	n/a	520695	175792
263	LLB	n/a	83/00939/BTM	9 Victoria Road Mortlake London SW14 8EX	n/a	520668	175792
264	LLB	n/a	83/00800/BTM	17 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520716	175843
265	LLB	n/a	83/00799/BTM	18 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520715	175846
266	LLB	n/a	83/00801/BTM	19 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520715	175850
267	LLB	n/a	83/00802/BTM	20 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520714	175854
268	LLB	n/a	83/00803/BTM	21 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520714	175857
269	LLB	n/a	83/00804/BTM	22 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520713	175861
270	LLB	n/a	83/00805/BTM	23 Mullins Path Mortlake London SW14 8EZ MBC -	n/a	520713	175866

PCA HERITAGE

				MORTLAKE, BARNES COMMON			
271	LLB	n/a	83/00806/BTM	24 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520712	175869
272	LLB	n/a	83/00807/BTM	25 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520712	175873
273	LLB	n/a	83/00808/BTM	26 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520711	175877
274	LLB	n/a	83/00809/BTM	27 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520710	175880
275	LLB	n/a	83/00810/BTM	28 Mullins Path Mortlake London SW14 8EZ MBC - MORTLAKE, BARNES COMMON	n/a	520714	175888
276	LLB	n/a	83/00883/BTM	Ex School Building 29 Mullins Path Mortlake London MBC - MORTLAKE, BARNES COMMON	n/a	520731	175888
277	LLB	n/a	83/00884/BTM	Mortlake Hall Mullins Path Mortlake London SW14 80F MBC - MORTLAKE, BARNES COMMON	n/a	520749	175887
278	LLB	n/a	83/00788/BTM	1 James Terrace Mortlake London SW14 8HB	n/a	520787	175874
279	LLB	n/a	83/00789/BTM	2 James Terrace Mortlake London SW14 8HB	n/a	520789	175878
280	LLB	n/a	83/00790/BTM	3 James Terrace Mortlake London SW14 8HB	n/a	520791	175883
281	LLB	n/a	83/00791/BTM	4 James Terrace Mortlake London SW14 8HB	n/a	520793	175887
282	LLB	n/a	83/00002/BTM	5 James Terrace Mortlake London SW14 8HB	n/a	520789	175914
283	LLB	n/a	83/00003/BTM	6 James Terrace Mortlake London SW14 8HB	n/a	520784	175915
284	LLB	n/a	83/00004/BTM	7 James Terrace Mortlake London SW14 8HB	n/a	520779	175914
285	LLB	n/a	83/00005/BTM	8 James Terrace Mortlake London SW14 8HB	n/a	520774	175915
286	LLB	n/a	83/00787/BTM	Adelaide Cottage Church Path Mortlake London SW14 8HD	n/a	520772	175847

PCA HERITAGE

287	LLB	n/a	83/00786/BTM	Elizabeth Cottage Church Path Mortlake London SW14 8HD	n/a	520751	175779
288	LLB	n/a	83/00792/BTM	Lunns Cottage Church Path Mortlake London SW14 8HD	n/a	520799	175899
289	LLB	n/a	17/00146/BTM	Comte De Vezlo Mausoleum St Mary Magdalen Church North MBC Worple - Way MORTLAKE, Mortlake BARNES London COMMON	n/a	520864	175760
290	LLB	n/a	17/00146/BTM	Comte De Vezlo Mausoleum St Mary Magdalen Church North MBC Worple - Way MORTLAKE, Mortlake BARNES London COMMON	n/a	521511	175910
291	LLB	n/a	83/00015/BTM	Tapestry Court 1 - 3 Mortlake High Street Mortlake London	n/a	521071	175955
292	LLB	n/a	05/00054/BTM	61-69 Mortlake High Street Mortlake London SW14 8HL	n/a	520739	175987
293	LLB	n/a	83/00919/BTM	27 Sheen Lane East Sheen SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520510	175813
294	LLB	n/a	83/00014/BTM	17B Sheen Lane East Sheen London SW14 8HY MBC - MORTLAKE, BARNES COMMON	n/a	520534	175855
295	LLB	n/a	17/00164/BTM	Victorian Wall at Church Path Leading to Church Avenue East Sheen EAS - EAST SHEEN	n/a	520596	175451
296	LLB	n/a	17/00161/BTM	Victorian Wall at Mortlake Station Near Little St Leonards East Sheen EAS - EAST SHEEN	n/a	520420	175757
297	LLB	n/a	04/00096/BTM	The Old Waiting Room Station Approach East Sheen	n/a	520481	175757
298	LLB	n/a	13/00005/BTM	42 Sheen Lane East Sheen SW14 8LP EAS - EAST SHEEN	n/a	520472	175587
299	LLB	n/a	17/00163/BTM	Victorian Wall at Sheen Lane Centre and Waitrose Car Park Wall	n/a	520373	175445
300	LLB	n/a	83/00179/BTM	40 Sheen Lane East Sheen SW14 8LW EAS - EAST SHEEN	n/a	520472	175611
301	LLB	n/a	83/00906/BTM	85 South Worple Way East Sheen SW14 8NG EAS - EAST SHEEN	n/a	520628	175723
302	LLB	n/a	83/00907/BTM	Bridge Cottage South Worple Way East Sheen SW14 8NG EAS - EAST SHEEN	n/a	520706	175734

PCA HERITAGE

303	LLB	n/a	83/00933/BTM	United Reformed Church Vernon Road East Sheen SW14 8NH EAS - EAST SHEEN	n/a	520586	175642
304	LLB	n/a	17/00165/BTM	Victorian Rear Wall Of 29 Thornton Road East Sheen	n/a	520641	175541
305	LLB	n/a	83/00900/BTM	33 South Worple Way East Sheen SW14 8PB EAS - EAST SHEEN	n/a	520989	175717
306	LLB	n/a	83/00901/BTM	37 South Worple Way East Sheen SW14 8PB EAS - EAST SHEEN	n/a	520955	175714
307	LLB	n/a	88/00238/BTM	38 South Worple Way East Sheen SW14 8PB EAS - EAST SHEEN	n/a	520950	175715
308	LLB	n/a	83/00902/BTM	39 South Worple Way East Sheen SW14 8PB EAS - EAST SHEEN	n/a	520946	175714
309	LLB	n/a	88/00239/BTM	40 South Worple Way East Sheen SW14 8PB EAS - EAST SHEEN	n/a	520941	175714
310	LLB	n/a	83/00903/BTM	41 South Worple Way East Sheen SW14 8PB EAS - EAST SHEEN	n/a	520936	175714
311	LLB	n/a	88/00240/BTM	42 South Worple Way East Sheen SW14 8PB EAS - EAST SHEEN	n/a	520932	175714
312	LLB	n/a	83/00904/BTM	43 South Worple Way East Sheen SW14 8PB	n/a	520927	175714
313	LLB	n/a	83/00905/BTM	45 South Worple Way East Sheen SW14 8PB	n/a	520912	175716
314	LLB	n/a	83/00879/BTM	Former Queens Arms Public House Princes Road East Sheen SW14 EAS 8P- EAST SHEEN	n/a	520973	175615
315	LLB	n/a	83/00893/BTM	10 Rock Avenue East Sheen SW14 8PG	n/a	520921	175667
316	LLB	n/a	83/00894/BTM	11 Rock Avenue East Sheen SW14 8PG	n/a	520922	175662
317	LLB	n/a	83/00895/BTM	12 Rock Avenue East Sheen SW14 8PG	n/a	520923	175656
318	LLB	n/a	83/00896/BTM	13 Rock Avenue East Sheen SW14 8PG	n/a	520924	175651
319	LLB	n/a	83/00897/BTM	14 Rock Avenue East Sheen SW14 8PG	n/a	520925	175645
320	LLB	n/a	83/00898/BTM	15 Rock Avenue East Sheen SW14 8PG	n/a	520925	175639

PCA HERITAGE

321	LLB	n/a	83/00885/BTM	2 Rock Avenue East Sheen SW14 8PG	n/a	520915	175710
322	LLB	n/a	83/00886/BTM	3 Rock Avenue East Sheen SW14 8PG	n/a	520915	175704
323	LLB	n/a	83/00887/BTM	4 Rock Avenue East Sheen SW14 8PG	n/a	520916	175699
324	LLB	n/a	88/00241/BTM	44 South Worple Way East Sheen SW14 8PB	n/a	520923	175714
325	LLB	n/a	83/00888/BTM	5 Rock Avenue East Sheen SW14 8PG	n/a	520917	175693
326	LLB	n/a	83/00889/BTM	6 Rock Avenue East Sheen SW14 8PG	n/a	520918	175688
327	LLB	n/a	83/00890/BTM	7 Rock Avenue East Sheen SW14 8PG	n/a	520918	175683
328	LLB	n/a	83/00891/BTM	8 Rock Avenue East Sheen SW14 8PG	n/a	520920	175678
329	LLB	n/a	83/00892/BTM	9 Rock Avenue East Sheen SW14 8PG	n/a	520920	175672
330	LLB	n/a	83/00908/BTM	76 North Worple Way Mortlake London SW14 8PP MBC - MORTLAKE, BARNES COMMON	n/a	520702	175764
331	LLB	n/a	83/00908/BTM	76 North Worple Way Mortlake London SW14 8PP MBC - MORTLAKE, BARNES COMMON	n/a	520806	175721
332	LLB	n/a	83/00910/BTM	77 North Worple Way Mortlake London SW14 8PP MBC - MORTLAKE, BARNES COMMON	n/a	520671	175769
333	LLB	n/a	83/00899/BTM	1 Lodge Avenue East Sheen SW14 8PQ	n/a	520994	175718
334	LLB	n/a	98/00063/BTM	10 Lodge Avenue East Sheen SW14 8PQ	n/a	521013	175637
335	LLB	n/a	98/00064/BTM	11 Lodge Avenue East Sheen SW14 8PQ	n/a	521014	175629
336	LLB	n/a	98/00054/BTM	2 Lodge Avenue East Sheen SW14 8PQ	n/a	520997	175708
337	LLB	n/a	98/00055/BTM	3 Lodge Avenue East Sheen SW14 8PQ	n/a	520999	175699
338	LLB	n/a	98/00001/BTM	4 Lodge Avenue East Sheen SW14 8PQ	n/a	521001	175690
339	LLB	n/a	98/00002/BTM	5 Lodge Avenue East Sheen SW14 8PQ	n/a	521003	175682
340	LLB	n/a	98/00058/BTM	6 Lodge Avenue East Sheen SW14 8PQ	n/a	521005	175672

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341	LLB	n/a	98/00059/BTM	7 Lodge Avenue East Sheen SW14 8PQ	n/a	521006	175664
342	LLB	n/a	98/00061/BTM	8 Lodge Avenue East Sheen SW14 8PQ	n/a	521009	175654
343	LLB	n/a	98/00062/BTM	9 Lodge Avenue East Sheen SW14 8PQ	n/a	521010	175646
344	LLB	n/a	88/00002/BTM	63 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520826	175748
345	LLB	n/a	88/00003/BTM	64 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520816	175754
346	LLB	n/a	88/00242/BTM	65 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520810	175753
347	LLB	n/a	88/00004/BTM	66 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520802	175753
348	LLB	n/a	88/00001/BTM	67 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520797	175753
349	LLB	n/a	88/00243/BTM	68 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520780	175757
350	LLB	n/a	88/00244/BTM	69 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520774	175757
351	LLB	n/a	88/00245/BTM	70 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520769	175757
352	LLB	n/a	88/00246/BTM	71 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520764	175757
353	LLB	n/a	98/00050/BTM	72 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520756	175758
354	LLB	n/a	98/00051/BTM	73 North Worple Way Mortlake London SW14 8PR	n/a	520750	175758

PCA HERITAGE

				MBC - MORTLAKE, BARNES COMMON			
355	LLB	n/a	98/00052/BTM	74 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520745	175759
356	LLB	n/a	98/00053/BTM	75 North Worple Way Mortlake London SW14 8PR MBC - MORTLAKE, BARNES COMMON	n/a	520739	175760
357	LLB	n/a	83/00913/BTM	Church Hall (St Mary Magdalene Church) North Worple Way Mortlake MBC - London MORTLAKE, SW14 8PR BARNES COMMON	n/a	520838	175768
358	LLB	n/a	83/00912/BTM	Presbytery (St Mary Magdalene Church) North Worple Way Mortlake MBC - London MORTLAKE, BARNES COMMON	n/a	520841	175786
359	LLB	n/a	83/00911/BTM	St Mary Magdalen Church North Worple Way Mortlake London SW14 MBC - 8PR MORTLAKE, BARNES COMMON	n/a	520830	175805
360	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	521025	175966
361	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	521023	175976
362	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	521016	175975
363	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	521009	175974
364	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	521002	175972
365	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	520994	175970

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366	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	520988	175969
367	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	520980	175968
368	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	520973	175966
369	LLB	n/a	83/00882/BTM	Ashleigh House Mortlake High Street Mortlake London SW14 8SHMBC - MORTLAKE, BARNES COMMON	n/a	520976	175956
370	LLB	n/a	83/01316/BTM	Ripley House Mortlake High Street Mortlake London SW14 8SJ	n/a	521063	175986
371	LLB	n/a	83/01316/BTM	Ripley House Mortlake High Street Mortlake London SW14 8SJ	n/a	521054	175984
372	LLB	n/a	83/01316/BTM	Ripley House Mortlake High Street Mortlake London SW14 8SJ	n/a	521046	175981
373	LLB	n/a	83/01316/BTM	Ripley House Mortlake High Street Mortlake London SW14 8SJ	n/a	521047	175971
374	LLB	n/a	83/01306/BTM	256-260 Mortlake High Street Mortlake London SW14 8SL	n/a	521077	175989
375	LLB	n/a	98/00065/BTM	268-272 Cowley Mansions Mortlake High Street Mortlake London MBC SW14 - 8SL MORTLAKE, BARNES COMMON	n/a	521109	175997
376	LLB	n/a	98/00066/BTM	274-278 Cowley Mansions Mortlake High Street Mortlake London MBC SW14 - 8SL MORTLAKE, BARNES COMMON	n/a	521115	175998
377	LLB	n/a	98/00067/BTM	280-284 Cowley Mansions Mortlake High Street Mortlake London MBC SW14 - 8SL MORTLAKE, BARNES COMMON	n/a	521121	175999
378	LLB	n/a	98/00068/BTM	286-290 Cowley Mansions Mortlake High Street Mortlake London MBC SW14	n/a	521126	176001

PCA HERITAGE

				- 8SL MORTLAKE, BARNES COMMON			
379	LLB	n/a	98/00069/BTM	292-296 Cowley Mansions Mortlake High Street Mortlake London MBC SW14 - 8SL MORTLAKE, BARNES COMMON	n/a	521132	176003
380	LLB	n/a	83/01001/BTM	316-320 Cowley Mansions Mortlake High Street Mortlake London MBC SW14 - 8SL MORTLAKE, BARNES COMMON	n/a	521169	176019
381	LLB	n/a	83/03630/BTM	Cowley Mansions 262 - 266 Mortlake High Street Mortlake LondonMBC - MORTLAKE, BARNES COMMON	n/a	521087	175992
382	LLB	n/a	83/03630/BTM	Cowley Mansions 262 - 266 Mortlake High Street Mortlake LondonMBC - MORTLAKE, BARNES COMMON	n/a	521160	175965
383	LLB	n/a	98/00070/BTM	Cowley Mansions 298 - 300 Mortlake High Street Mortlake LondonMBC - MORTLAKE, BARNES COMMON	n/a	521138	176004
384	LLB	n/a	98/00071/BTM	Cowley Mansions 304 - 308 Mortlake High Street Mortlake LondonMBC - MORTLAKE, BARNES COMMON	n/a	521143	176005
385	LLB	n/a	98/00072/BTM	Cowley Mansions 310 - 314 Mortlake High Street Mortlake LondonMBC - MORTLAKE, BARNES COMMON	n/a	521149	176007
386	LLB	n/a	83/01000/BTM	123A Mortlake High Street Mortlake London SW14 8SN MBC - MORTLAKE, BARNES COMMON	n/a	521149	176056
387	LLB	n/a	83/00999/BTM	Former Electricity Works 121 Mortlake High Street Mortlake LondonMBC - MORTLAKE, BARNES COMMON	n/a	521097	176022
388	LLB	n/a	83/00798/BTM	113 Mortlake High Street Mortlake London SW14 8HQ	n/a	520870	175986

PCA HERITAGE

389	LLB	n/a	83/00797/BTM	111 Mortlake High Street Mortlake London SW14 8HQ	n/a	520866	175985
390	LLB	n/a	83/00796/BTM	109 Mortlake High Street Mortlake London SW14 8HQ	n/a	520861	175985
391	LLB	n/a	83/00795/BTM	105 Mortlake High Street Mortlake London SW14 8HQ	n/a	520838	175989
392	LLB	n/a	83/00794/BTM	103 Mortlake High Street Mortlake London SW14 8HQ	n/a	520830	175988
393	LLB	n/a	83/00793/BTM	101 Mortlake High Street Mortlake London SW14 8HQ	n/a	520824	175988
394	LLB	n/a	83/00881/BTM	Avondale House Mortlake High Street Mortlake London SW14 8S0MBC - MORTLAKE, BARNES COMMON	n/a	520945	175962
395	LLB	n/a	83/00881/BTM	Avondale House Mortlake High Street Mortlake London SW14 8S0MBC - MORTLAKE, BARNES COMMON	n/a	520935	175962
396	LLB	n/a	83/00881/BTM	Avondale House Mortlake High Street Mortlake London SW14 8S0MBC - MORTLAKE, BARNES COMMON	n/a	520940	175962
397	LLB	n/a	83/00881/BTM	Avondale House Mortlake High Street Mortlake London SW14 8S0MBC - MORTLAKE, BARNES COMMON	n/a	520930	175961
398	LLB	n/a	CH94	Quintin Boat Club, Hartington Road	n/a	520200	176525
399	LLB	n/a	83/00880/BTM	Lord Napier Ph Mortlake High Street	n/a	520739	175988

PCA HERITAGE

11. APPENDIX 2: BUILT HERITAGE ASSESSMENT (WATERMAN 2022)



Former Stag Brewery, Mortlake

Built Heritage Assessment

February 2022

Waterman Infrastructure & Environment Limited

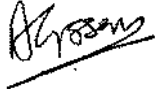


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Document Reference: WIE18671-100-R-9-2-2
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Quality Assurance – Approval Status

This document has been prepared and checked in accordance with Waterman Group's IMS (BS EN ISO 9001: 2015, BS EN ISO 14001: 2015 and BS EN ISO 45001:2018)

Issue	Date	Prepared by	Checked by	Approved by
First	February 2022	Alexandra Grassam Principal Heritage Consultant	Sally Hales Technical Director	Sally Hales Technical Director
				

Comments

Comments



Disclaimer

This report has been prepared by Waterman Infrastructure & Environment Limited, with all reasonable skill, care and diligence within the terms of the Contract with the client, incorporation of our General Terms and Condition of Business and taking account of the resources devoted to us by agreement with the client.

We disclaim any responsibility to the client and others in respect of any matters outside the scope of the above.

This report is confidential to the client and we accept no responsibility of whatsoever nature to third parties to whom this report, or any part thereof, is made known. Any such party relies on the report at its own risk.

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Executive Summary

A Built Heritage Assessment has been prepared by Waterman Infrastructure & Environment Ltd on behalf of Reselton Properties Limited in support of two linked planning applications for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake within the London Borough of Richmond upon Thames. The aim of the report is to provide an overview of the history of the Site, before describing and assessing its significance.

There is evidence of brewing on the Site since at least the mid-sixteenth century, and possibly earlier during the late fifteenth century. The Site continued in use as a brewery up to c. 2015. The majority of the buildings within the Site are of modern date. Part of the Site running along Mortlake High Street and the Thames shoreline is located within the Mortlake Conservation Area. A small portion of the Site extends into the Mortlake Green Conservation Area. The Site contains three built heritage assets recognised as being Buildings of Townscape Merit (The Former Hotel, Former Bottling Building and Maltings) and the assessment has identified further built heritage assets within the Site which contribute to its significance.

There are 20 Listed Buildings within 500m of the Site (three Grade II* and 17 Grade II) and further buildings within the conservation areas recognised as being Buildings of Townscape Merit. The report considers the Site's contribution to the significance of adjacent heritage assets, both designated and non-designated. These included the Mortlake and Mortlake Green Conservation Areas, the Grade II listed Riverside House; Leyden House; Thames Bank House; Tudor Lodge; Thames Cottage; Gateway, formerly to Cromwell House, the Grade II listed Chiswick Bridge, and the Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court.

The assessment has established that the majority of the historic brewery on the Site have been demolished during a phase of expansion in the latter half of the twentieth century. This development left only three intact structures from the early twentieth and 19th centuries, and the facades of other structures as the boundary walls. These buildings have value in their own right and are the main contributing factor to the Site's heritage significance and its contribution to the setting of other nearby heritage assets, such as the two Conservation Areas partly within the Site to the south and south east. Their value as a group of related historic structures is also important when considering the Site holistically. Twentieth century development has had a considerable negative effect on the significance of the built heritage within the Site, and a negative effect on the settings of nearby Listed Buildings on Thames Walk. The majority of the structures within the Site are of no heritage significance.

The landscape of the River Thames corridor has been assessed to determine if it contains any surviving areas of historic landscape character of significance. The report has established that along the Mortlake and Chiswick stretches of the Thames, the landscape is largely of modern date and of very limited heritage value.

1. Introduction

1.1 Project Background

This Built Heritage Assessment has been prepared by Waterman Infrastructure & Environment Limited (Waterman) on behalf of Reselton Properties Limited (“the Applicant”) in support of two linked planning applications (“the Applications”) for the comprehensive redevelopment of the former Stag Brewery Site in Mortlake (“the Site”) within the London Borough of Richmond upon Thames (LBRuT).

1.1.1 The Site

The Site is approximately centred on National Grid Reference (NGR) 520380, 176003 and is located in Mortlake within the administrative boundary of the London Borough of Richmond upon Thames (LBRuT) (see **Appendix A**, Figure 1). The Site comprises:

- The former Stag Brewery, a parcel of land extending to approximately 9.25 hectare (ha), occupied by a mix of large-scale industrial brewery structures and buildings, hardstanding, and a playing field in the south west known as Watney’s Sports Ground, and incorporating a section of the River Thames towpath within the north of the Site;
- Ship Lane, a public highway bisecting the Site;
- Bulls Alley, a public highway within the east of the Site;
- Williams Lane, a highway within the west of the Site;
- The junction with the A316 (Clifford Avenue), A3003 (Lower Richmond Road) and A205 (South Circular) (collectively known as ‘Chalkers Corner’) to the west of the Site; and
- Mortlake High Street and Sheen Lane to the south of the Site.

The Site is in a predominantly residential setting with public open space known as Mortlake Green located to the south of the Site. The River Thames is located immediately north of the Site.

1.1.2 Scheme Proposals

The Applications seek planning permission for:

Application A:

“Hybrid application to include the demolition of existing buildings to allow for comprehensive phased redevelopment of the Site:

Planning permission is sought in detail for works to the east side of Ship Lane which comprise:

- *Demolition of existing buildings (except the Maltings and the façade of the Bottling Plant and former Hotel), walls, associated structures, site clearance and groundworks*
- *Alterations and extensions to existing buildings and erection of buildings varying in height from 3 to 9 storeys plus a basement of one to two storeys below ground*
- *Residential apartments*
- *Flexible use floorspace for:*
 - *Retail, financial and professional services, café/restaurant and drinking establishment uses*
 - *Offices*
 - *Non-residential institutions and community use*

- *Boathouse*
- *Hotel / public house with accommodation*
- *Cinema*
- *Offices*
- *New pedestrian, vehicle and cycle accesses and internal routes, and associated highway works*
- *Provision of on-site cycle, vehicle and servicing parking at surface and basement level*
- *Provision of public open space, amenity and play space and landscaping*
- *Flood defence and towpath works*
- *Installation of plant and energy equipment*

Planning permission is also sought in outline with all matters reserved for works to the west of Ship Lane which comprise:

- *The erection of a single storey basement and buildings varying in height from 3 to 8 storeys*
- *Residential development*
- *Provision of on-site cycle, vehicle and servicing parking*
- *Provision of public open space, amenity and play space and landscaping*
- *New pedestrian, vehicle and cycle accesses and internal routes, and associated highways works.”*

Application B:

“Detailed planning permission for the erection of a three-storey building to provide a new secondary school with sixth form; sports pitch with floodlighting, external MUGA and play space; and associated external works including landscaping, car and cycle parking, new access routes and all other associated works.”

Together, Applications A and B described above, along with the Section 278 highways works comprise the ‘Proposed Development’.

1.2 Scope

This report will provide a baseline assessment of the Stag Brewery Site, through research and Site assessment. This will inform why and to what extent any buildings and / or features on the Site may be historically or architecturally significant. This assessment will also consider the Site’s contribution to the setting and significance of heritage assets in the environs of the Site.

This assessment follows best practice procedures produced by Historic England^{1,2}, the Chartered Institute for Archaeologists³ and makes reference to policy contained in Section 16 of the National Planning Policy Framework (NPPF), *Conserving and Enhancing the Historic Environment*⁴.

This report supersedes the Built Heritage Statement prepared in 2018 by Waterman to support an earlier application for the Site.⁵

¹ Historic England, 2017a, Historic Environment Good Practice in Planning 3: The Setting of Heritage Assets, [<https://historicengland.org.uk/images-books/publications/gpa3-setting-of-heritage-assets/>]

² Historic England, 2017b, *Conservation principles, policies and guidance. Consultation Draft*, Swindon [<https://historicengland.org.uk/content/docs/guidance/conservation-principles-consultation-draft-pdf/>].

³ Chartered Institute for Archaeologists, 2020, Standard and Guidance for Historic Environment Desk Based Assessments [https://www.archaeologists.net/sites/default/files/CIfAS%26GDBA_4.pdf]

⁴ Department of Levelling Up, Housing and Communities, 2021, National Planning Policy Framework, <https://www.gov.uk/guidance/national-planning-policy-framework>

⁵ Waterman, 2018, The Former Stag Brewery, Mortlake. Built Heritage Statement. Report Reference WIE10667-101-4-1-1-HR

1.3 Planning Background for the Proposed Development

The Applications follow earlier planning applications which were refused by the Greater London Authority and the GLA. The refused applications were for:

- Application A – hybrid planning application for comprehensive mixed-use redevelopment of the former Stag Brewery site consisting of:
 - Land to the east of Ship Lane applied for in detail (referred to as ‘Development Area 1’ throughout); and
 - Land to the west of Ship Lane (excluding the school) applied for in outline (referred to as ‘Development Area 2’ throughout).
- Application B – detailed planning application for the school (on land to the west of Ship Lane).
- Application C – detailed planning application for highways and landscape works at Chalkers Corner (withdrawn by the Applicant in November 2020).

The LBRuT (the Council) originally resolved to grant planning permission for Applications A and B but refuse Application C.

Following the LBRuT’s resolution to approve the applications A and B, the Mayor called-in the Applications and became the determining authority. The Mayor’s reasons for calling in the Applications were set out in his Stage II letter (dated 4 May 2020) but specifically related to concerns regarding what he considered was a low percentage of affordable housing being proposed for the Site and the need to secure a highways solution for the scheme following the LBRuT’s refusal of Application C.

Working with the Mayor’s team, the Applicant sought to meaningfully respond to the Mayor’s concerns on the Applications. A summary of the revisions to the scheme made and submitted to the GLA in July 2020 is as follows:

- Increase in residential unit provision from up to 813 units to up to 1,250 units;
- Increase in affordable housing provision from (up to) 17%, to 30%;
- Increase in height for some buildings of up to three storeys;
- Change to the layout of Blocks 18 and 19, conversion of Block 20 from a terrace row of housing to two four storey buildings;
- Reduction in the size of the western basement, resulting in an overall car parking spaces reduction of 186 spaces and introduction of an additional basement storey under Block 1;
- Internal layout changes and removal of the nursing home and assisted living in Development Area 2;
- Landscaping amendments, including canopy removal of four trees on the north west corner of the Site; and
- Alternative options to Chalkers Corner in order to mitigate traffic impacts through works to highway land only and allow the withdrawal of Application C.

The application was amended to reflect these changes.

Notwithstanding this, and despite GLA officers recommending approval, the Mayor refused the applications in August 2021.

The Mayor’s reasons for refusal in respect of Application A were:

- 1) Height, bulk and mass, which would result in an unduly obtrusive and discordant form of development in this ‘arcadian’ setting which would be harmful to the townscape, character and appearance of the surrounding area;

- 2) Heritage impact. The proposals, by reason of its height, scale, bulk and massing would result in less than substantial harm to the significance of several listed buildings and conservation areas in the vicinity. The Mayor considered that the less than substantial harm was not clearly and convincingly outweighed by the public benefits, including Affordable Housing, that the proposals would deliver;
- 3) Neighbouring amenity issues. The proposal, by reason of the excessive bulk, scale and siting of Building 20 and 21 in close proximity to the rear of neighbouring residential properties in Parliament Mews and the rear gardens of properties on Thames Bank, would result in an unacceptable overbearing and unneighbourly impact, including direct overlooking of private amenity spaces. The measures in the Design Code would not sufficiently mitigate these impacts; and
- 4) No section 106 agreement in place.

Application B was also refused because it is intrinsically linked with Application A and therefore could not be brought forward in isolation.

1.3.1 The Proposed New Scheme

This 3rd iteration of the scheme seeks to respond directly to the Mayor's reasons for refusal and in doing so also addresses a number of the concerns raised by the LBRuT.

The amendments can be summarised as follows:

- 1) A revised energy strategy is proposed in order to address the London Plan (2021) requirements;
- 2) Several residential blocks have been reduced in height to better respond to the listed buildings along the Thames riverfront and to respect the setting of the Maltings building, identified as a Building of Townscape Merit (BTM) by the LBRuT;
- 3) Reconfiguration of layout of Buildings 20 and 21 has been undertaken to provide lower rise buildings to better respond to the listed buildings along the Thames riverfront; and
- 4) Chalkers Corner light highways mitigation works.

The school proposals (submitted under 'Application B') are unchanged. The Applicant acknowledges LBRuT's identified need for a secondary school at the Site and the applications continue to support the delivery of a school. It is expected that the principles to be agreed under the draft Community Use Agreement (CUA) will be the same as those associated with the refused school application (LBRuT ref: 18/0548/FUL, GLA ref: GLA/4172a/07).

Overall, it is considered that together, the Applications respond successfully to the concerns raised by stakeholders in respect of the previous schemes and during pre-application discussions on the revised proposed Development. As a result, it is considered that the scheme now represents a balanced development that delivers the principle LBRuT objectives from the Site.

2. Legislation and Policy

This assessment has been produced within the context of relevant legislation, as well as local and national planning policy and considers policies laid out in the NPPF and the local planning policy of LBRuT.

Relevant legislation and policy is listed below, and further detail can be found in **Appendix C**.

2.1 Legislation

- Ancient Monuments and Archaeological Areas Act 1979⁶;
- Planning (Listed Buildings and Conservation Areas Act) 1990⁷.

2.2 National Policy

- National Planning Policy Framework, updated July 2021, see Section 16 Conserving and enhancing the historic environment⁸;

2.3 Regional and Local Policy

- London Borough of Richmond upon Thames, 2011, Stag Brewery, Mortlake, SW14 Planning Brief, Supplementary Planning Document. LBRuT: Richmond.
- London Borough of Richmond upon Thames Local Plan, adopted July 2018⁹ (see Policies LP3, LP4, and LP5)
- London Borough of Richmond upon Thames, Mortlake Village Planning Guidance, December 2015¹⁰
- The London Plan 2021¹¹, (see Chapter 7 Heritage and Culture Policy HC1).

⁶ Her Majesty's Stationery Office (HMSO), *Ancient Monuments and Archaeological Areas Act*. 1979, accessible via <https://www.legislation.gov.uk/ukpga/1979/46>

⁷ Her Majesty's Stationery Office (HMSO), *Planning (Listed Buildings and Conservation Areas) Act*. 1990, accessible via www.legislation.gov.uk/ukpga/1990/9/contents

⁸ NPPF, 2021

⁹ London Borough of Richmond upon Thames, 2018a, Local Plan, available at https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf

¹⁰ London Borough of Richmond upon Thames, 2015, Mortlake Village Planning Guidance, available at https://www.richmond.gov.uk/media/7640/mortlake_village_planning_guidance_spd.pdf

¹¹ Mayor of London & London Assembly, 2021, The London Plan 2021. Available at https://www.london.gov.uk/sites/default/files/the_london_plan_2021.pdf

3. Assessment Methodology

This assessment has included the following:

- Information obtained and presented in the 2018 Built Heritage Statement¹², where appropriate;
- consultation of relevant early maps, documents and other heritage information in the London Borough of Richmond upon Thames (LBRuT) archives. A historical overview of the Site and its surroundings is provided;
- consultation of online resources;
- appraisal of designated heritage assets and areas, including conservation areas and local lists;
- a walk-over survey of the Site and the immediate surrounding area;
- assessment of the heritage values of the buildings likely to be affected by the proposal; and
- consultation of local and national planning policy and guidance pertaining to heritage.

The Heritage Statement has been carried out in accordance with the requirements of the NPPF¹³ and to Historic England standards^{14 15} and ClfA Standards¹⁶.

The Site was visited on 25th August 2017 and 15th December 2021. The aim of the visits and walkovers was to assess the form of the buildings and identify any features of heritage merit which may be affected by development on the Site. Some of the resultant images from this inspection are reproduced in this report.

3.1 Assessing Heritage Significance

The NPPF defines the value or importance in the context of heritage policy as:

“The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting”¹⁷

This report uses a set of criteria to assess the significance of individual or grouped assets, as applicable. The value/sensitivity of a heritage asset is typically determined according to its statutory designation (i.e. designated, non-designated or locally listed). An overview of such significance is outlined in **Table 1** and a definition of where the value is drawn from is outlined in **Table 2**.

Table 1: Significance of Heritage Assets

Significance	Type of Heritage Asset
Very High	World Heritage Sites (including nominated sites).
	Scheduled Monuments (including non-designated heritage assets of schedulable quality).
	Grade I Listed Building.
	Grade I Registered Parks and Gardens.
	Protected Wrecks.
High	Heritage assets of national or international importance (these could be designated, non-designated or as yet undesignated heritage assets of such importance).
	Grade II* and II Listed Buildings. Conservation Areas.

¹² Waterman, 2018

¹³ NPPF 2021

¹⁴ Historic England 2017a

¹⁵ Historic England, 2017b.

¹⁶ ClfA, 2020

¹⁷ NPPF 2021

Significance	Type of Heritage Asset
	Grade II* and II Registered Parks and Gardens. Registered Battlefields. Protected heritage landscapes (ancient woodlands or historic hedgerows). Heritage assets of regional or county importance (these could be designated, non-designated or as yet undesignated heritage assets of such importance).
Medium	Locally listed buildings. Heritage assets with a district value or interest (these could include non-designated or as yet undesignated heritage assets).
Low	Heritage assets (whether non-designated or as yet undesignated) with a local (e.g. parish) value or interest.
Very Low	Historic environment resource with no significant value or interest.
Unknown	Heritage assets for which current level of understanding is insufficient to allow significance to be determined.

Table 2: Value of Heritage Assets

Heritage Values	Definition
Archaeological	As defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
Historic	An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.
Architectural and Artistic	Interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.

3.2 Assessing the Contribution of Setting to the Significance of Heritage Assets

The definition of setting is taken from the NPPF Annex 2: Glossary as “*the surroundings in which an asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral*”. Historic England’s guidance¹⁸ considers that the importance of setting lies in what it contributes to the significance of the heritage asset. This depends on a wide range of physical elements within, as well as perceptual and associational attributes pertaining to, the heritage asset’s surroundings.

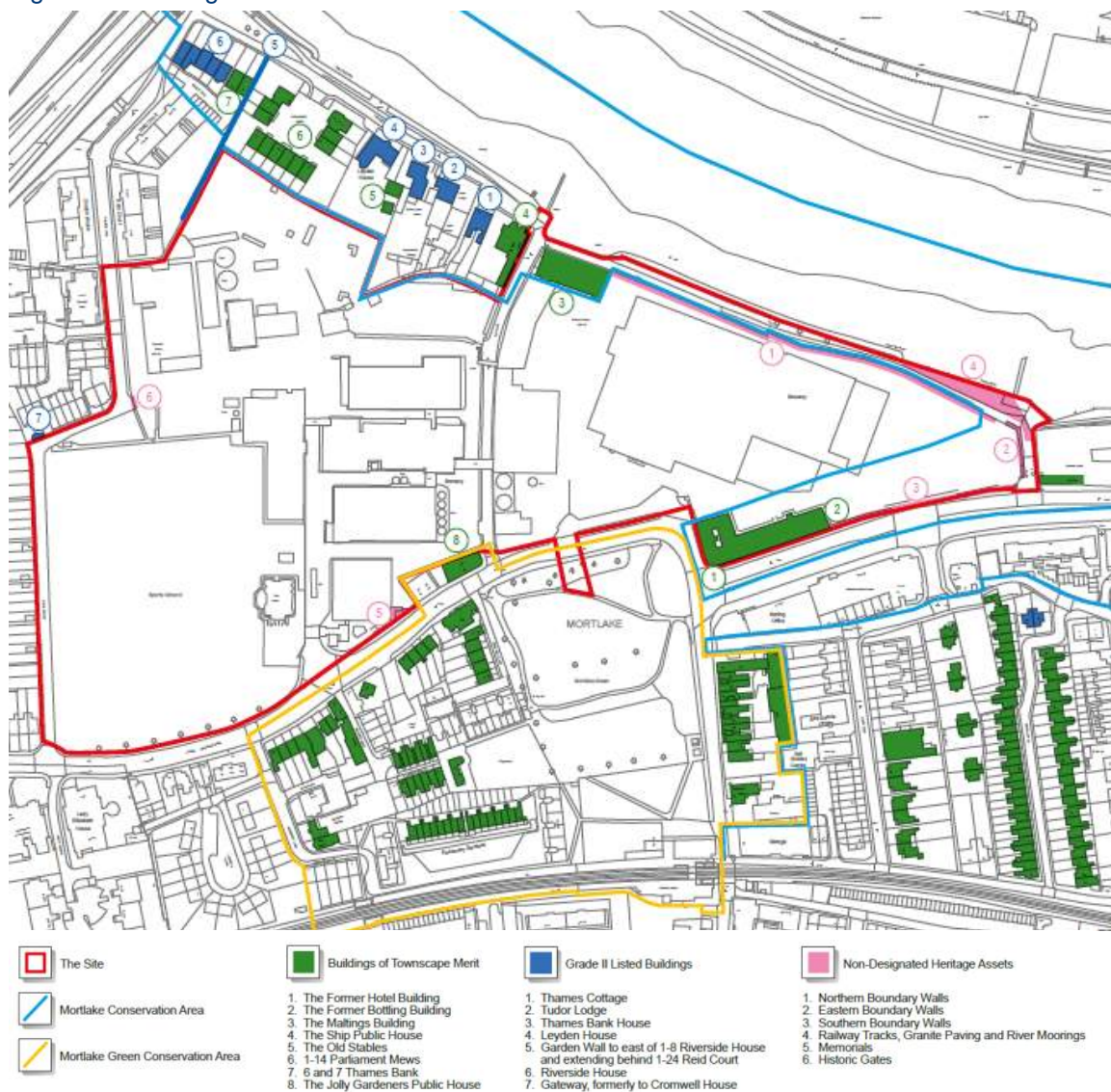
¹⁸ Historic England 2017b

4. Historical Baseline and Analysis

4.1 Introduction

A map identifying the heritage assets within the Site and in the environs is located in **Appendix A** (Figures 1 to 3) and shown below for reference (**Figure 1**).

Figure 1: Heritage Assets Plan



4.2 Designated Heritage Assets

4.2.1 Listed Buildings

There are no listed structures located within the Site and therefore none would be subject to direct, physical impacts from the Development.

There are 20 Listed Buildings within 500m of the Site (three Grade II* and 17 Grade II) and all included in a gazetteer (see **Appendix B**), and locations shown on Figure 1 in **Appendix A**. All have been subject to assessment in order to identify those which may be impacted through a change in setting as a result of the Development. These are heritage assets which share intervisibility with the Site, and also those which could see changes due to changes in lighting, sound, traffic levels or pollution during the construction or operation of the Development. The initial assessment has identified 12 Listed Buildings that require further assessment. For the purposes of this assessment, these buildings are grouped where appropriate.

Listed Buildings Adjacent to the Site

- Thames Cottage: Grade II [NHLE 1261996];
- Tudor Lodge: Grade II [NHLE 1252970];
- Thames Bank House: Grade II [NHLE 1252971];
- Leyden House: Grade II [NHLE 1252972];
- Riverside House: Grade II [NHLE 1254107];
- Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court: Grade II [NHLE 1261445]; and
- Gateway, formerly to Cromwell House: Grade II [NHLE 1417979].

Listed Buildings within 500m considered relevant to assessment

- Chiswick Bridge and attached balustrades: Grade II [NHLE 1031877];
- 44 & 46 Victoria Road: Grade II [NHLE 1253022];
- Parish Church of St Mary: Grade II* [NHLE 1357705]
- Acacia House: Grade II [NHLE 1065426]
- 117, High Street, Grade II [NHLE 1065427]
- Suthrey House with Attached Railings [NHLE 1286039]

The remaining seven listed buildings are considered not to be subject to any changes in setting as they do not share any intervisibility and would not be subject to any other impacts that would result in a change in setting.

4.2.2 Conservation Areas

There are two Conservation Areas in the immediate vicinity of the Site. These are listed below, and their boundaries are indicated on the Heritage Asset Map in Figure 3 in **Appendix A**.

- Mortlake Conservation Area; and
- Mortlake Green Conservation Area.

Part of the Site running along Mortlake High Street and the Thames shoreline is located within the Mortlake Conservation Area. Parts of the surviving boundary wall of the Site are identified by the London Borough of Richmond upon Thames (LBRuT) as contributing to the character of the Conservation Area

and form a surviving element of the pre-19th century brewery (see Section 6.2.4).

To the south of the Site is the Mortlake Green Conservation Area. This is centred on Mortlake Green, and includes a residential area to the west. The former Hotel building within the Site is identified in the appraisal as contributing to the character of this area, despite it lying just outside the boundary.

In addition to the two Conservation Areas in the immediate vicinity of the Site, to the north of the River Thames, in the Borough of Hounslow, is the Grove Park Conservation Area. This covers the northern half of Chiswick Bridge and therefore is scoped in for assessment due to the intervisibility of the bridge, Site and Conservation Area.

The south and east of the Site are the Cowley Road, Queen's Road (Mortlake), Sheen Lane (Mortlake) and Model Cottages Conservation Areas. Views of the Site from these Conservation Areas would be screened by existing developments and therefore the character of these would not be changed.

4.3 Non-Designated Heritage Assets

This includes structures and buildings formerly identified by LBRuT, as well as structures within the Site which were identified as part of the 2018 assessment as being of heritage interest.

Three structures within the Site are specifically identified by LBRuT as 'Buildings of Townscape Merit'¹⁹ (BTMs) located within the Site. These comprise:

- The former Hotel Building (WA1);
- The former Bottling Building (WA2); and
- The (former) Maltings Building (WA3).

The Site visit also identified a number of structures located within the Site as potentially being of heritage interest and, therefore, non-designated heritage assets. The additional non-designated heritage assets located within the Site, and illustrated on the Heritage Asset Plan in Figure 2 in **Appendix A** are as follows:

- Northern Boundary Walls (WA9);
- Eastern Boundary Wall (WA10);
- Southern Boundary Wall (WA11);
- Railway Tracks, Granite Paving and River Moorings (WA12);
- Memorials (WA13); and
- Historic Gates (WA14).

In addition to those located within the Site, there are a number of heritage assets identified by LBRuT as BTMs which are situated in the vicinity of the Site to the south, north and east of its boundaries. These are highlighted on the Heritage Asset Plan in Figure 2 in **Appendix A**.

The significance of BTMs adjacent to the Site could potentially be affected by the redevelopment of the Site. For the purposes of this assessment, these buildings are considered as part of a group where appropriate. The following BTMs located within the environs of the Site are considered relevant for this assessment:

- The Ship Public House, Thames Bank (WA4);
- The Old Stables, Thames Bank (WA5);
- 6 and 7 Thames Bank (WA7);
- 1-14 Parliament Mews (WA6); and

¹⁹ https://www.richmond.gov.uk/media/18606/btm_register.pdf

- The Jolly Gardeners Public House, Lower Richmond Road (WA8).

Further to the above, there are a group of locally listed buildings located adjacent to the southern boundary of the Site, on the opposite side of Lower Richmond Road (The Tapestry Public House (WA15); and, 3,5,7,9 (WA16), 33 (WA17), 35 (WA18), 37,39,41,45,47,49 and 51 Lower Richmond Road (WA19)). These buildings are located along the northern boundary of Mortlake Green Conservation Area. Given the nature of the assets, it is considered that their significance is consistent with that of their contribution to Mortlake Green Conservation Area, and therefore they are assessed as such as part of this report.

Similarly, 61-69 Mortlake High Street (WA20) is located on the north side of Lower Richmond Road, within the boundary of Mortlake Conservation Area. Given the nature of this asset and its coherence with other buildings along Mortlake High Street, it is considered that its significance is consistent with that of its contribution to Mortlake Conservation Area, and therefore it is assessed as such as part of this report.

4.4 River Thames Historic Landscape Character

The landscape character along the River Thames is included for assessment to ascertain if it contains any areas of historic landscape interest. Where such historic landscapes are preserved, they are significant in their own right, and also have the potential to contribute to the setting of other heritage assets. For the purpose of this assessment, the area assessed extends from Barnes Bridge westwards, approximately 1km west of Chiswick Bridge. Beyond these limits, the Site is not readily visible from the riverbank and therefore would not be impacted by the Development.

4.5 Historical Background

4.5.1 Early History (Pre-1700s)

Mortlake village is listed in the Domesday Survey (1086) in the Hundred of Brixton within the historic bounds of the county of Surrey. It was a settlement of some size and value to the Archbishop of Canterbury, who was Lord of the Manor at the time, with 110 households and enough land for 68 plough teams²⁰.

The manor remained with the archbishops of Canterbury until the sixteenth century, when the lands were transferred to Henry VIII in 1536, who subsequently granted it to Thomas Cromwell, and then his sixth wife Katheryn Parr. The village became famous for the production of tapestries, after the Mortlake Tapestry Works was opened in 1619 by James I of England. In 1637, the parish was truncated considerably by the creation of Richmond Park by Charles I²¹.

In the medieval period, brewing was typically undertaken as a domestic activity, although it was undertaken in a larger scale within monastic sites²². The earliest mention of the brewing industry with a connection to Mortlake is in the late fifteenth century, when a brewery is thought to have been set up in the locality by a John Williams from Wales. William's nephew, Morgan, married Catherine Cromwell, the sister of Thomas Cromwell, who owned both Cromwell House and Mortlake Manor House (also referred to as the Bishop's Palace), after it was gifted to him by Henry VIII in 1536²³. This brewery was situated near the manor house, and was located within the eastern side of the Site, to the east of Ship Lane. The manor house may have been demolished when the brewery first expanded northwest in the early 18th century, and a fifteenth century burial ground within the Site was also believed to have been developed

²⁰ Powell-Smith, A., & Palmer, J. 2016. *OpenDomesday: Mortlake*. Retrieved from OpenDomesday.Org: <http://opendomesday.org/place/TQ2075/mortlake/>

²¹ Barnes and Mortlake History Society. (Accessed 2017). *Barnes, Mortlake and East Sheen Second World War Bombs*. Retrieved from Barnes and Mortlake History Society Web Page: <http://www.barneshistory.org.uk/Bombmap/mappage.html>

²² Pearson, L., 2010, *The Brewing Industry*. English Heritage. <https://historiceingland.org.uk/images-books/publications/brewing-industry/bhs-brewing-ind-shier/>

²³ Ibid

upon at the same time²⁴.

4.5.2 Later History (1751 AD to 1900 AD)

Prior to the 18th century, the majority of commercial brewing was undertaken at inns, taverns and alehouses under licence. From the early 18th century, brewing began on an industrial-scale, with the earliest sites established in London. Many used steam to power the machinery, requiring access to a water supply²⁵.

In the second half of the 18th century, the brewery within the Site was owned by James Weatherstone. John Rocque's 1766 Map of London (**Figure 2**) shows the Site in the mid 18th century, albeit not in much detail. The Site is discernible to the east of Ship Lane, with a demarcated boundary facing the High Street to the south. Court rolls from 1765 describe two small breweries operating adjacent to, but separate from, each other in about 2 acres of land. The northern of the two breweries was owned by a James Weatherstone, who was a local inn keeper and maltster, and the southern was owned by William Richmond and later John Prior – another local inn owner who also ran a maltings at Strand on the Green. The southern brewery was later bought by Weatherstone and an associate named Halford. The enterprise then passed through several different ownerships, including Halford and Topham in 1836, Topham and Kempston later that decade, and then Kempston on his own in the late 1840s²⁶

James Wyld's 1848-9 Map of London (**Figure 3**) depicts the brewery, and it is clear that the operation had expanded to include two large structures at the eastern end of the existing Site, with an open area facing the Thames to the north. The easternmost of the large structures is annotated as being a maltings, and there are also other maltings buildings annotated further along the river to the east. The western part of the Site was predominantly occupied by a large house, named Bellevue Place, and its gardens. The Ship inn, adjacent to the Site to the northwest, is also depicted.

Figure 2: John Rocque's Map of London, 1766



²⁴ Marshall, R. C., 1961. *Nineteenth Century Mortlake and East Sheen. A Factual History*. London: Private Publication
Pearson, 2010

²⁶ Barnes and Mortlake History Society. (Accessed 2017).

Figure 3: James Wyld's 1848-9 Map of London

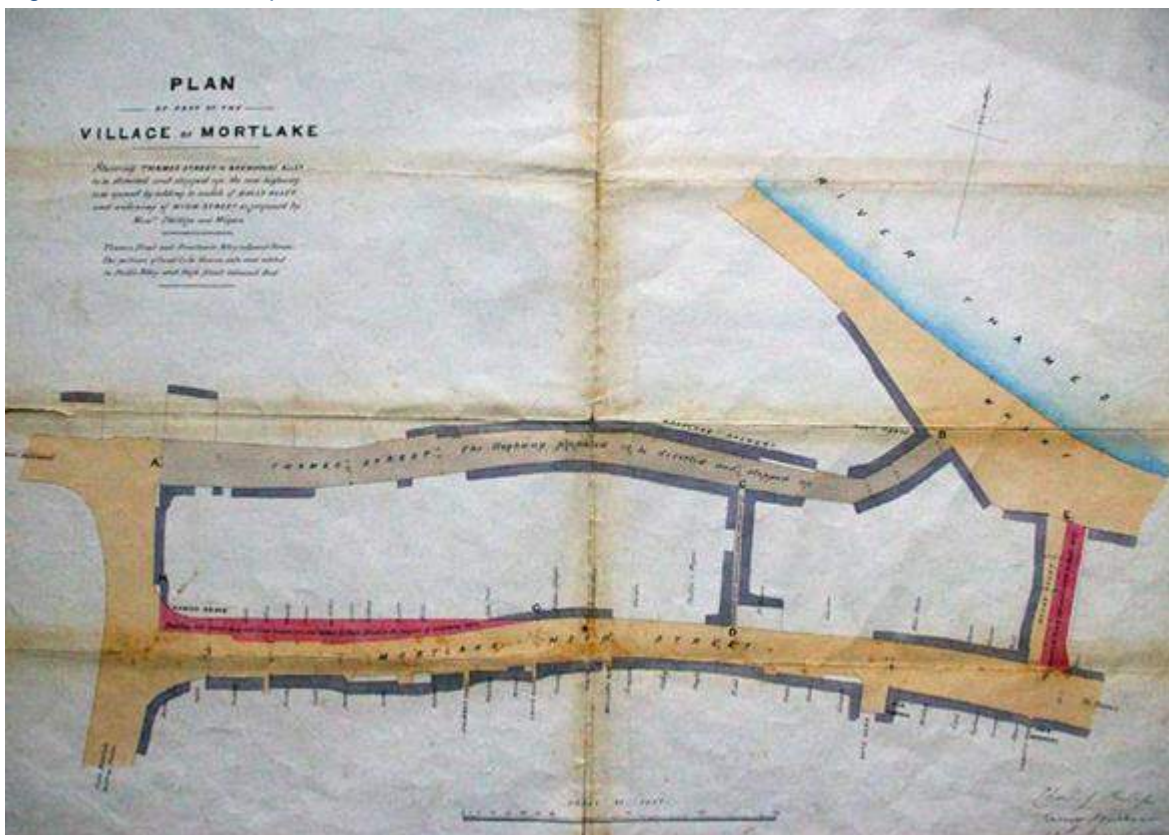


In 1852, the brewery was bought by Charles John Phillips, the son of a coal and corn merchant who funded the purchase. The business was then subsequently bought out by a partnership of Phillips and James Wigan, who then developed the business through the purchase of nearby properties and an industrious period of expansion. This included the nearby, and historic, Cromwell House, which he demolished and replaced with another residence, also called Cromwell House, further north towards the river (which was subsequently demolished by Watney's in the 20th century). The largest market for the brewery's products was the overseas Empire, with considerable quantities of beer bound for India and the Crimean Peninsula to water the troops, and by the end of the 1860s it was the largest employer in the district²⁷.

Space, however, was an issue for the expanding brewery business, particularly with Thames Street running directly through the centre of the brewery since the amalgamation of the two previously separate sites. In 1865, this was solved when Phillips acquired the freehold to all of the land on the riverside for £2350. He immediately set about redeveloping the land and closing off rights of way, including Thames Street and Brewhouse Lane – much to the dismay of the local population who protested against the road closures. A plan showing the proposed works to the Mortlake Brewery site illustrates the road closures in grey (**Figure 4**).

²⁷ Ibid

Figure 4: Plan of Proposed Works to Mortlake Brewery site, c. 1865



Source: *Richmond upon Thames Local Studies and Archives Centre (from 2018)*

Agreement was reached (including a £200 donation to the local poor fund), and work began on the construction of the new brewery. The new structures included the long, high brick wall fronting the High Street, on which were visible the initials P & W, as well as the large painted panel inscribed with 1869 MORTLAKE BREWERY, which still survives on the southern façade of the former Bottling building located within the southern boundary of the Site (east of Ship Lane) today²⁸.

The 1873 Ordnance Survey Map (**Figure 5**), which was surveyed in 1865-6, illustrates the site of the brewery just before the intersecting part of Thames Street would have been removed and the brewery expanded. The western half of the Site is also shown, and contained the site of the Bishop's Palace – originally the manor house for Mortlake – and other ancillary structures, as well as extensive orchards and cultivated strips. A section on its southern boundary comprised terraced housing.

²⁸ Ibid

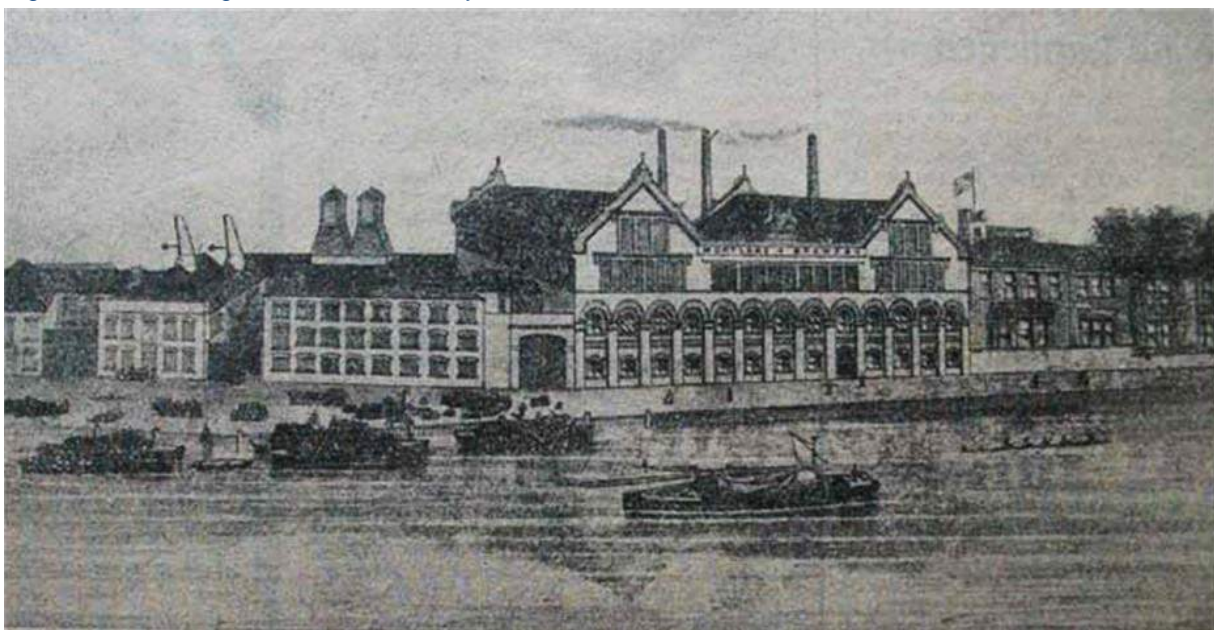
Figure 5: Extract from the 1873 Ordnance Survey Map



Source: Richmond Local Studies

A drawing from a poster, dating from c.1870 (Figure 6), shows the principal brewery structures facing the river, with the typical features of oast-house chimneys and malting floor vents to the east (shown to the left on **Figure 6**), and main brewhouse with attendant smoking chimneys indicating the use of steam power. The house with the flagpole to the west belonged to the Phillips partnership.

Figure 6: Drawing of Mortlake Brewery in about 1870, viewed from the north

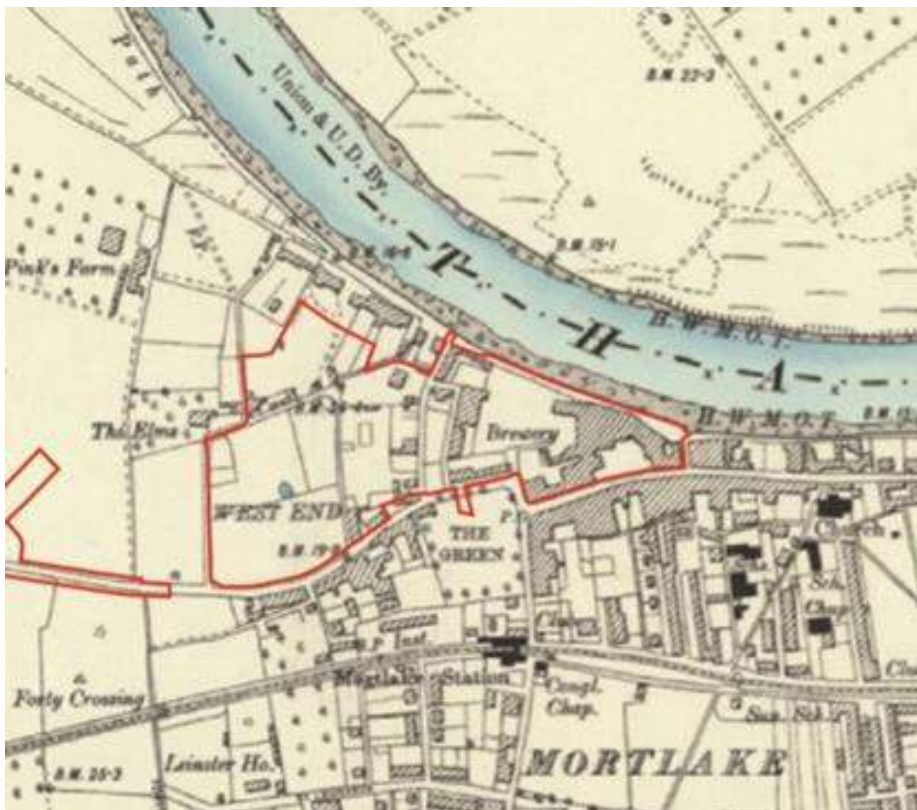


Source: Richmond upon Thames Local Studies and Archives Centre

The brewery became a family business in 1877 when Wigan sold his share of the business to Phillips and his son, and the brewery produced a mixture of brews including normal Ale, India Pale Ale, Pale Ale, Brown Stout and Porter²⁹. The two Phillips' sold the brewery to Watney's in 1889, but remained on as Directors until 1898, when Watney's fully bought out the business, with the new firm known as Watney, Combe, Reid and Co being the largest brewery in London³⁰.

The 1896 Ordnance Survey map (**Figure 7**) depicts the brewery as having expanded considerably, particularly towards the west; over the Site of the former Mortlake Manor House, with an extensive open area taking the place of the orchards shown on earlier cartographic sources, and structures now built along the eastern side of Ship Lane. The former line of Thames Street had been removed, a remnant of it evident in the plan of the buildings which had previously straddled the road.

Figure 7: Extract from the Ordnance Survey Map of 1896



A pre-1903 watercolour painting of the brewery (**Figure 8**) shows the Site at the turn of the century, illustrating a diverse collection of buildings and roof shapes set on the bend of the river, with a single large chimney dominating the skyline. The small flotilla of Thames barges berthed at the breweries wharf, illustrates a key mode of transport for the finished product away from the breweries.

²⁹ Marshall, 1961

³⁰ Barnes and Mortlake History Society

Figure 8: Watercolour Painting of the Brewery, Pre-1903

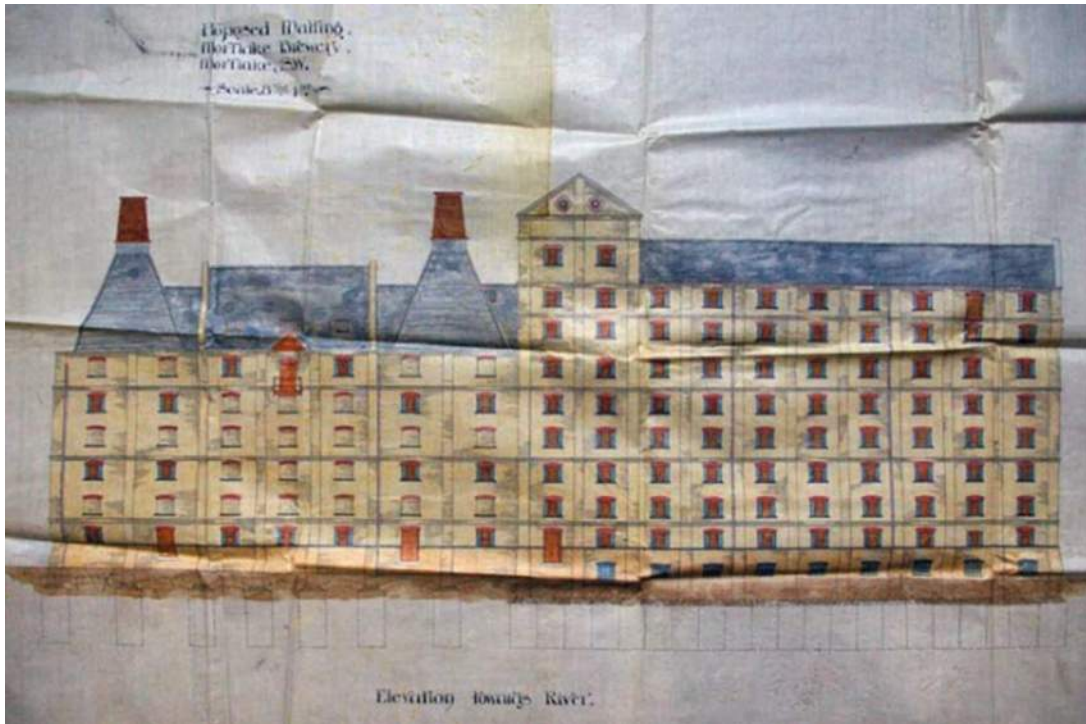


Source: *Richmond upon Thames Local Studies and Archives Centre*

4.5.3 Twentieth Century Onwards (1901 AD Onwards)

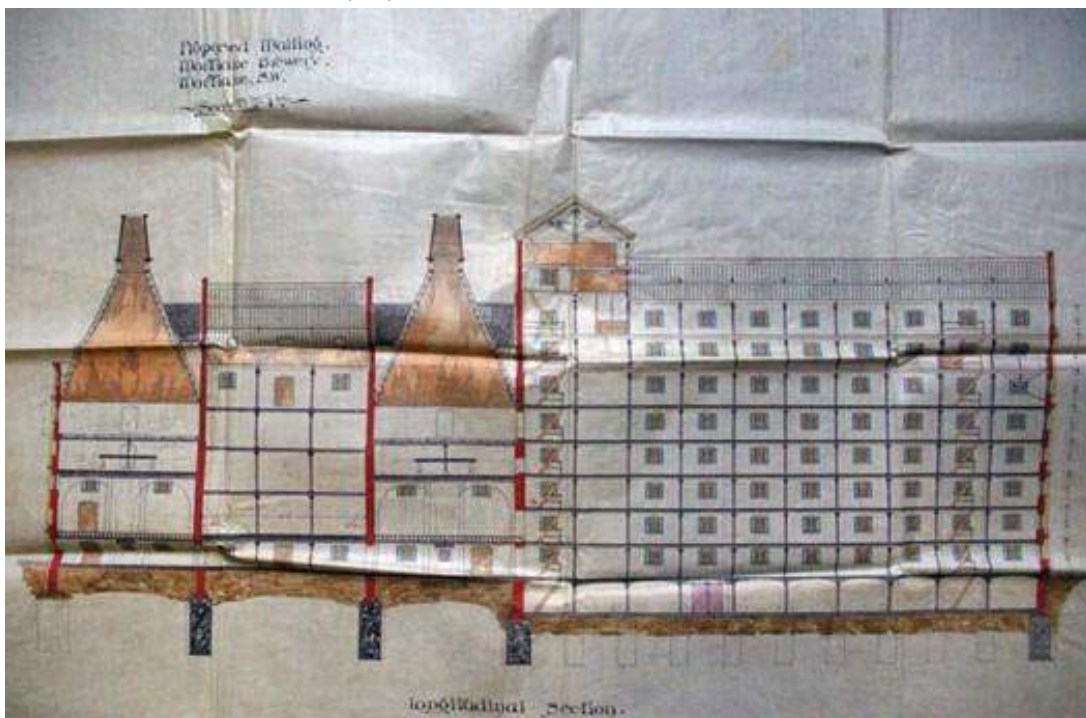
In 1903, a large eight-storey maltings was constructed at the north-west extent of the Site, adjacent to the river (**WA3**). This structure, designed by the in-house architect of Watney, Combe, Reid & Co (**Figure 9** and **Figure 10**), would become a recognisable landmark feature. Part of it still stands on the riverside today, the associated kiln block having been demolished later in the 20th century. It is a well-known landmark near the finishing line of the annual Cambridge / Oxford boat race. The building is depicted on the 1907 Goad Fire Insurance map of the area (**Figure 11**), which annotates the use of individual buildings within the Site at this time. The Site included a dockside rail or tramway, on the historic alignment of Thames Street. This was used for the movement of goods from the river in and out of the Site, and large sections of the Site were given over to beer storage and cask washing. The previously noted bottling store, with its recognisable incised company name, faced Mortlake High Street.

Figure 9: Architect's drawing of the proposed north elevation of the new maltings, including the now demolished kiln block to the west (left)



Source: Richmond upon Thames Local Studies and Archives Centre

Figure 10: Architect's section drawing of the proposed new maltings, including the now demolished kiln block to the west (left)



Source: Richmond upon Thames Local Studies and Archives Centre

Figure 11: Extract from Goad Fire Insurance Map, 1907



Source: Richmond Local Studies Library

In the first half of the 20th century Watney's had a particularly social workers policy, and undertook various improvements to the Stag Brewery for the benefit of its employees. This included construction of the cricket pitch in the southwest corner of the Site, allotment gardens and rows of semi-detached workers housing on West Road. The improvements are identifiable on the 1913 and 1936 Ordnance Survey maps, which also indicate that the brewery had completely developed the Site of the former manor house by this time, as well as expanding the facilities in the eastern part of the Site considerably (**Figures 12, 13 and 14**)

Figure 12: Extract from the Ordnance Survey Map, 1913



Figure 13: Extract from the Ordnance Survey Map, 1935



Figure 14: 1930s Historic View of the River



Source: Janes

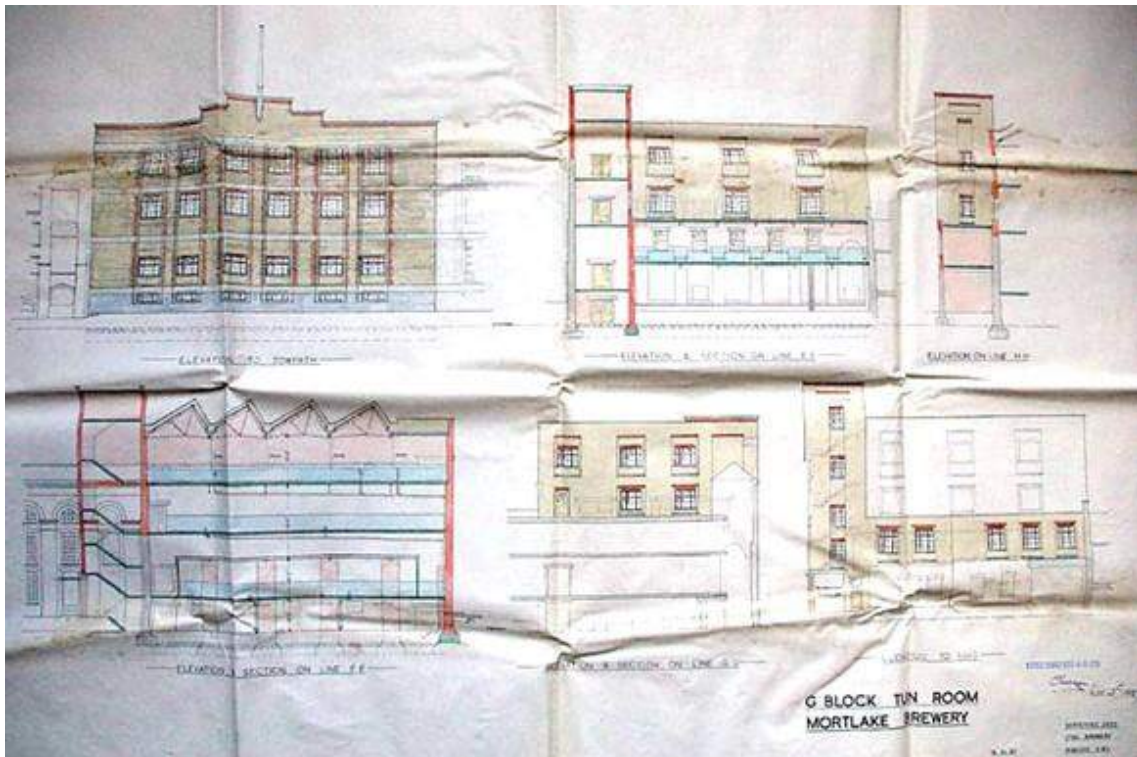
During the Second World War, the brewery was largely unaffected by bombing, although part of the bottling stores on the High Street was hit by incendiaries in September 1940 and was burned out, with the loss of 160 quarters of malt³¹. The cellars of the brewery were used as a bomb shelter³².

After the war, the brewery site was expanded considerably, taking in the previously unused land to the west of Ship Lane. In 1937 the brewery's architects designed a new Art Deco tun block to be built towards the east of the Site (**Figure 15** and **16**).

³¹ Ibid

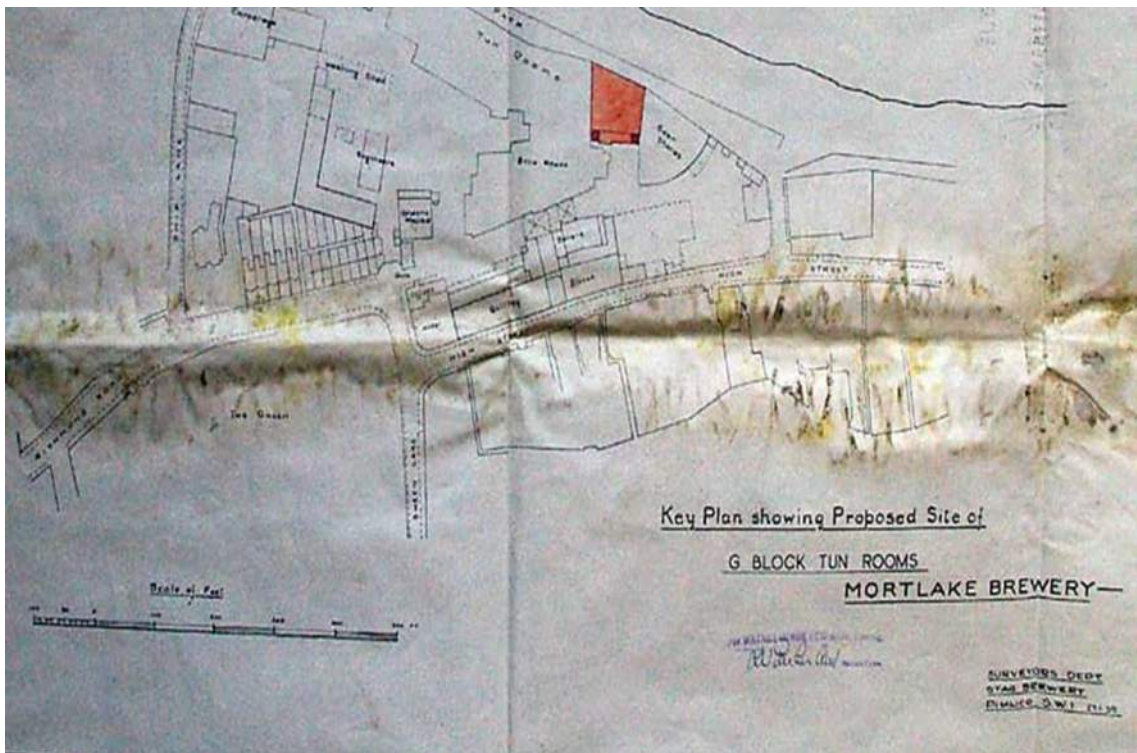
³² Hedgecock, M. 2007; Hand in Hand: Watney's Mortlake World. A Brief History of Watney's Brewery as gleaned from the Company Magazine. London: Watneys Brewery.

Figure 15: Proposed new Tun Block, c. 1937



Source: Richmond upon Thames Local Studies and Archives Centre

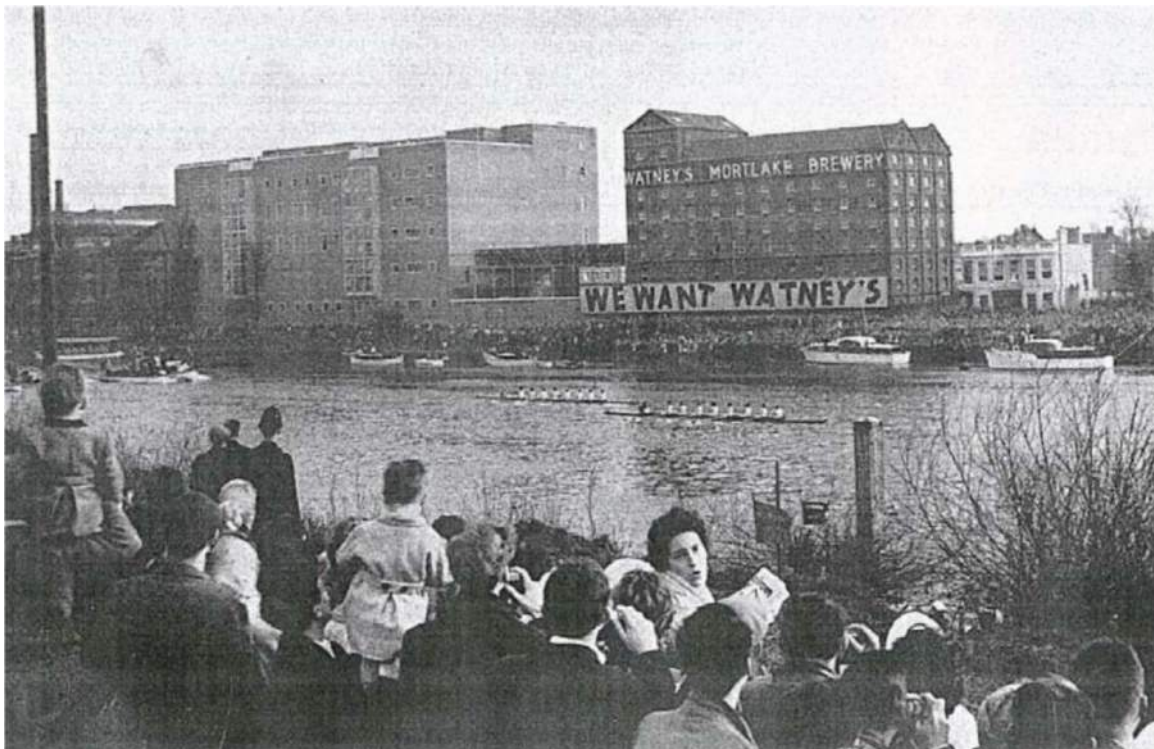
Figure 16: Proposed location of the Tun Block, 1937



Source: Richmond upon Thames Local Studies and Archives Centre

The brewery further expanded in c.1954 with another new, and even larger, tun block, which was built on the riverside and replaced a number of earlier 19th century buildings, as well as the aforementioned kiln block of the 1903 maltings (**Figure 17**). This second block was designed by Jennings, Son and Partners Architects, although their visualisations show the reverse arrangement to that which was actually built, with the taller section to the west and a lower building to the east (**Figure 18** and **19**) and also show the demolition of the 9-storey part of the maltings – which survives (WA3). Jennings *et al* also designed a new malt silo block to face the High Street, although only the eastern part of this was actually realised.

Figure 17: 1960s Historic Views from the River during University boat race



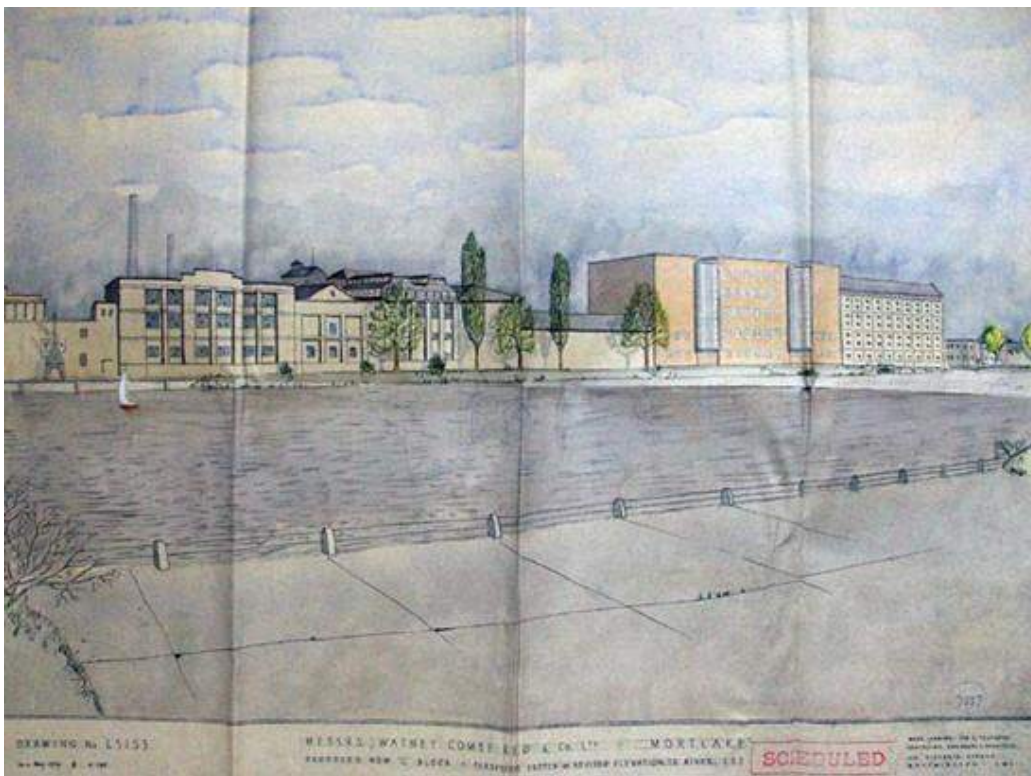
Source: Janes

Figure 18: Design for proposed tun block, c. 1954, from northwest



Source: Richmond upon Thames Local Studies and Archives Centre

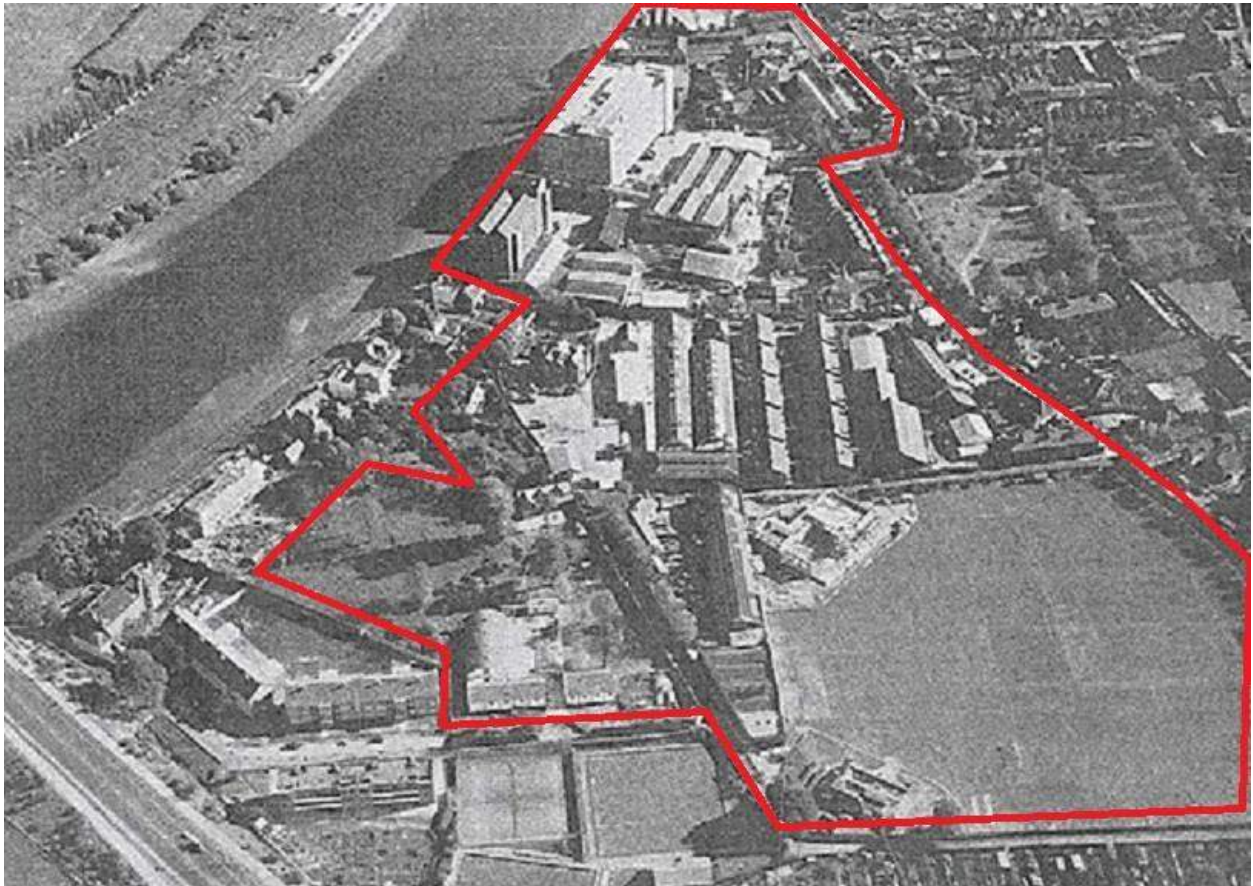
Figure 19: An alternative proposed design for the new tun block, from the northeast



Source: Richmond upon Thames Local Studies and Archives Centre

The Site was renamed as “Stag Brewery” in 1959 following the closure of the original Watney’s Stag Brewery in Pimlico³³. In the 1960s Watney’s became Watney Mann Ltd, and the brewery maintained its local role as a key employer with 1,400 people on the payroll. A number of new buildings were added to the Site during this period including a new, modern, entrance building (now demolished), an architects and surveyor’s office and a new boiler house (**Figure 20**).

Figure 20: 1962 Aerial Photograph of the Site



Source: Janes

In the 1970s the brewery had further additions as part of a masterplan undertaken by Douglas, Marriott, Worby and Robinson, which included new silos, a new general brewhouse, and a new fermentation block. The new buildings resulted in the demolition of the majority of the 19th century brewery infrastructure, as well as the 1937 tun block, leaving only the 1903 maltings block on the river and the 1869 bottling plant on the High Street. The alterations were complete by 1977, and the changes to the brewery complex are evident on the 1988 Ordnance Survey Map (**Figure 21**) and Late 20th century aerial view of the Site (**Figure 22**).

Figure 21: Extract from the Ordnance Survey Map. 1988



Figure 22: Late 20th century aerial view of the Site



In the early 1990s, Anheuser Busch leased the Site and it was adapted to brew the Budweiser in bottle and keg for the European market. This required the construction of a large new bottling and packing building in the early 1990. The Site has remained largely unchanged since the turn of the twenty first century (**Figure 23**). The Stag Brewery ceased operations in late 2015 and decommissioning of brewery infrastructure was undertaken following cessation of brewery activities. Works on-Site were undertaken in 2017 to remove the brewery fixtures and fittings.

Figure 23: Modern Aerial View of the Site



Source: Google Earth Pro (January 2022)

5. Site Analysis

Site visits were undertaken on 25th August 2017 and 15th December 2021. These provided an overview of the Site, the structures and heritage assets within it, and the contribution of the Site to the significance and setting of nearby heritage assets such as Listed Buildings, Conservation Areas and locally designated Buildings of Townscape Merit.

5.1.1 Site Context

The Site occupies a roughly triangular shaped footprint north of Mortlake Green and Mortlake Railway Station and to the west of Mortlake town centre. Ship Lane runs through the centre of the Site between the Jolly Gardeners and The Ship public houses. Abutting the south of the eastern side of the Site is Mortlake High Street, and to the south of the western side of the Site runs Lower Richmond Road. To the north of the eastern part of the Site runs the southern bank of the River Thames. Beyond The Ship to the west of the Site is Thames Bank, a river fronting road which comprises a number of Georgian and Victorian properties, some of which are Grade II listed. This runs west along the riverbank towards the Chiswick Bridge before turning south along Williams Lane. Williams Lane runs between Lower Richmond Road and Thames Bank, along the western boundary of the Site. To the east of the Site is the short section pedestrian route named Bulls Alleys which runs from the town to the river.

The bank of the River Thames, to the north of the east part of the Site, comprises an unsurfaced riverside path (towpath) with scrubby vegetation, with the exception of the section towards the north-east corner of the Site, which has been built up historically to provide space for a tram system and loading bay for Thames barges – as seen in **Figure 7** in Section 3.

5.1.2 Existing Buildings within the Site

As outlined in Section 4, the Stag Brewery underwent a large-scale modernisation process in the later 20th century, which included the final and considerable expansion of production westwards over Ship Lane. This also involved the wholesale demolition of the vast majority of the 19th century infrastructure that survived on the eastern part of the Site, leaving just three structures (WA1, WA2 and WA3) and sections of boundary walls (WA9, WA10 and WA11), dating from between the later 19th century and early 20th century. The western part of the Site mostly comprises large later 20th century industrial structures, apart from to the south-west, where there is an open playing field and cricket pitch. On the eastern side of the Site the buildings mostly comprise other large 20th century structures related to packaging and transportation.

Structures identified as being of heritage interest within the Site are shown on **Appendix A Figure 2** and considered in more detail in Section 6.

Modern Buildings / Structures

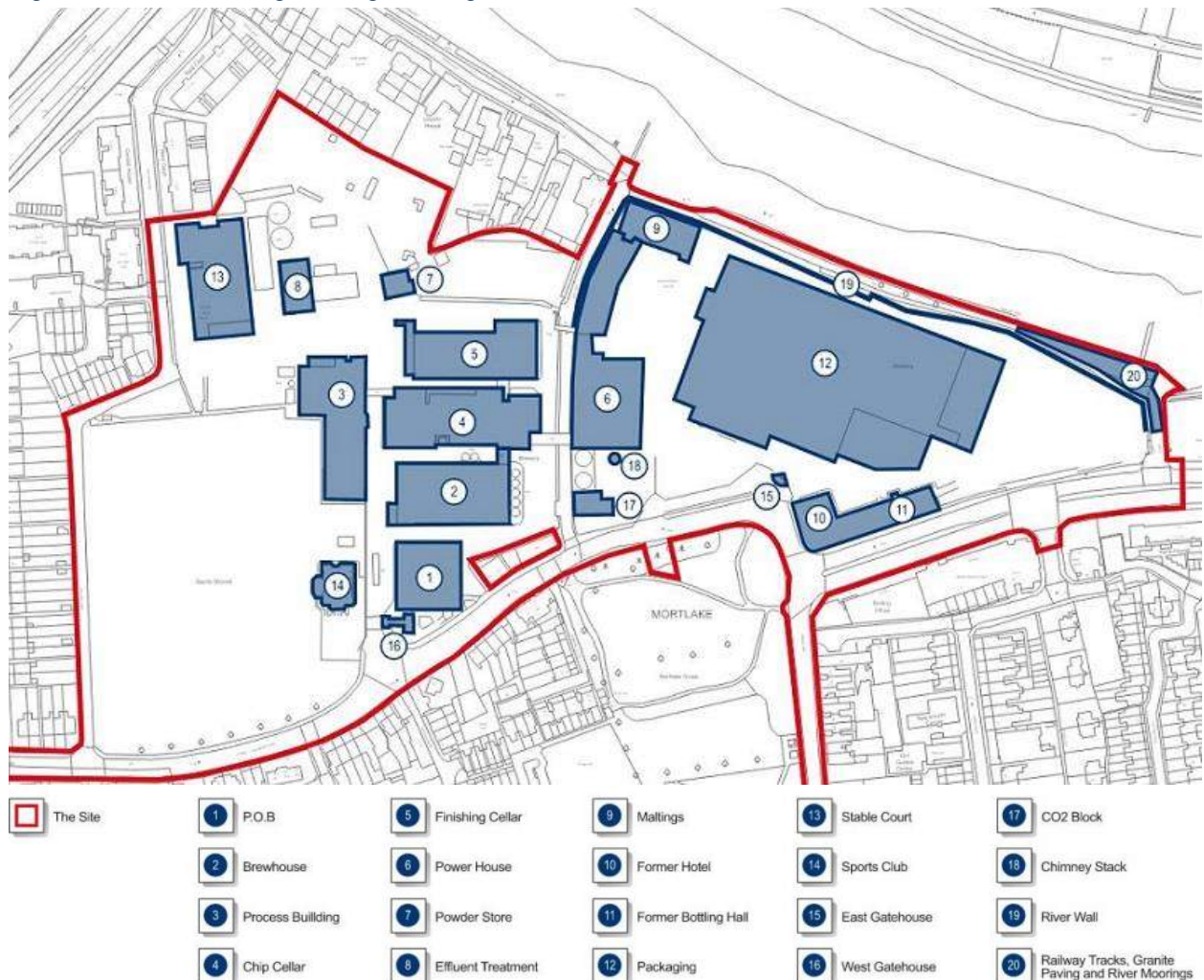
The modern structures within the Site are utilitarian in form and not considered significant from an architectural and historical point of view. An extract from an annotated site plan is below (**Figure 24**), which details their locations within the Site. The buildings include:

- **Offices (Building 1)** – located to the north-east of the main brewery entrance. Rectangular in plan, five storeys, concrete and glass construction.
- **Brewhouse (Building 2)** – large metal structure, six storeys in height, originally containing brewing tanks and other machinery, currently in the process of being removed.

- **Process Building (Building 3)** – located on the western side of the main entrance route, adjacent to the cricket pitch. Large, eight storeys in height, metal clad with a first floor level bridge to the Chip Cellar to the east.
- **Chip Cellar (Building 4)** – large industrial structure, four storeys in height, metal clad with large circular tanks on its north side, located on the east side of main entrance track.
- **Finishing Cellar (Building 5)** – large metal clad industrial building located just north of the Chip Cellar.
- **Power House (Building 6)** – located adjacent to east side of Ship Lane, a late 20th century brick and metal clad four storey structure with a central brick chimney stack and a separate, taller, concrete stack to the south (**Building 18**).
- **Powder Store (Building 7)** – small, single storey modern corrugated metal structure with corrugated pitched roof, to north of Finishing Cellar.
- **Effluent Treatment (Building 8)** – located north of Brewhouse in the west part of the Site. Brick and metal cladding, with black concrete treatment facility to east, as well as the brick foundations of two now demolished treatment tanks to the north. Two storeys in height.
- **Packaging (Building 12)** – otherwise known as the bottling halls, this is a large brick and metal clad flat roofed structure, taking up the majority of the interior of the eastern part of the Site. This has a pastiche mock-19th century façade in stock brick on its south side with Stag and Sunburst circular medallion inserted in above its main entrance.
- **Stable Court (Building 13)** – the Site’s former maintenance depot, a utilitarian four storey block of brick with a pitched metal clad roof in the north-west corner of the Site, with cleaning machinery for transport vehicles on its south side and a mechanics workshop on its western side.
- **Sports Club (Building 14)** – irregularly shaped two storey building of red brick and concrete with metal windows on west side of main entrance, acting as offices and the sports pavilion.
- **East Gatehouse (Building 15)** – single storey 20th century brick structure with sliding brewery gates behind, located east of Ship Lane.
- **West Gatehouse (Building 16)** – single storey brick and concrete entrance structure with ‘Stag Brewery’ sign on roof, located west of Ship Lane.
- **CO₂ Block (Building 17)** – Two storey building of brick, glass and metal clad construction, located adjacent to east side of Ship Lane.
- **Chimney Stack (Building 18)** – Concrete stack located to the south of the Power House (**Building 6**)

These structures are not considered to be of heritage interest and therefore are not considered further in this assessment.

Figure 24: Plan showing existing Buildings on Site



Buildings of Heritage Interest

As shown on Figure 2 in **Appendix A**, there are three locally listed buildings located within the Site which pre-date the 20th century development of the brewery and which are identified by LBRuT as BTMs. These are as follows:

- **Former Hotel Building (Building 10; WA1)** – Late 19th century building located at the junction of Mortlake High Street, Lower Richmond Road and Sheen Lane, formerly a public house and then a hotel.
- **Former Bottling Building (Building 11; WA2)** – Mid-19th century building located on the north side of Mortlake High Street, formerly the bottling plant for the brewery.
- **Maltings Building (Building 9; WA3)** – Early 20th century former Maltings building, located adjacent to the south west side of the River Thames.

Other Structures of Heritage Interest

- **Boundary Walls (Building 19; WA9, WA10 and WA11)** – Sections of the brick boundary walls to the north, east and south of the brewery site.
- **Railway Tracks, Granite Paving and River Moorings (Building 20; WA12)** – Historic structures located adjacent to the northern boundary wall, alongside the river.
- **Memorials (WA13)** – Memorial plaques within the southern boundary wall.
- **Historic Gates (WA14)** – Cast metal historic Watney's Brewery gates.

These non-designated heritage assets are considered in further detail in Section 6 and shown on Figure 2 in **Appendix A**.

6. Assessment of Significance

6.1 Significance Criteria

The intrinsic significance unique to each heritage asset can be defined as the sum of tangible and intangible values which make it important to society. This may consider age, aesthetic and the fabric of an asset as well as intangible qualities such as associations with historic people or events.

To assess the heritage significance of the Site and the identified heritage assets, this report has drawn guidance from NPPF³⁴ and Historic England³⁵, which recommends making assessments under the categories of: Archaeological, Historical, Architectural and Artistic Value. The assessment takes the Site as a whole, attributing a level for each category.

The significance of the Site and the identified heritage assets will be assessed using a number of significance ratings as set out in **Table 1**.

6.2 Heritage Assets within the Site

6.2.1 WA1: The Former Hotel Building: Building of Townscape Merit

The former Hotel building is a late 19th century, three-storey building constructed following the closure of Thames Street. The building is marked on late 19th century OS maps as a public house. It is located on the corner of Mortlake High Street and Lower Richmond Road, adjacent and connected to the former Bottling building that fronts the High Street. The former Hotel's frontage follows the curve of the bend in the road between the High Street and Lower Richmond Road (**Plate 1** and **Plate 2**). The north elevation of the building has a modern glazed lean-to structure at ground floor level. Areas of the brickwork to this elevation have been rebuilt. Since the 2017 walkover, the external condition of this elevation has deteriorated, glazed windows have been broken, and the door and window blocked (**Plate 3**).

The building is constructed of London stock brick, with dentilled string courses and corncicing, and segmental arched windows. The surviving original windows are timber sashes of later 19th century form, with large single panes of glass or large central panes with two thin flanking panes. On the curved section of the road the windows follow the curved plan form of the building. Other windows, particularly on the ground floor, have been replaced with poor quality modern casements. The interior has been used as offices for some years. The building was also modified in the 20th century, leaving little remaining internal features of interest, however, some original timber door surrounds, corncicing, skirting boards and panelling survive (**Plate 4**). There is also a heavy duty metal safe built by Edward Tann & Sons after 1912, following their move to No.117 Newgate Street³⁶, which remains at first floor level. Attached to the former Hotel's north-east side is a modern, 20th century canteen building of no heritage interest.

³⁴ NPPF, 2021

³⁵ Historic England 2017b

³⁶ Man, P. (Unknown Date). Edward Tann & Sones - Iron Safe Makers - The Storey of Britain's First Safemaker. Retrieved from Safeman: <http://www.safeman.org.uk/edwtann.htm>

Plate 1: External, bowed, elevation of Former Hotel, facing onto the roundabout (2017)



Plate 2: West facing elevation of Former Hotel (2021)



Plate 3: North facing elevation of Former Hotel (2021)



Plate 4: Surviving timber panelling to interior of Former Hotel (2017)



Overall, although the building has been modernised, it retains some features which contribute to its architectural value. This includes its characteristic curved façade, which has a townscape role in defining the street corner and historically would have formed a prominent entrance into the brewery site. Internally there is also some timber panelling, skirting and cornicing that survive. As part of the 19th century development of the Site, the building provides evidence of the history and former use of the Site, which contributes to its historic value. This is amplified by its group value with the other surviving historic structures on the Site. It also provides a tangible link to the former brewery and is likely to feature in local memory, which contributes to its communal value. The building is therefore considered to be of **Low** heritage significance.

6.2.2 WA2: The Former Bottling Building: Building of Townscape Merit

The former Bottling building abuts the southern boundary of the eastern part of the Site, and was formerly a bottling plant. The Mortlake Village Planning Guidance identifies that the building is of local historic and architectural importance mainly due to its façade³⁷. The façade of the building, which addresses the north side of Mortlake High Street, is constructed of London stock brick. This is three-storeys in height with lower ground floor, first floor and taller second floor. The principal elevation terminates at a parapet of varying heights and contains two decorative roundels / medallions and the large carved “Mortlake Brewery 1869” sign between them – suggesting that the building was built by this date. The parapet is capped symmetrically by carved stone cornicing / coping (**Plate 5**).

The basement level has small window openings (now boarded up) with segmental brick arches, the first floor has larger, six pane wooden casement windows with segmental brick arches – with the exception of one bay where a formerly larger opening has been blocked and replaced with a pointed arched window. The first floor is taller than the lower two, and contains ten blind arcades with small, high windows set within them. Above the pointed arch window of the first floor is a similar blocked opening with pointed brick arch. At either end of the second floor is a larger rectangular opening (the eastern one now blocked up) which contain timber doors, and were probably used for loading or unloading from that floor of the plant.

Plate 5 Southern elevation of former Bottling building (2017)



The Site facing elevations exhibit considerable evidence of the changes which have taken place in their surroundings. The eastern elevation was partially rebuilt in the 20th century, and is also scarred by the remains of an earlier structure, the roof line of which is clearly visible on the exterior of the surviving range. There is a modern portakabin, of no interest, attached to its eastern end. Its northern elevation, facing into the Site, is painted a dark red colour and contains multiple blocked openings relating to now demolished structures (**Plate 6**).

³⁷ London Borough of Richmond upon Thames, 2015

Plate 6 Northern, internal elevation of the former Bottling building (2017)



It was only possible to access the lower ground and first floors of the building during the Site visit, the upper levels having been boarded up some time ago. The interior of the eastern end of the lower ground floor, currently used as a workshop and spare parts stores, contains no fixtures and fittings relating to its brewing or bottling use, but does exhibit the cast iron columns and characteristic brick arches of its 19th – early 20th pre-concrete industrial building construction, which are of architectural interest (**Plate 7**). Whilst the first floor has seen some modern partitions added, the same is the case on this floor (**Plate 8**). The western part of the lower ground floor contains the former staff bar, the interior of which has been redecorated and reconstructed using modern brick that approximates the colour and texture of stock brick, and wooden panelling (**Plate 9**).

Plate 7 Interior of sub-ground floor of former Bottling building, illustrating brick arches and cast iron columns (2017)



In summary, when inspected in 2017, the building retains characteristic features that contribute to its architectural value, including the cast iron columns and internal brick arches, which are indicative of its industrial history. The principal façade of the building, with its decorative roundels and carved “Mortlake Brewery 1869” make a strong contribution to the streetscape along Mortlake High Street and also contributes to the building’s aesthetic value. There is no particular architect identified for the building, however, it is of value as it is illustrative of the former use of the Site. Its group value with the other surviving historic brewery structures on the Site also contributes to its historic and evidential value. Due to its prominent façade along Mortlake High Street, the building may feature in the collective memory of generations of local inhabitants, which contributes to its value. Overall, the building is considered to be of **Low** heritage significance.

Plate 8: Interior of first floor of former Bottling building, illustrating brick arches and cast iron columns (2017)



Plate 9: Interior of staff bar on lower ground floor (2017)



6.2.3 WA3: The Maltings Building: Building of Townscape Merit

The Maltings Building is located in the north-west corner of the east part of the Site (east of Ship Lane). This is the most recognisable and prominent of the historic structures within the Site, as well as in views from the other side of the River Thames and from along Chiswick Bridge. Although the existing building represents only part of the original Maltings structure, the Stag Brewery Planning Brief SPD outlines that:

“Whilst it is recognised that the building survives only in a truncated form, it is an important local landmark (identified in the Council’s list of Building’s of Townscape Merit)”³⁸

The building is between eight and nine storeys in height, the two eastern bays being part of the slightly taller tower block, and the remainder being the malting floors. The principal construction material is London stock brick, with red and blue engineering brick detailing. The building has dentilled cornicing and strings, in common with other historic structures on the Site. The northern elevation comprises ten bays, each containing a single window or, at the eastern end, a blocked access. Between the bays are projecting pilasters, within which are cast iron tie-rod pattress plates that support the iron frame of the interior structure. The eastern two bays extend an extra storey up to a split pediment roof structure, each half of the tympanum containing two red brick oculi. The elevation clearly exhibits the low floor to ceiling heights that existed within the building historically (**Plate 10**).

Plate 10: North facing elevation of Maltings (2017).



The south elevation, facing into the Site, is similar to the northern elevation, except for two projecting elements that protrude from the second and tenth bays. There is also considerably more evidence of change to this elevation, with obvious reconstruction having taken place at ground floor level. All the windows, like the north elevation, have been blocked (**Plate 11**). The 2021 walkover survey noted that blue cabling has been attached to façade of the building, approximately 1m from the ground.

³⁸ London Borough of Richmond upon Thames, 2011; Supplementary Planning Document Stag Brewery, Mortlake SW14 Planning Brief, July 2011.

Plate 11: South facing elevation of Maltings (2017)



The western elevation, facing onto Ship Lane, replicates the architectural composition of the northern elevation in terms of detailing. It comprises four bays, split at roof level into two split, shouldered pediments, reflecting the double pitched roof which covers the malting floor part of the building. This elevation is also prominent and recognisable in longer distance views from Chiswick Bridge (**Plate 12**)

The surviving structure represents only part of the building originally constructed in 1902-3, and the evidence of the now demolished kilns and malting bins that were located on the eastern side of the surviving structure is shown on the lower half of the east elevation, where it has been rebuilt using common brick. This elevation is also much plainer architecturally, and has had windows inserted since the demolition of the kilns and malting bins (**Plate 13**).

Plate 12: West facing elevation, as seen from Chiswick Bridge (2017)



Plate 13: East facing elevation of Maltings



The maltings floors to the interior of the building are no longer extant, however, some of the internal structure remains. This surviving fabric comprises the original cast iron columns that would have formerly supported the floors, between which span iron I-beams. Due to the removal of the floor plates, this interior structure is presently supported by scaffolding (**Plate 14**). The roof structure is visible internally and appears to consist of a mixture of historic and modern replacement timber joists and beams. To the south east corner of the building an original staircase is retained, constructed of cantilevered concrete treads with metal handrails (**Plate 15**).

Plate 14: Interior of Maltings building, showing cast iron columns and iron I-beams (2017)



Plate 15: Staircase to interior of Maltings building



Externally, the building retains its historic character and industrial appearance and features that contribute to its architectural value, including its windows, which are illustrative of the shallow floor to ceiling heights that existed historically, and the cast iron pattress plates, which are a characteristic feature of the building. Although the maltings floors have been removed, the internal structure that survives enables an understanding of the former layout of the Maltings building. The building is not attributed to a particular architect, however, it derives historic value from its association with the long history of brewing on the Site and connection to well-known brewing companies. As a prominent landmark building within the local townscape, its value is also based on its contribution to local distinctiveness and as it is synonymous with the Oxford and Cambridge Boat Races. It also been the subject of illustrations, and therefore has an artistic value (**Figure 6** and **Figure 8**). The Maltings building is therefore considered to be of **Medium** heritage significance.

6.2.4 WA9, WA10 and WA11: Boundary Walls

Sections of the boundary wall of the eastern part of the Site are, in some places, the remaining elevations of earlier buildings which have now been demolished. These are not uniform, and represent a number of phases of development on the Site. Two annotated panorama images of the boundary walls can be found in **Appendix D**, with numbered sections of wall. The wall Sections noted can be cross referenced to the text below.

WA9: Northern Boundary (refer to Appendix D)

Section 1 of the north boundary abuts the Maltings to the east, and is constructed using reclaimed London stock brick with engineering brick and concrete detailing and coping. It is surmounted by an internally fixed advertisement for Budweiser beer which faces the Thames. This is a late 20th century wall, and of no historic interest (**Plate 16**).

Plate 16: Section 1 - Late twentieth century wall (2017)



Section 2 of the north boundary wall is ten bays in length, constructed using historic London stock brick, with modern concrete coping, but originally dating from the mid-19th century. It comprises two storeys, with blocked window openings with red brick arches and sloping concrete sills (**Plate 17**). It represents the surviving section of a 19th century element of the brewery, and is therefore of some historic interest and architectural character.

Plate 17: Section 2 - Mid 19th century wall (2017)



Section 3 is a separate section of 20th century brick wall, again constructed using London stock brick with red brick and concrete detailing, including soldier course lintels over the now blocked window openings (**Plate 18**). This wall represents the lower section of the now demolished 1937 Tun Block (**Figure 14**).

Plate 18: Section 3 - Wall of 1937 Tun Block



Section 4, east of the 1937 Tun Block, likely dates from the mid-19th century. Whilst conforming to the general pattern of London stock brick and red and blue engineering bricks used for detailing, this section of wall is of more interest architecturally than the sections further west due to the greater use of elaborate and high-quality brickwork, rounded blue engineering window returns, and embossed panels above now blocked windows (**Plate 19**).

Plate 19: Part of the wall in Section 4 (2017)



Section 5 is a short section of the boundary that also contains the surviving north east gate pillar of the 19th century brewery. This is constructed of London stock brick, and has been reinforced using reclaimed bricks of various types at some point in the late 20th century (**Plate 20** and **Plate 21**).

Plate 20: Section 5 - including gate pier (2017)



Plate 21 Interior elevation, showing gate pier and surviving hinge socket (2017)



Sections 6-7 of the wall are late 20th century and 19th century in date respectively, the former having been constructed when the northern boundary gateway was sealed. These were designed to emulate the earlier wall, except without additional red brick detailing and with simpler blind window opening returns (Plate 22). Both these sections have been reinforced, like Section 5, in the later 20th century, probably against flooding. The 2021 walkover survey noted that this section of the wall has been partially painted over since the 2017 survey.

Plate 22 Sections 6 and 7 of the northern wall (2021)



The interior elevations of all the Sections of the northern boundary are painted and reinforced using metal posts and concrete buttresses (Plate 23 and Plate 25). The 2021 walkover survey noted that plastic blue cable had been attached to the internal elevation of the northern boundary wall. The condition of sections of the wall were noted to be degrading (see **Plates 24, 25, and 26**).

Plate 23: Interior elevation of north boundary wall (2017)



Plate 24: Interior elevation of north boundary wall (2021)



Plate 25: Interior elevation of north boundary wall (2021)



Plate 26: Interior elevation of north boundary wall (2021)



WA10: Eastern Boundary

The boundary wall on the eastern side of the Site comprises two sections of wall that run along Bulls Alley between Mortlake High Street and the bank of the Thames. These were constructed using London stock brick and comprehensively rebuilt during the 20th century, including the incorporation of a flood defence wall and pedestrian steps in the alley itself. At its southern end is the gate pier for the south eastern entrance gateway into the Site (**Plate 27**). The 2021 walkover noted that since 2017, parts of the wall has been painted over.

Plate 27: View looking south along Bulls Alley (2021)



WA11: Southern Boundary (refer to Appendix D)

This boundary (**Plate 28** and Plate 29) comprises two sections. Section 1, which adjoins the former Bottling building, is a historic wall that likely dates from the mid-19th century. This was constructed using London stock brick, although has areas of repair and repointing. This section is six bays in length, with each bay demarcated by recessed blocked window openings on two storeys, which at some point previously would have served as windows to a building behind. This section of the wall is therefore of some historic interest.

Section 2, at the easternmost end, comprises a section of older, probably 19th century, wall that has been rebuilt in the 20th century to varying heights. It steps down at the eastern end to meet the gate piers of the southeast entrance gateway to the Site. The interior of the boundary wall is, like the north facing boundary, painted in deep red paint, and structurally reinforced using steel supports and concrete/brick buttresses.

The remainder of the southern boundary wall is modern and therefore of no historic interest.

Plate 28 External elevation of south boundary wall with section 1 (left end) and section 2 (right end) (2017)



Plate 29 Internal elevation of south boundary wall (2017)



Summary

Overall, the boundary walls provide evidence of historic structures that previously existed on the Site, with blind windows indicating the former locations of these buildings. This contributes to their architectural value. The architectural interest is also increased by the elements which have a higher aesthetic value, particularly Section 4 of the northern boundary wall, which displays more elaborate detailing. The boundaries are representative of the industrial history of the Site and are likely to feature in the collective memory of local inhabitants and former employees, which contributes to their historic value. The majority of the boundary walls are considered to be of **Low** heritage significance. Certain sections of the boundary walls are however assessed as being of **Neutral** heritage significance. These include Section 1 and Section 6 of the Northern Boundary Walls, as they are late 20th century walls and the Eastern Boundary Wall, which has been significantly rebuilt in the 20th century.

6.2.5 WA12: Railway Tracks, Granite Paving and River Moorings

Directly to the north of the northern brick boundary wall of the Site and adjacent to the frontage of the River Thames, are sections of surviving historic railway tracks, granite paving setts and timber river moorings associated with the Site (Plate 30, Plate 31 and Plate 32). The surviving sections of railway track would have historically been linked to networks within the Site, to allow for goods to be transferred to the riverside and loaded onto boats for delivery.

Plate 30 Surviving sections of railway track (2017)



Plate 31: Granite paving setts (2017)



Plate 32: Timber river moorings along the riverside (2017)



The railway tracks, granite paving and river moorings are therefore of significance as surviving historic elements associated with the Site, which are illustrative of the industrial history of the Site and the wider area. Although these elements survive only in part, together they allow an enhanced understanding of the former interrelated historic functions and link between the former Stag Brewery and the River Thames. They are therefore of historic value and of some evidential value reinforcing the understanding of the link between the Site and the Thames. They are not considered to be of particular aesthetic or communal value. Overall, the railway tracks, granite paving and river moorings are of **Low** heritage significance.

6.2.6 WA13: Memorials

Inserted into the modern southern boundary wall of the Site are two memorial plaques (refer to Plate 33 and Plate 34). The larger of the two is a War Memorial commemorating members of staff from the original Watney's Stag Brewery in Victoria who died between 1914-18, and 1939-45. The second commemorates the death of two engineers from the brewery who died attempting to rescue another during a fire in 1975. Both are engraved stone, embellished with gold in places. As the plaques form part of the modern section of boundary wall they are not situated in their original context.

Plate 33: Original Stag Brewery War Memorial (2017)



Plate 34: Memorial to Terry Ainsworth and Bob Sharp, Mortlake Engineers (2017)



Although the memorials are not sited in their historic context, they are of historic value as they provide an understanding and commemoration of past events. The memorials are not considered to be of any architectural value. The memorials are therefore considered to be of **Low** heritage significance.

6.2.7 WA14: Historic Gates

Two sets of cast metal historic Watney's Brewery gates are currently located within the Site. One set is stored against the southern boundary wall abutting the cricket pitch, and the other is currently installed in the wall facing William's Lane, on the western side of the Site (**Plate 35** and **Plate 36**). These gates have been removed from their original locations on Lower Richmond Road³⁹ in order to widen the access into the Site and therefore have lost their historic context, however, they are of some historic interest as part of the historic fabric of the Site.

Plate 35: Gates Installed in West Site Boundary Wall (2017)



Plate 36: Second set of gates stored on Site (2017)



The historic gates are surviving elements of the 19th and early 20th century brewery site and therefore are of historic value in illustrating the former use of the Site, although this value is limited due to their removal from their historic context. They are also of some limited architectural value and, as they were formerly

³⁹ Donald Insall Associates Ltd., September 2009, Stag Brewery, Lower Richmond Road, Mortlake, SW14 - Historic Buildings Report: Third Draft.

located at the main entrance to the brewery site on Lower Richmond Road. They are considered to be of **Low** heritage significance.

6.3 Statement of Significance for the Site

The following section assess the significance of the Site, based on NPPF⁴⁰ values (see **Table 2**). The assessment does not consider the archaeological value of the Site as this is assessed separately elsewhere. The assessment considers to contribution of the built heritage resource to the significance of the Site only.

Historic Value: Medium

An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

The historic value of the Site is considered to be **Medium**. There is evidence of brewing on the Site since at least the mid-sixteenth century, and possibly earlier during the late fifteenth century. This activity had connections to local individuals such as the two Phillips', and less directly to Thomas Cromwell. The brewery also had significant connections to national brewing companies, such as Watney's, and has contributed to the economy and growth of Mortlake as a settlement since at least the 19th century. It has also long been associated with the finish line of the Cambridge and Oxford University's annual Boat Race.

Due to the longevity of its history, the Site represents a continuity of use throughout many generations of local inhabitants. It is therefore probable that it features strongly in local memory and association, especially with those who may have been employed there. The distinctive architecture and aesthetic of the older surviving sections of the brewery make a tangible contribution to that memory. In addition, the Watney's War Memorial and Ainsworth and Sharp Memorial also refer to historic events of local value.

Architectural and Artistic Value: Medium / Low

Interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.

The Site is considered to be of **Medium / Low** aesthetic value with particular reference to the earlier existing buildings within the Site. Their traditional architectural style and detailing contributes to a sense of place in the near vicinity of the buildings and links the buildings aesthetically to the London region. This is particularly the case on the southern part of the east side of the Site with the historic façade of the former bottling plant, with its decorative medallions and inscribed Mortlake Brewery sign. The 1903 Maltings building on the Thames presents a very discernible historic industrial aesthetic. Its height and verticality make it a prominent landmark building in views up and down and across the River Thames in this location in which it makes a positive contribution to the riverscape. Some modern alterations to the earlier buildings, as well as modern structures in the Site, detract from the architectural value of the Site as a whole.

The Brewery Stag has been featured in artistic representations and therefore there is has an artistic value (e.g. **Figure 6** and **Figure 8**). These representations show the Site from the River Thames, confirming this aspect of the Site as being a key view, and confirms the relationship and the contribution of the river and the significance of the Site.

⁴⁰ NPPF 2021

6.4 Summary of the Significance of the Site

Overall, the heritage significance of the Site is derived from its historic value as a site where brewing has been undertaken for hundreds of years and its connection to well-known brands such as Watney's and, more recently, Budweiser – as well as more indirect links to local businessmen and possibly also Thomas Cromwell. These aspects also contribute to its value due to the Site making a strong contribution to local distinctiveness.

The value of the Site is also based on its opportunity to provide evidence for the technical production of beer and ale and it also contributes to an understanding of the physical and economic development of the settlement of Mortlake. The Site's architectural and aesthetic value also contributes to its significance, and also to that of the Mortlake / Mortlake Green Conservation Areas, by virtue of its boundary walls, the curved façade of the former Hotel building facing Mortlake Green and the presence of the historic river facing structures in longer distance views up and down the River Thames. This aspect is, however, negated in some respects by the domineering appearance of the more recent large-scale industrial structures within the Site, particularly in views from within the Conservation Areas, and from outside the Site in views across the River Thames. The group value of the surviving historic structures on the Site is also important when considering the Site holistically.

6.5 Heritage Assets outside of the Site

Given the size of the Site, and its prominent location on the bank of the River Thames, there are a number of designated and non-designated heritage assets located within its environs, the significance of which could potentially be affected by the redevelopment of the Site (refer to **Appendix A**). As such, an assessment of the significance of these heritage assets, including the contribution of setting, and the Site as an element of setting, is provided below. For the purposes of this assessment the assets are considered as a group where appropriate.

6.5.1 Heritage Assets to north-west of the Site, alongside Thames Bank

This group comprises the following heritage assets:

- Thames Cottage: Grade II [NHLE 1261996];
- Tudor Lodge: Grade II [NHLE 1252970];
- Thames Bank House: Grade II [NHLE 1252971];
- Leyden House: Grade II [NHLE 1252972];
- Riverside House: Grade II [NHLE 1254107];
- Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court: Grade II [NHLE 1261445]
- The Ship Public House, Thames Bank (WA4);
- The Old Stables, Thames Bank (WA5);
- 1-14 Parliament Mews (WA6);
- 6 and 7 Thames Bank (WA7);

This group of listed and locally Listed Buildings forms a group of 18th and 19th century Georgian properties (excluding 1-14 Parliament Mews), located alongside the southern bank of the River Thames (**Plate 37, Plate 38, Plate 39, Plate 40, and Plate 41**). Their architectural interest is principally derived from their street frontages and their commonality of materials, character, age, scale and architectural detailing. The properties are constructed of brick, with the majority rendered or cement faced, and are

largely of symmetrical compositions with sash windows.

As surviving elements of the 18th and 19th century development of Mortlake, the heritage assets are representative of the historic development of the area from this period. The Listed Buildings are also illustrative of the architectural style applied to domestic buildings and public houses during this period and are indicative of the social history of the area and the domestic aspirations of their occupants. Their shared historic development and the associated uses of the domestic properties contribute to their heritage value. The heritage assets form a distinctive group along the bank of the River Thames, which amplifies their heritage interest.

Plate 37: Grade II Listed Thames Cottage (2017)



Plate 38: Grade II Listed Tudor Lodge, Thames Bank House and Leyden House (2017)



Plate 39: Building of Townscape Merit 6 and 7 Thames Bank (2017)



Plate 40: Building of Townscape Merit 'The Ship' Public House with Maltings building beyond (2017)



Plate 41: Building of Townscape Merit 6 and 7 Thames Bank and corner of Grade II Listed Riverside House (2017)



The garden wall adjacent to Riverside House and Reid Court (**Plate 42**) is an early 18th century structure constructed of red brick. It originally formed the boundary wall to Riverside House, which ran between Riverside House and Cromwell House. Its significance is primarily drawn from its group value and associations with Riverside House, and their shared character and materiality, which are representative of local building techniques, as well as its links to Cromwell House.

Plate 42: Grade II Listed Building Garden Wall to east of Number 1-8 Riverside House (2017)



1-14 Parliament Mews is a modern group of apartments built in 1992, designed in a Neo-Georgian style (**Plate 43**). It is therefore assumed that their value is derived from their high quality aesthetic and what they contribute to the heritage asset group as a whole, particularly in views across the river.

Overall, these heritage assets are considered to be of **Low** to **Medium** heritage significance.

Plate 43: Building of Townscape Merit 1-14 Parliament Mews (2017)



Contribution of Setting and the Site to Significance

The wider setting of the heritage assets broadly comprises the open green spaces of Dukes Meadows to the north-east, and Mortlake Crematorium and Fulham Cemetery to the west, to the opposite side of Clifford Avenue. To the south is the dense urban townscape of Mortlake, which incorporates Mortlake Green Conservation Area and part of Mortlake Conservation Area, of which the heritage assets form a part. The townscape to the south is predominantly characterised by residential buildings dating from the 18th century onwards, with pockets of later, more modern development. The surviving earlier 18th century elements of the townscape that survive therefore make a positive contribution to the significance of the heritage asset group by virtue of their shared historic development.

As the heritage assets are situated on the south bank of the River Thames, the river dominates the immediate setting and experience of the assets to their north east. It forms an attractive element of setting and part of the historic context of the heritage assets, and therefore contributes positively to their significance. The river frontage provides panoramic views along the river, both towards and away from the heritage asset group, including views towards the Grade II listed Chiswick Bridge immediately to the north west of the assets. Chiswick Bridge is an attractive and high quality structure, which therefore makes a positive contribution to the significance of the heritage assets as part of their immediate setting.

The Site forms part of the immediate setting of the heritage assets to their south and east, with the northern boundary of the Site abutting the southern boundaries of the assets, and the locally listed 'The Ship' public house directly adjacent to the Maltings building on the opposite side of Ship Lane. The existing historic buildings and structures within the Site, which comprise the former Hotel building, the

former Bottling building, the Maltings and the historic boundary walls, contribute positively to the significance of the heritage assets as attractive elements of the historic brewery site, particularly the Maltings, which is prominent in views of the heritage asset group from Chiswick Bridge and across the River Thames. This contribution is lessened, however, by the presence of the large scale, industrial 20th century brewery structures on the Site, which are visible above the heritage asset group and dominate in views of the assets along and across the river (**Plate 44**). While the Site has historically contained structures of similar height and mass, these 20th century buildings detract from the appreciation of the heritage assets in general views up and down the Thames due to their low aesthetic quality, and limit the positive contribution of the historic landmark structure of the Maltings in terms of the Site's overall contribution to the significance of the heritage asset group.

Plate 44 View from the north east end of Chiswick Bridge towards the heritage asset group (2021)



The listed early 18th century wall adjacent to Riverside House is largely enclosed by the later blocks of flats of Reid Court on Williams Lane, leaving its setting as very tightly confined around the structure itself, with little contribution to its significance made by the Site.

6.5.2 Gateway, formerly to Cromwell House (Grade II Listed Building)

The listed gateway is constructed of yellow bath stone piers, which date from circa 1700, and early to mid-18th century wrought iron gates. The piers have rusticated masonry and are topped with Portland stone caps with ball finials, of a later date than the piers (**Plate 45**). The heritage asset was formerly located to the frontage of the site of Cromwell House, originally the Thames-side manor house of Mortlake, but was relocated in the 1960s when the Site was redeveloped.

The high-quality materials of the listed gateway are representative of the importance of the former manor

house and the high status, wealth and aspirations of the former landowner and contribute to its architectural interest. Although the gateway is no longer in its original context, it remains illustrative of its historic use and provides a tangible link to the former manor house.

The listed gateway is considered to be of **Medium** heritage significance.

Contribution of Setting and the Site to Significance

The wider setting of the Grade II listed gateway is consistent with that of the heritage asset group assessed above, and therefore a description is not repeated here.

Due to the relocation of the heritage asset subsequent to the demolition of Cromwell House, it is now largely devoid of any elements of its historic setting. The gateway is situated on the north side of the bend in Williams Lane, directly to the north-west of Watney's Sports Ground, which forms part of the Site. This forms an attractive green element of setting, which enhances the appreciation of the heritage asset. The sports ground has historically consisted of open space as evidenced by historic OS maps. It therefore makes a positive contribution to the significance of the listed gateway. This contribution is compromised, however, by the view of the large modern brewery structures within the Site (**Plate 45**).

To the west, the heritage asset is bordered by early to mid-20th century housing and directly to the north and east is enclosed by modern flats. These elements of setting are not considered to contribute to the significance of the listed gateway and highlight the detachment of the asset from its historic context.

The Site is located immediately adjacent to the south-east and east of the listed gateway. As noted, the sports ground within the Site is considered to make a positive contribution to the significance of the asset, although this is lessened by the view of the modern buildings. The north-west portion of the Site shares a historical link with the listed gateway, being built on part of the former site of Cromwell House. However, it is considered that overall, the Site does not contribute to the particular significance of the heritage asset.

Plate 45: Grade II Listed Building Gates to Cromwell House within their setting (2017)



6.5.3 Chiswick Bridge and Attached Balustrades (Grade II Listed Building)

The Grade II listed Chiswick Bridge is a reinforced concrete arch bridge over the River Thames, which was constructed in 1930-33 (**Plate 46** and **47**). The bridge was designed by engineer Alfred Dryland and architect Herbert Baker and has a distinctly Georgian character. It is clad in Portland stone and has three spans, with a polygonal viewing platform to each side. The centre span of the bridge is the longest concrete arch of any bridge spanning the Thames.

Plate 46: Grade II Listed Building Chiswick Bridge (2017)



Plate 47: Grade II Listed Building Chiswick Bridge from south bank (2021)



The heritage asset is a prominent feature within the local townscape, particularly in views along the Thames. The listed structure is representative of the early 20th century development of Mortlake and was constructed as part of a scheme to relieve traffic congestion to the west of London. It is therefore indicative of the economic history of the area and the development of transport infrastructure during this period. Chiswick Bridge is synonymous with the Oxford and Cambridge boat race, being located close to the finish line, and therefore has some communal value.

Chiswick Bridge is considered to be of **Medium** heritage significance.

Contribution of Setting and the Site to Significance

Chiswick Bridge carries the A316 (Clifford Avenue) over the River Thames, between Mortlake on the south bank and Chiswick on the north bank. It is therefore experienced in kinetic views as a result of both vehicular and pedestrian traffic crossing the bridge, as well as in wider views along the Thames. To the north of the heritage asset is a sports ground associated with Quintin Boat Club and to the west and east are Mortlake Crematorium and Duke's Meadows respectively, which are each bordered by trees and vegetation along their Thames-side boundaries. These areas provide attractive green elements of setting which complement the appreciation of the listed structure and therefore contribute positively to its significance.

The River Thames forms the principal aspect of the setting of Chiswick Bridge and contributes positively to its significance due to its associative relationship. From the listed bridge are long distance views along the Thames in both directions, with the viewing platforms providing optimum vantage points. To the north-west, the views primarily comprise the riverside trees and vegetation, with interspersed buildings and high-rise towers against the skyline in the distance. To the south-east, the views incorporate the row of listed and locally listed buildings along the south bank, which contribute positively to the significance of the heritage asset as attractive high-quality buildings that form part of the assets historic context.

The Site is prominent in views from Chiswick Bridge, with the distinctive Maltings building forming one of the key elements of the experience of the listed bridge and therefore contributing positively to its significance. As identified previously however, the modern brewery structures that dominate views from the bridge diminish this contribution. The Site is indicative of the industrial heritage of the area and its riverside location is illustrative of the former links between the River Thames and the Site. The Site as a whole is therefore considered to make a positive contribution to the significance of Chiswick Bridge, albeit that this contribution is limited due to the lack of surviving historic buildings / structures on the Site.

6.5.4 Mortlake Conservation Area and Listed Buildings on High Street

This group comprises the following heritage assets:

- Parish Church of St Mary: Grade II* [NHLE 1357705]
- Acacia House: Grade II [NHLE 1065426]
- 117, High Street, Grade II [NHLE 1065427]
- Suthrey House with Attached Railings [NHLE 1286039]
- Mortlake Conservation Area
- 61-69 Mortlake High Street (WA20)

Mortlake Conservation Area was designated in September 1982 and comprises an area incorporating the historic core of Mortlake, focussed around Grade II* Listed Building St. Mary's Church⁴¹.

Grade II * St. Mary's and its surrounding paths and graveyard mark the heart of the original village. The church was founded in 1348, although the current building dates to the 1543. The building retains the stone, flint and brick tower and cupola (**Plate 48**).

Along the High Street to the north of the church, as well as to the south west of the church on Alder Road and Fitzgerald Road, the Conservation Area retains a number of 18th century houses and brick terraced cottages. These retain original architectural details, such as bay windows and decorative metalwork, which contribute to the character and appearance of the Conservation Area.

⁴¹ London Borough of Richmond upon Thames, 2018b, Mortlake 33. Conservation Area Statement. Available at https://www.richmond.gov.uk/media/13276/conarea33_a3_rgb.pdf

The section of the Conservation Area along the north side of the High Street and on Thames Bank, fronting onto the River Thames, incorporates a fine group of mostly 18th-century buildings, including the Grade II Listed Acacia House, 117 High Street and Suthrey House with Attached Railings. The later 19th and 20th century development along the river frontage is also sympathetic to the style and scale of the earlier buildings. This section of the Conservation Area, particularly from White Hart Lane to Ship Lane, is of interest in reflecting the industrial history of this part of the Thames. There are also a substantial amount of trees that survive, which contribute to the cohesive character of this area.

The Conservation Area includes part of the Site, incorporating the northern boundary wall, Maltings building, former hotel and former Bottling building within its boundary. The Stag Brewery Planning Brief SPD⁴² identifies that all three buildings and the section of boundary wall contribute, in varying degrees, to the significance of the Conservation Area.

No 61-69 Mortlake High Street (WA20) lies on the site of a former maltings, which is depicted on 18th century mapping of Mortlake (**Figure 2**). It is located to east of the Site. The site of the Maltings was redeveloped in the 1990s, which included the demolition of buildings within the plot and the refurbishment and extension of retained buildings for residential use. The building retains architectural elements associated with the former industrial use of the site and contributes to the character of the Conservation Area.

The Grade II* Church of St Mary is of **High** heritage significance. Grade II Listed Acacia House, 117 High Street, Suthrey House with Attached Railings and Mortlake Conservation Area are considered to be of **Medium** heritage significance. No 61-69 Mortlake High Street is of low value.

Plate 48: Grade II* Listed Building Church of St Mary (2021)



⁴² London Borough of Richmond upon Thames, 2011.

Contribution of Setting and the Site to Significance

The setting of the Grade II* Listed Building Church of St Mary comprises its church yard, within which it is positioned, and the surrounding development of Mortlake. Historic Mapping from the early 19th century shows that the churchyard within which the church is located was already comparatively small by this time and surrounded by buildings. The Church is positioned along Mortlake High Street, within the historic core of the settlement, and it therefore the setting does contribute to the significance of the heritage asset, although most of its value is drawn from its historic and architectural interest.

The setting of the Conservation Area, Grade II Listed Buildings Acacia House, 117, High Street, Suthrey House with Attached Railings and non-designated 61-69 Mortlake High Street comprises the River Thames to the north, and the varied urban townscape of Mortlake to the east and south. The River Thames forms a fundamental aspect of the setting of the riverside section of the Conservation Area and heritage assets contained within it, as it provides an appreciation and understanding of the industrial history of the area, and therefore contributes positively to the significance of the Conservation Area. The surrounding townscape is varied in nature, with areas of interspersed later development, however, the surviving 18th century development is considered to contribute positively to the Conservation Area's significance, by virtue of its shared age and historic development.

To the west is the portion of the Site not incorporated within the Conservation Area, and Mortlake Green, which is considered to contribute positively to the Conservation Area as an attractive green element of setting.

As outlined above, part of the Site falls within the Conservation Area boundary and these elements of the Site are considered to make a positive contribution to the significance of the Conservation Area, as surviving elements of the historic brewery site. The remainder of the Site, however, is not considered to contribute to the significance of the Conservation Area and the modern brewery structures within it detract from the appreciation, character and appearance of the Conservation Area.

6.5.5 Mortlake Green Conservation Area

Mortlake Green Conservation Area was designated in 1988 and is bounded by the railway line, Lower Richmond Road, Sheen Lane and Rosemary Lane. It includes Buildings of Townscape Merit, which contribute positively to the character of the Conservation Area (including The Tapestry Public House (WA15); and buildings along Lower Richmond Road (WA16, WA17, WA18 and WA19)).

The Conservation Area is predominantly characterised by the green and its surrounding buildings, the stock brick terraced properties along Lower Richmond Road and the groups of terraced properties concentrated to the west of the green. The green and its associated trees and vegetation provide an attractive, informal green space, which is in contrast to the heavy traffic along Lower Richmond Road and Sheen Lane. The green is bordered on its east and west by groups of BTMs along Sheen Lane and Cromwell Place, which contribute to its character.

The portion of Lower Richmond Road that falls within the Conservation Area includes a row of two and three storey stock brick terraced properties which are designated as BTMs. These properties contribute to the character and appearance of the Conservation Area and provide a contrast to the modern brewery structures that dominate the opposite side of the road. The Tapestry public house and the Jolly Gardeners public house are attractive buildings situated opposite to one another, which provide a 'gate' to the green. The buildings to the west of the green include attractive groups of terraced properties, however, the block of flats on Rosemary Lane detracts from the appreciation of the properties on Rosemary Terrace.

Mortlake Green Conservation Area is considered to be of **Medium** heritage significance.

Contribution of Setting and the Site to Significance

Mortlake Green Conservation Area is enclosed by the mixed townscape of Mortlake to its west, south and east, and the Site to its north. On its eastern boundary it adjoins Mortlake Conservation Area, which is considered to make a positive contribution to the significance of the Conservation Area as part of its historic context.

Directly to the north-east of the Conservation Area is the former Hotel building, situated within the Site and forming part of Mortlake Conservation Area, which is visible in views from the green. This building is considered to complement the appreciation of the character and appearance of Mortlake Green Conservation Area and is noted within the Stag Brewery Planning Brief SPD⁴³ as a building which contributes to framing the green.

The Site is situated directly to the north of the Conservation Area. Although the green has a historical link with the Site, as it was previously used to park the brewery's drays⁴⁴, the Site as a whole, as found today, is not considered to contribute to the particular significance of the Conservation Area. In addition, the modern industrial structures within the Site detract from the appreciation of the Conservation Area as they dominate views from within it, particularly in views north from the green towards the Site (**Plate 49**). There are elements of the Site, however, that complement the character and appearance of the Conservation Area, such as the former hotel building, as described above, and Watney's Sports Ground at the west end of the Site. This provides an attractive green element of setting which is considered to complement the character and appearance of the terraced properties within the section of the Conservation Area along Lower Richmond Road.

Plate 49 View looking north across Mortlake Green.



6.5.6 Grove Park Conservation Area

The Grove Park Conservation Area was designated on 11th January 2002 and has not been altered or extended since. It is located in the south-western part of Chiswick, an area known for its historic house and gardens, riverfront walks and the High Road. Grove Park Conservation Area comprises the late 19th century to early 20th century Grove Park Estate along with later developments, including recreational spaces to the south⁴⁵. It contains three Listed Buildings, all Grade II Listed (Chiswick Bridge and Attached Balustrades [NHLE 1031877], University of London Boathouse [NHLE 1388311] and Polytechnic Stadium [NHLE 1096141]).

The Conservation Area is divided into three character distinct areas; Estate, Riverside and South. The Estate area is described as comprising the late 19th to 20th century developments known as Grove Park Estate. The estate was set out by the Duke of Devonshire and comprised of large, spacious properties

⁴³ London Borough of Richmond upon Thames, 2011

⁴⁴ London Borough of Richmond upon Thames, 2018c, Mortlake Green Conservation Area 51, https://www.richmond.gov.uk/media/132777/conarea51_a3_rgb.pdf

⁴⁵ London Borough of Hounslow, 2021, Grove Park Conservation Area Appraisal. https://www.hounslow.gov.uk/info/20010/planning_and_building/1868/conservation_area_appraisals_and_maps

set within their own plots of open land. The Riverside character area consists of Chiswick Staithe, Thames Village and Chiswick Quay developments, all of which date to the latter half of the 20th century. This area includes the marina or yacht basin, which was originally a lake located within the grounds of Grove House. The last area (South) consists of two recreation open spaces, established in the 20th century and which extend down to the riverbank⁴⁶.

The significance of the Grove Park Conservation Area is drawn from its architectural and historic interest as the first large Victorian housing estate in Chiswick, which included high status properties. The original character of the area is well preserved⁴⁷.

Grove Park Conservation Area is considered to be of **Medium** heritage significance.

Contribution of Setting and the Site to Significance

The Grove Park Conservation Area Appraisal identifies the key elements of the setting of the area. The Conservation Area is predominately residential, with open spaces used for recreation to the south. It is bounded by the River Thames to the south-west side and the Hounslow Loop railway line on the north-east side. The wider setting includes residential areas to the north and north-east, the large recreational open space of Duke's Meadows to the south-west, Kew to the south-west and the Strand on the Green to the west⁴⁸. The significance of the Conservation Area is largely drawn from its historic and architectural value, although its setting does contribute to a degree to this.

The Site is located approximately 150m south-east of the Conservation Area and is separated by the River Thames and the Grade II Chiswick Bridge. The Site is partially visible from riverside locations within the Conservation Area, although views are largely limited to the upper elevations of the larger buildings, are partially obscured by the bridge and form part of a wider, panoramic view which includes a mix of buildings (residential and industrial), mature vegetation lining the tow path and areas of open spaces. The Site is clearly visible from Chiswick Bridge due to its elevated position and proximity (see section 6.5.3).

The Site, therefore, contributes only in a very limited way to the setting of the Grove Park Conservation Area as part of the wider landscape.

6.5.7 WA8: The Jolly Gardeners Public House: Building of Townscape Merit

The significance of the Jolly Gardeners public house is derived from its local architectural and historic interest as an attractive, albeit typical, example of a public house dating from the early 20th century (**Plate 50**). The public house has a townscape role in defining the street corner at the junction of Ship Lane and Lower Richmond Road. The locally listed building, which consists of two storeys and attic and is constructed of brick and stucco, provides evidence of the architectural style applied to public houses during this period. The heritage asset is also representative of the social history within Mortlake and is demonstrative of the continuing evolution and growth of the area from the early 20th century. Its continued use as a public house also contributes to its heritage value.

The locally listed building is considered to be of **Low** heritage significance.

Contribution of Setting and the Site to Significance

The public house is situated at the junction of Ship Lane with the busy Lower Richmond Road and is therefore experienced in conjunction with a high level of vehicular traffic. As this busy thoroughfare forms part of the building's historic context however, being extant since at least the mid-18th century, it is not considered to detract from the appreciation of the asset. The setting of the heritage asset comprises the former Stag Brewery, which encompasses the building on its north and east sides, Mortlake Green and

⁴⁶ London Borough of Hounslow, 2021

⁴⁷ London Borough of Hounslow, 2021

⁴⁸ London Borough of Hounslow, 2021

the locally listed buildings on the opposite side of Lower Richmond Road to its south, and a modern building to its west, which is not considered to contribute to its significance.

The green forms part of the historic context of the public house and provides an attractive green element of setting, which complements the heritage asset and therefore makes a positive contribution to its significance. Similarly, the public house and domestic properties to the opposite side of Lower Richmond Road are considered to contribute positively to the significance of the locally listed building as part of its historic context.

The Site encircles the public house to its north, east and west. It forms part of the historic setting of the asset and is likely to have historical links to the people that worked on the former brewery at the Site. As such, the historic elements of the Site that remain are considered to contribute positively to the significance of the locally listed building. The modern brewery structures on the Site, however, detract from the appreciation of the public house.

Plate 50: The Jolly Gardener's Public House



6.6 River Thames Historic Landscape Character

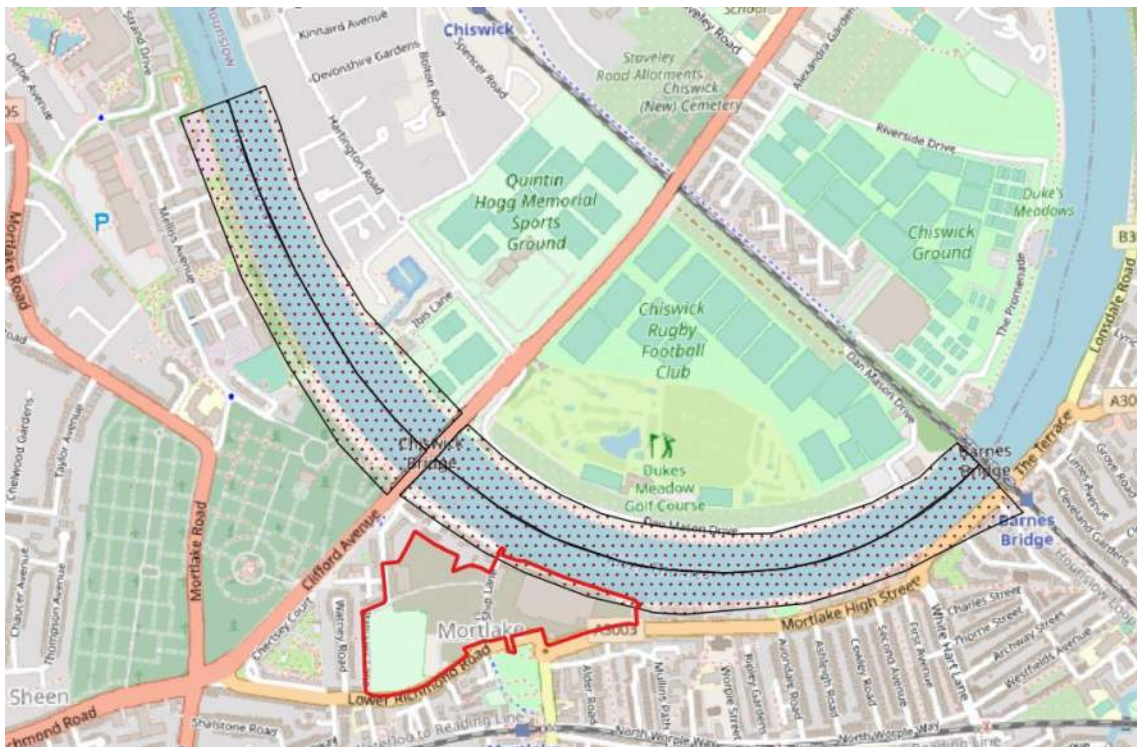
The River Thames extends for some 215 miles, extending from Gloucestershire in the west to the Kent and Essex coast in the east, where the estuary meets the North Sea. The River Thames represents an important natural feature in the historic environment and archaeological evidence shows that for many centuries it has been an important transport route, water source for domestic and industrial use, power

source for mills, source of fish, wildfowl, reeds, rushes and willow, and also as a drain and sewer⁴⁹. The Historic Landscape Character along the length of the River Thames varies considerably along its extent and many areas have been subject to considerable alteration and development, particularly in the 19th and 20th centuries⁵⁰.

The River Thames Historic Landscape associated with the Site is defined the stretch of the water course from Barnes Bridge westwards, approximately 1km west of Chiswick Bridge (Figure 25). Beyond these limits, the Site is not readily visible from the riverbank and therefore would not be impacted by the Development. The area assessed is divided into four distinct parts:

- South side, south-east of Chiswick Bridge;
- South-west side, north-west of Chiswick Bridge;
- North side, south-east of Chiswick Bridge; and
- North side, north-west of Chiswick Bridge.

Figure 25: Plan showing River Thames Historic Landscape Character areas assessed



The southern part, to the east of Chiswick Bridge, encompasses the Site itself, the Mortlake Conservation Area and Barnes Green Conservation Area and the heritage assets to the north-west of the Site. The character is therefore formed from a mix of 18th century to modern development associated with industrial and residential use. From Barnes Bridge in the east to Chiswick Bridge in the west, development extends up to the riverbank, although it is interspersed by small areas of open green space. The landscape character does preserve elements of its historic character in places, although it is much altered.

To the north-west of Chiswick Bridge, the landscape immediately alongside the River Thames comprises

⁴⁹ Bond, J; Dodd, A; Hind, J. and Rowley, T, 2019, The Thames Through Time. The Archaeology of the Gravel Terraces of the Upper and Middle Thames: The Thames Valley in the Medieval and Post-Medieval Periods AD 1000-2000. https://archaeologydataservice.ac.uk/archiveDS/archiveDownload?t=arch-3423-1/dissemination/1_The_River_Thames.pdf

⁵⁰ Ibid

the Mortlake (Hammersmith New) Cemetery which was established in the 20th century. To the north-west, the riverside comprises a stretch of tree-lined towpath, with an area of green space screening a modern residential development and a sewage plant to the south-east. A review of the historic OS mapping shows this area adjacent to the Thames to be open fields and areas of meadow in the early 19th century. By the later 19th century, the northern extent of this area was occupied by the sewage plant and filter beds and this expanded gradually southwards throughout the 20th century. By the 1960s, the area immediately north-west of Chiswick Bridge remained an area of open land, however to the north it was densely occupied by works associated with the sewage works. The Mortlake Cemetery had expanded northwards, infilling the area north-west of Chiswick Bridge by the 1980s, and part of the sewage works was converted into a recycling centre. The landscape character of this part of the River Thames is therefore of late 20th century to 21st century date, with very limited evidence of its historic landscape character still remaining.

The northern side of the River Thames, opposite the Site, comprises the Duke's Meadows, which since the 1920s has comprised a public park now for sport and recreation. Prior to this, it was open land⁵¹. The Duke's Meadows extends from Chiswick Bridge to the west and follows the route of the meander for approximately 1.9km, continuing northwards to Corney Reach. Although the area has always been an area of open land, the landscape character of the Duke's Meadows is of later 20th century date and little of its previous, historic character remains.

The northern side of the Thames, to the north-west of Chiswick Bridge, comprises the Grove Park Conservation Area. The Conservation Area boundary extends into the River Thames and the area itself is split into three character areas; Estate, Riverside and South. The Estate area is described as comprising the late 19th to 20th century developments known as Grove Park Estate. The river frontage here largely comprises of long, linear private gardens which extend down to the River Thames, with no public access along the riverbank. The Riverside character area consists of Chiswick Staithe, Thames Village and Chiswick Quay developments, all of which date to the latter half of the 20th century. The riverside here is largely gardens and open green spaces associated with areas of residential development, along with the Chiswick Quay yacht basin. The last area (South) consists of two recreation open spaces, established in the 20th century and which extend down to the riverbank⁵².

The landscape along the River Thames around the Site is largely of 20th and 21st century date and has very little historic interest, with much of the historic character lost and barely legible. It comprises mostly of residential and recreational land, with some elements of industrial (including the Site). The section which encompasses the Site itself and the heritage assets to its north-west represent a surviving earlier remnant but is somewhat isolated.

The recreational areas relate to sporting activities and are functional in nature. None represent a "designed landscape" or contain the rural, countryside aspects such as those found to the west at the World Heritage Site Royal Botanic Gardens, Kew, which form part of the Arcadian Thames, an area of high historic landscape character significance⁵³. While there are key views identified along the river frontage, none represent designed or deliberate views, and instead allow for long distant views along the River Thames, although the views are limited by mature vegetation, buildings and the natural, curving alignment of the river in this section.

The significance of the River Thames landscape in terms of heritage is judged to be **very low** due to its limited historic and architectural interest.

⁵¹ London Borough of Hounslow, no date, Chiswick Urban Context and Character Study, https://www.hounslow.gov.uk/info/20034/planning_policy/1097/urban_context_and_character_study

⁵² London Borough of Hounslow, 2021, Grove Park Conservation Area Appraisal.

https://www.hounslow.gov.uk/info/20010/planning_and_building/1868/conservation_area_appraisals_and_maps

⁵³ Thames Landscape Strategy, <http://thames-landscape-strategy.org.uk/visitor-guide/>

7. Conclusions

This report has been prepared to support two linked planning applications and associated S278 highways works to redevelop the former Stag Brewery Site and forms a technical appendix to the Environmental Statement. The Site has ceased to be used a brewery and three planning applications to redevelop the Site for residential and mixed-use have been previously submitted and subsequently refused (17 Aug 2021).

The scope of the report was to provide an overview of the history of the Site, before describing and assessing its significance. This assessment included the surviving historic buildings within the Site that are designated as 'Buildings of Townscape Merit', namely the Maltings (WA3), the former Hotel (WA1) and the former Bottling building (WA2). In addition, the report has considered the Site's contribution to the significance of adjacent heritage assets, both designated and non-designated. These included the Mortlake and Mortlake Green Conservation Areas, the Grade II listed Riverside House; Leyden House; Thames Bank House; Tudor Lodge; Thames Cottage; Gateway, formerly to Cromwell House, the Grade II listed Chiswick Bridge, and the Garden Wall to east of Number 1 to 8 Riverside House and extending behind Numbers 1 to 24 Reid Court.

The report found that the majority of the historic brewery on the Site have been demolished during a phase of expansion in the latter half of the 20th century and it now consists largely of late 20th century industrial buildings, ranging in height from one to eight storeys. This development left only three intact structures from the early 20th and 19th centuries, and the facades of other structures as the boundary walls. These buildings have value in their own right and are the main contributing factor to the Site's heritage significance and its contribution to the setting of other nearby heritage assets, such as the two Conservation Areas to the south and south-east. Their value as a group of related historic structures is also important when considering the Site holistically. 20th century development has had a considerable negative effect on the significance of the built heritage within the Site, and a negative effect on the settings of nearby Listed Buildings on Thames Walk. The majority of the structures within the Site are of no heritage significance.

The report also found that the Site is likely to have strong cultural connections to the Mortlake locality through its history as a large employer in the community and the prominence it undoubtedly has in the public consciousness because of this. It also acts as a landmark and focal point for views up and down the River Thames in this location, including from the nearby Chiswick Bridge and during the well-known sporting event of the Oxford-Cambridge Boat Race.

The landscape of the River Thames corridor has been assessed to determine if it contains any surviving areas of historic landscape character of significance. The report has established that along the Mortlake and Chiswick stretches of the Thames, the landscape is largely of modern date and of very limited heritage value. It is not associated with the higher value historic landscape areas located to the west of the Site, such as those within the World Heritage Site Royal Botanic Gardens, Kew, which form part of the Arcadian Thames.

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APPENDICES

A. Historic Assets Constraints Plan