

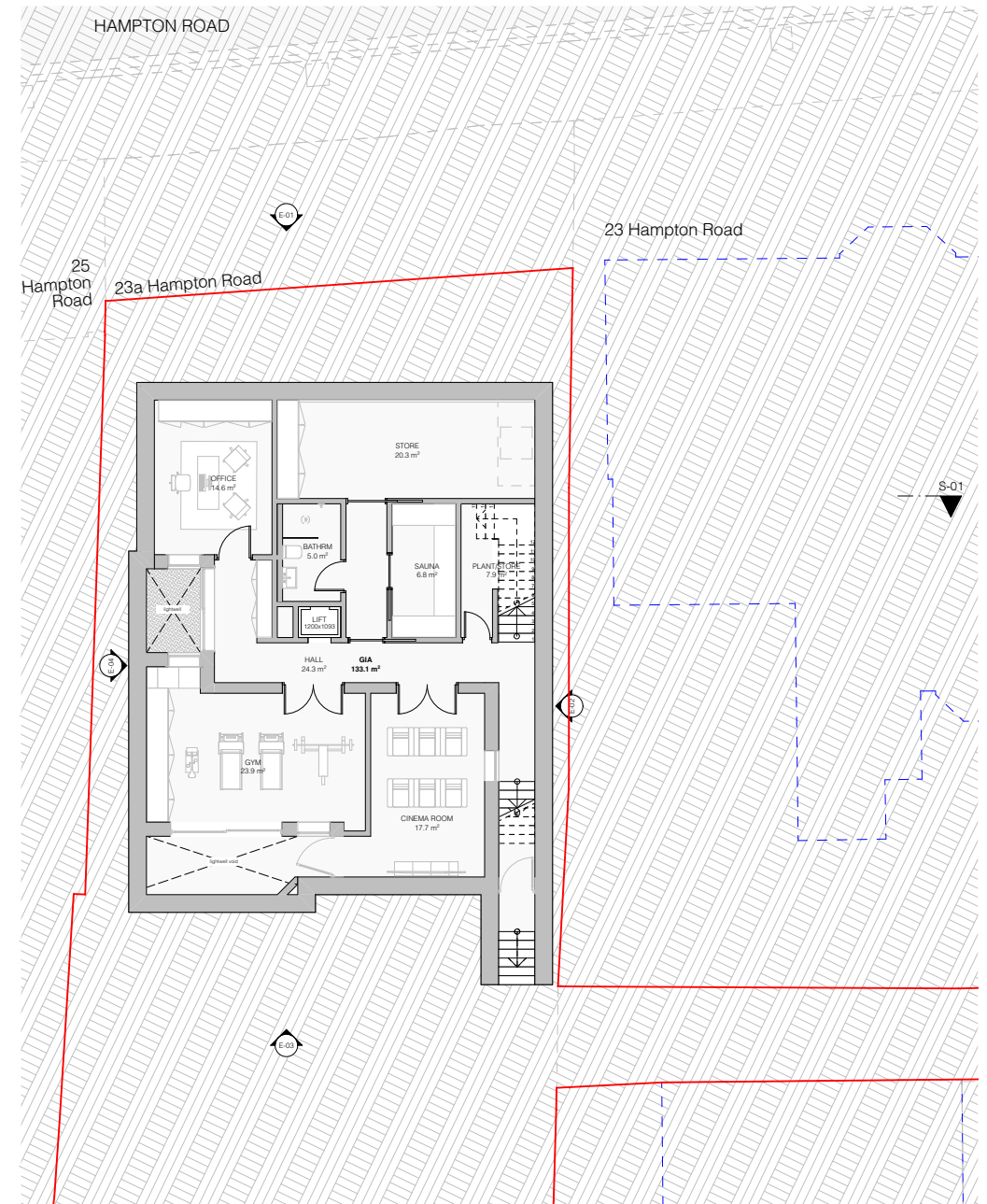
THE PROPOSAL

PROPOSED BASEMENT FLOOR PLAN

1:200 @A4



- Within the basement there are 2no light voids on the western side and the southern side which will aid pulling light into the plan.
- Similarly, a stairwell on the western side will bring in natural daylight.
- Accommodation on this floor includes ancillary facilities such as a gym, cinema room, sauna and store/plant room.

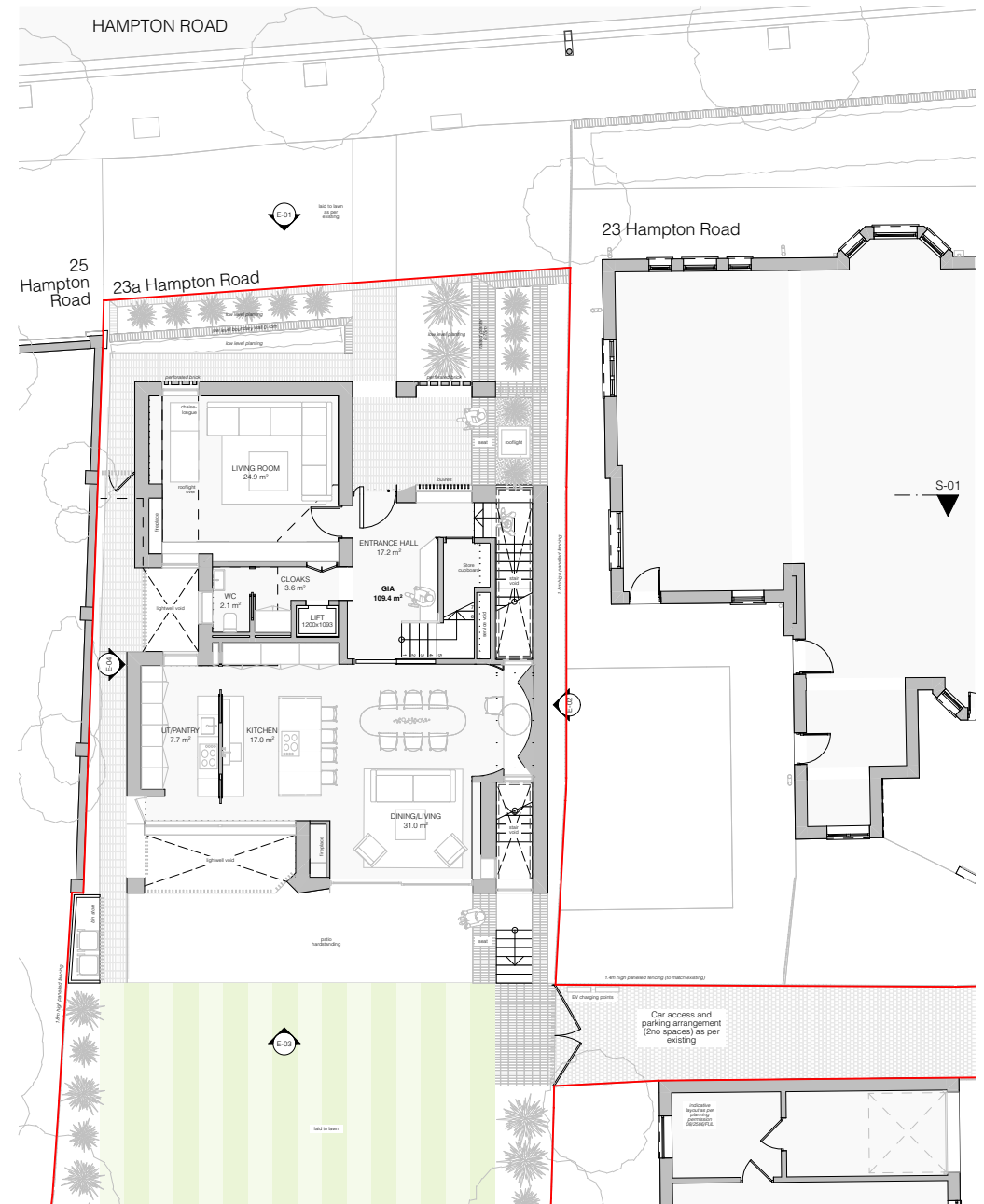


PROPOSED GROUND FLOOR PLAN

1:200 @A4



- Upon entering the property from the northern boundary, this leads past a perforated brick wall to the front door (all level access).
- A sculptural staircase sits within the entrance hall void.
- Off of this is the main living room, cloaks, WC and lift shaft.
- At the rear of the property is an open plan kitchen, dining and living area with access to the rear garden.
- The rear garden is laid to lawn with reinforced border planting proposed.
- A gate leads to the dog-leg area of the site where the existing access and car parking arrangement (two spaces) is retained. The driveway will be resurfaced.
- The site boundaries will combine existing masonry walls with new timber fence, panels.

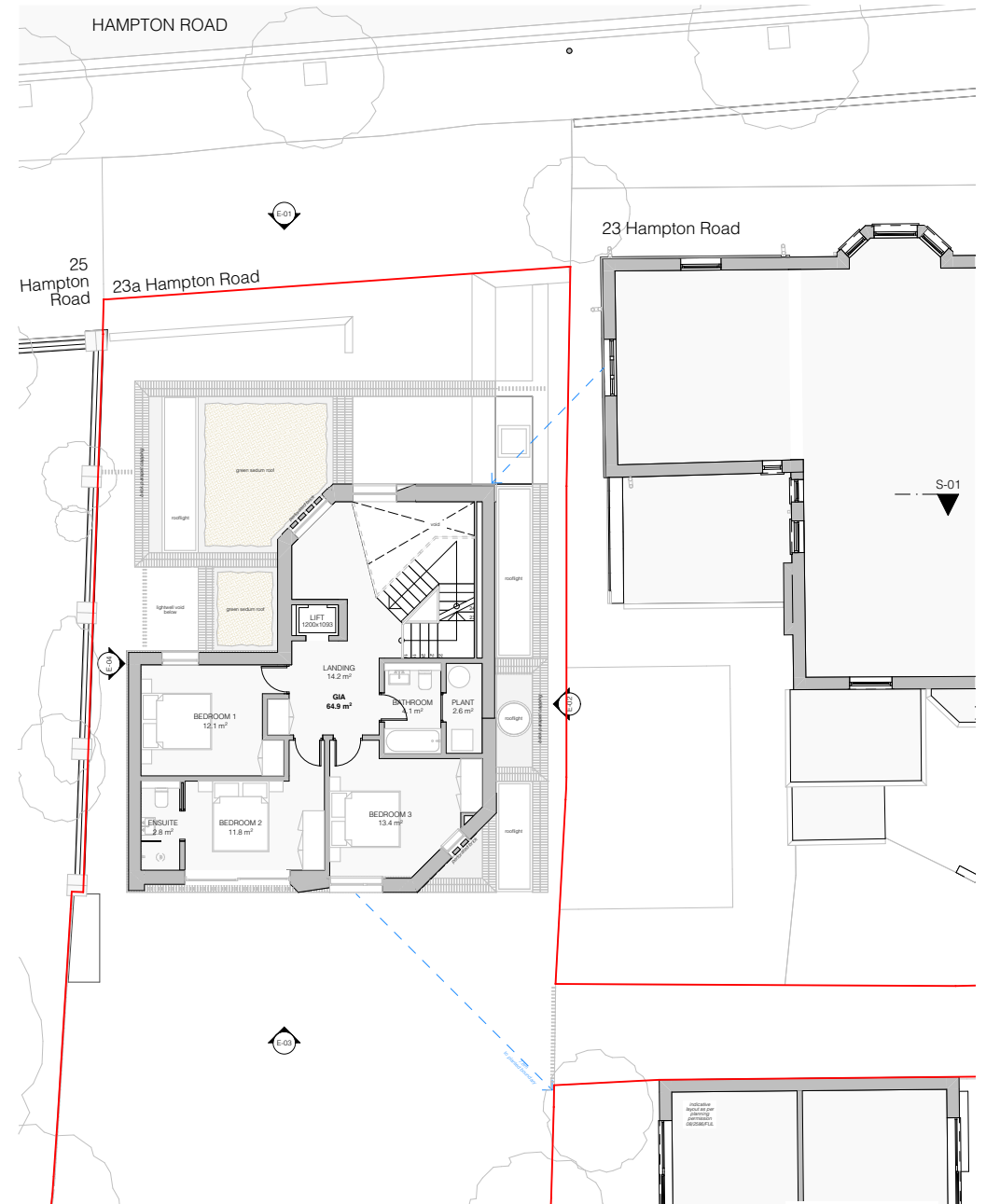


PROPOSED FIRST FLOOR PLAN

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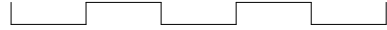


- Leading up from the main staircase, 3 bedrooms, an ensuite and bathroom are carefully planned.
- To mitigate perceived overlooking, perforated brickwork is proposed on the window to bedroom 3.
- There are metal louvres to bedroom 2 to mitigate perceived overlooking and provide solar control.
- This is in addition to existing mature planting to the boundary in the south eastern corner of the site.
- The rear of 2a Coleshill Road is located at 90 degrees to the rear of 23a.

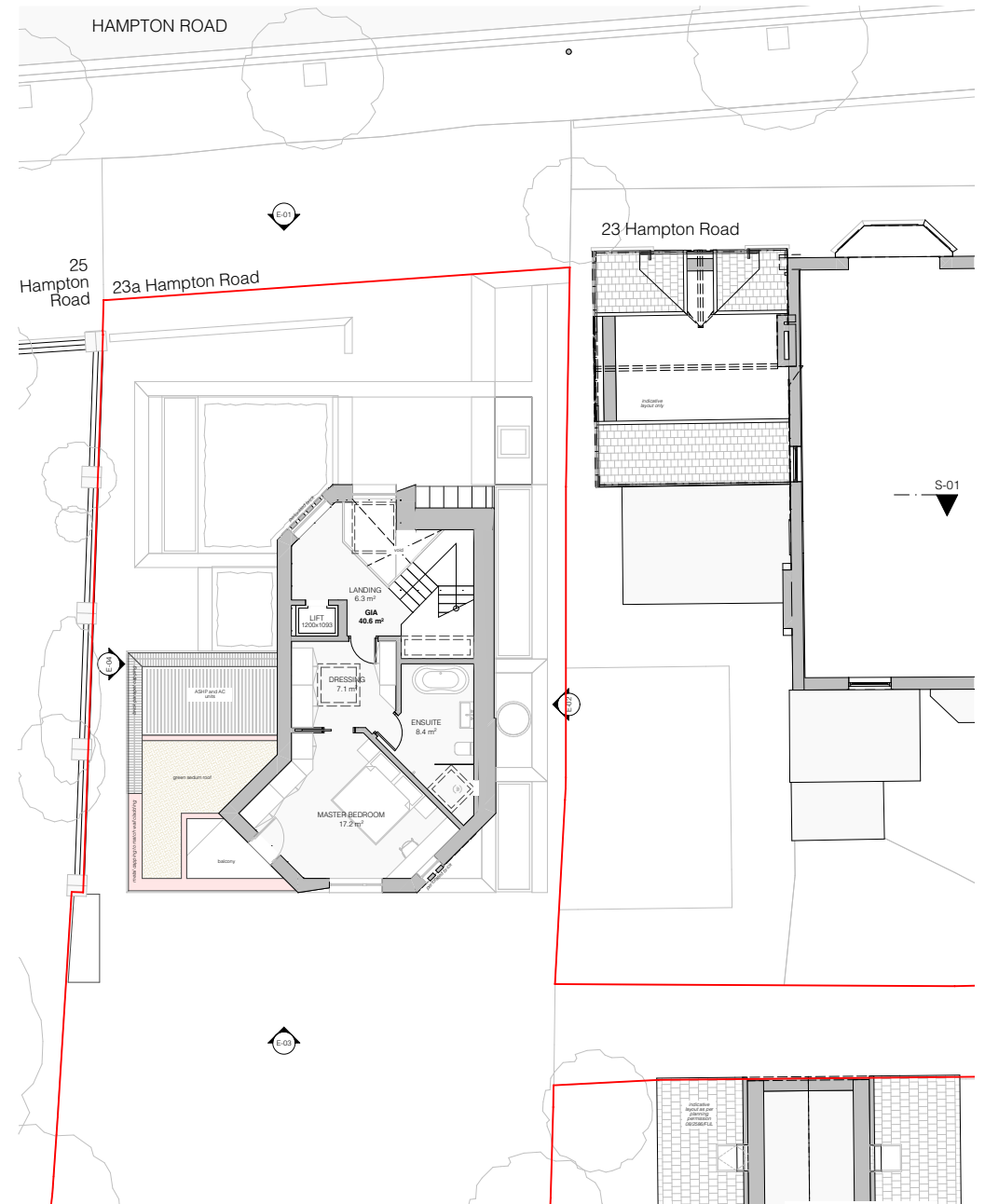


PROPOSED SECOND FLOOR PLAN

1:200 @A4



- On the second floor, there is a master suite.
- There is a small balcony to the south western corner with an intensive green roof and zone for ASHP.



SECTION 3 | AMOUNT THE PROPOSAL

EXISTING AMOUNT

Site area	446m ²
Frontage:	11.1m
Footprint	104.7m ² (including shed)
GIFA	116.2m ²

PROPOSED AMOUNT

Site area	446m ²
Frontage	11.9m
Footprint	143m ²
GIFA	348m ²

PROPOSED SCHEDULE OF ACCOMMODATION THE PROPOSAL

Proposed Accommodation	Area
-01 Basement	133.1
00 Ground	109.4
01 First	64.9
02 Second	40.6
GIA Total	348 m²

As per LP35, this development provides family sized accommodation (and replaces an existing bungalow). NDSS space standards are achieved throughout internally and external spaces are generous. Refer to the report, "Residential Developments Standards"

SECTION 4 | LAYOUT THE PROPOSAL

Policy D6 of the London Plan sets out standards for new housing in addition to the Council's Policy LP35 to ensure adequate internal spaces for the occupants. The scheme greatly exceeds the requirements. The scheme is for a 1no x 4 bedroom family dwelling house.

As demonstrated in the plans, sections and elevations, the home (and habitable rooms) will have an appropriate outlook, have considered opportunities for ventilation, be private and have significant amenity space.

As per Policy LP35 (B), and the NDSS, the home greatly exceeds the area required for a 4b8p dwelling set over 3no floors. In addition, all double rooms are min. 11.5m² and min 2.75m wide. Generous floor to ceiling heights are proposed on each floor (2550mm/2625mm). Minimum storage areas are achieved.

As per Policy LP35 (C,D), the site has a generous amenity space which is commensurate with the proposal.

Proposed windows and habitable rooms will be only to the front and rear elevations. Some windows will have perforated brickwork and louvres set in front of the glazing to control perceived overlooking to and from the proposal.

- No 23 sits 1.8m away at ground floor. At first/second floor, the gap is 3.2m. The gap is 8.3m further to the rear of the proposal. (see section 1).
- No 25 sits 8.2m away.
- No 2a Coleshill sits 12.2m away when measured from the centre of the closest window using the 45 degree rule. Some of the windows on the rear

facade of the proposal are mediated by perforated brickwork/metalwork. Pre-existing planting on the border also obscures long distant perceived overlooking.

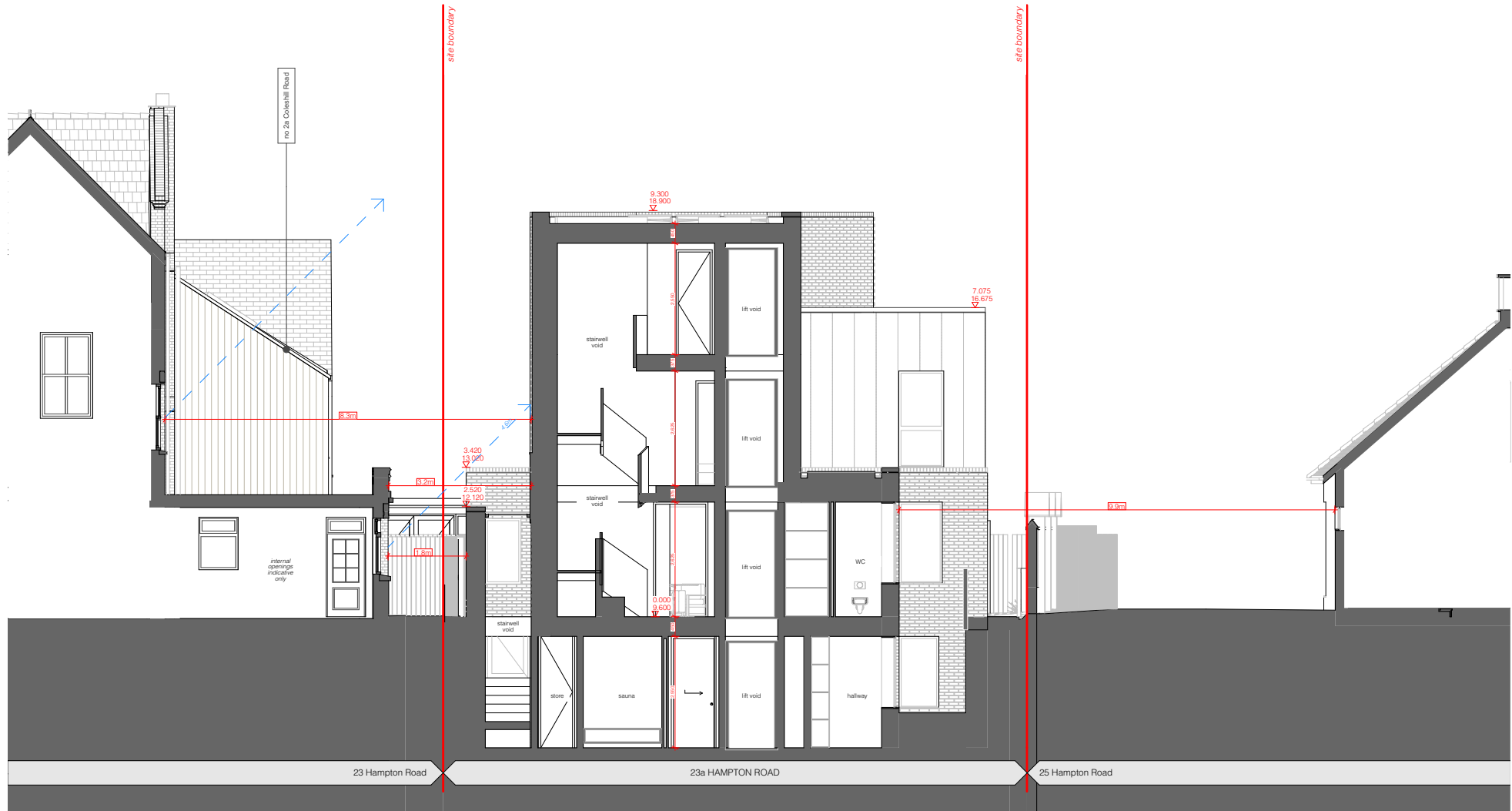
Refer to descriptions on the above pages for the internal layout.

Site layout

- To satisfy LP45, 2no car parking spaces are located on the driveway on the dog-leg area of the site as per the existing condition. The driveway is proposed to be retained in its current position utilising the existing dropped kerb.
- To satisfy LP24, There is allowance for 2no 240l bins, and food bin. Refuse and recycling will be collected from the kerb side along Hampton Road as per the existing condition.
- A cycle store is provided in the rear garden in line with minimum requirement from the London Plan.
- A space for an air source heat pump is located on the first floor roof. PV panels are located at roof level.
- Hard and soft landscaping to the front and back garden will incorporate existing and new planting.
- It is worth pointing out that there are pre-existing first floor windows of mutual overlooking on the bungalow facing towards 2a Coleshill Road - and this situation is unchanged.
- With regards to Policy LP8, amenity and living conditions, the home has been carefully designed to ensure the neighbouring properties are not impacted by the proposal with regards to overlooking, privacy and loss of light.

SECTION 01

1:150 @A4



SECTION 5 | SCALE + MASSING

THE PROPOSAL

The home is set back significantly from Hampton Road. **No23 Hampton Road, a BTM, rightly remains the, prominent building within this group of homes due its prominence on the corner plot.**

The proposed massing and architectural composition have been fully considered:

- Architecture which steps and mediates between No23 and No25.
- Responds to given building lines/datum heights within the massing of the neighbouring properties.
- A roofscape which draws inspiration from the neighbouring properties.
- An elevational composition which responds to and mimics the BTM.
- The architecture also ensures that significant gaps are retained to both immediate adjacencies.

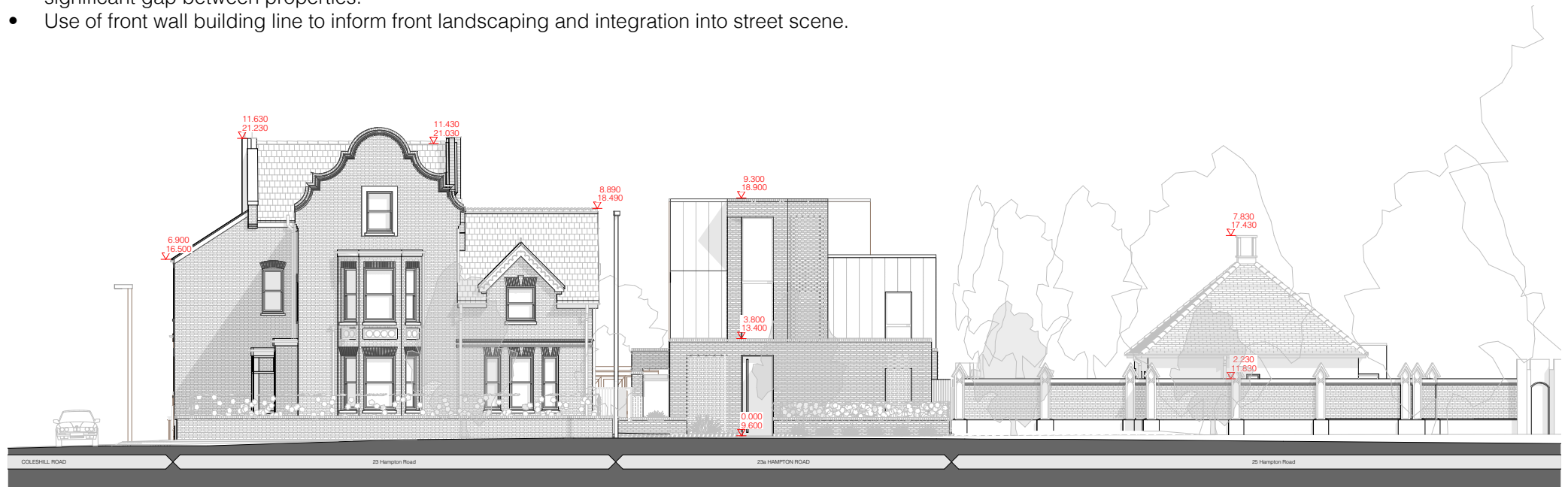
Careful consideration has been made of the adjacencies, inclusive of:

To No23:

- single storey to boundary only.
- significant gap between properties.
- roofscape with eaves and ridge lines commensurate with adjacency.
- carefully positioned openings to maintain privacy.

To No25

- significant gap between properties.
- Use of front wall building line to inform front landscaping and integration into street scene.



SECTION 6 | SCALE + MASSING (CONT.)

THE PROPOSAL

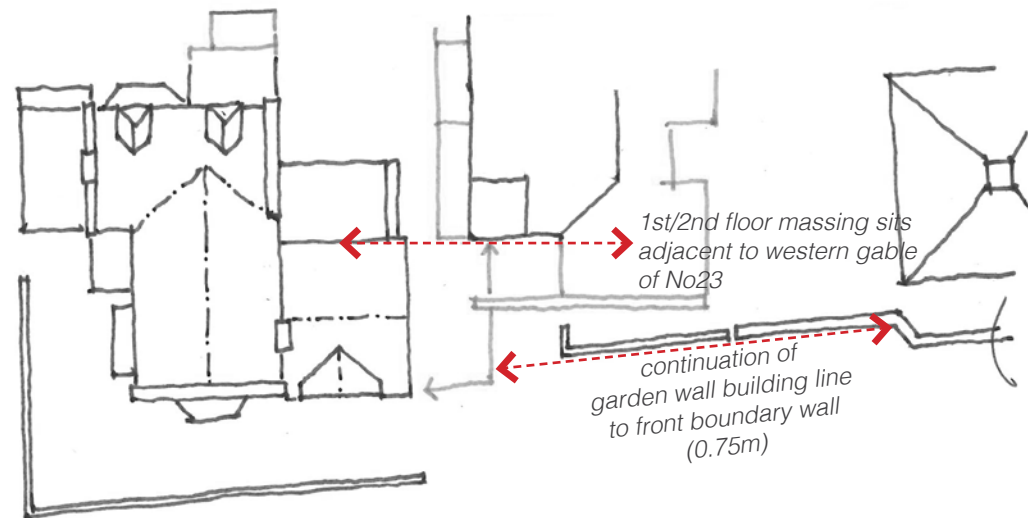
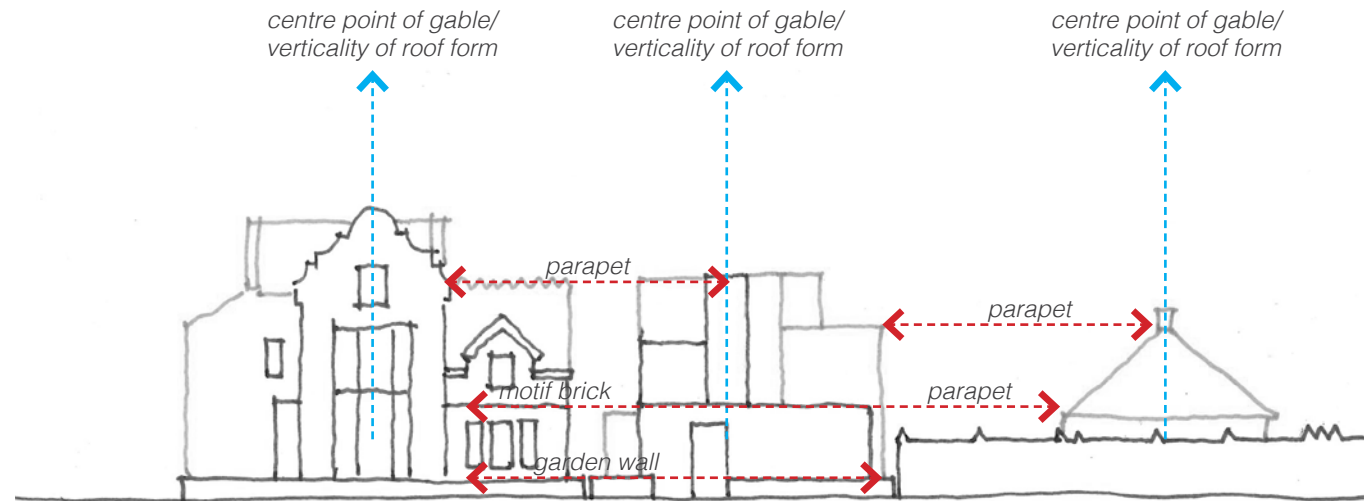
The proposed ridge height will be of a commensurate relationship to the neighbours along the street elevation. With regards to the eaves height/parapet height of lower floors, the spot heights suggests a totally respectful relationship to both No 23 and No 25 Hampton Road.

The first/second storey massing is carefully pushed back to ensure the western elevation of No23 is left exposed to oblique views down the street.

The height of the main front wall at ground floor relates directly to the decorative brickwork found on the front facade of No23 as well as the eaves height of No25.

The stepping of the plan over the ground floor in particular means that the positioning of the massing will ensure suitable gaps between properties; defining and maintaining the continuity of strong frontage established by the boundary wall to No25.

Single storey elements are flat roofed and this ensures no significant additional massing is perceived from neighbouring properties.



STREET CONTEXT
THE PROPOSAL



- Architecture responds to, steps with and mediates between the quality precedent within the vicinity.
- Appears in a similar tone to the adjacencies; linking the red brick of No23 and the red and white wall of No25.
- Massing is carefully conceived to keep eaves levels commensurate with adjacent properties. Parapet heights at ground floor/roof level relate to the neighbouring properties in a respectful manner.
- The western elevation of No23 is left exposed on the corner plot ensuring that the BTM remains the prominent home.

SECTION 7 | APPEARANCE

THE PROPOSAL

The proposal will be of the highest quality both internally and externally. It will directly respond to its local context and wider environment in line with local policy LP1. The proposal will refer to the historic adjacencies, use traditional materials (brick, mortar, standing seam metal) and utilise patterned brickwork; detailed in a contemporary manner. The home will blend neatly against the existing adjacencies and its architectural ambition will seek to enhance this area and improve significantly upon the existing condition.

Policy D3 of the London Plan '21 states proposals should enhance local context and respond to local distinctiveness. Similarly, LP1 of the Local Plan states that development should respect the character, appearance, contribute to the prevailing character of the area and be of the highest architectural and urban quality. We envisage the scheme will enhance and evolve; taking the opportunity to significantly improve upon the existing found site condition.

The design of the home indeed seeks direct inspiration from the quality architecture adjacent;

- **Compatibility with the local character:** *overall composition seeks inspiration from the adjacent BTM. The symmetrical composition also seeks to meld and mediate between the red No23 and the white no25 structures. The scheme is totally compatible with the urban grain and use. The scale and height has been carefully conceived to blend with the pre-existing proportions, forms, materials and detailing in a contemporary and relevant manner.*
- **Sustainable design and construction:** *the scheme seeks to be of the highest environmental standard combining air tightness, low u values, sustainable heating strategies with PV*

generation. Aiding site biodiversity, intensive green roofs contribute to the arboreal feel of the site.

- **Layout, siting, access;** *the pre-existing condition is significantly bettered.*

We have carefully sought to preserve the “significance” of No23 Hampton Road - the BTM - ensuring this remains the stand out architectural building on the junction between Hampton Road and Coleshill Road. This is achieved by pulling the massing of the main building back to ensure the western elevation of the building is clearly rear from approach from the Hampton Hill. This is in line with LP4 aiming to preserve the significant of non-designated heritage assets.

Front façade

The composition of the home is driven by responding to the symmetrical design of the gables of No23. The proposal purveys a symmetrical feel, where the roofscape mimics and mediates between adjacencies. In a similar way that the bay and gable of No23 create a symmetrical focus, the glazed feature window of the proposal - set well back from the road - creates a focal and self-referential addition to the streetscape.

At ground floor, a front garden wall is set significantly back from the street front. In a light brick this responds to the white stucco on the boundary wall to No25, whilst the height of this wall relates to the datum line referenced from the patterned brickwork on No23. Elements of perforated brickwork patterns seek further relationship with the BTM. Above ground floor level, the brickwork gives way to copper cladding in a standing seam composition. The roofscape is carefully conceived and forges a relationship with both adjacencies in massing and tonality.

To the right hand side of the of the feature glazing, perforated brickwork will mediate views into, and out of, the proposal in front of the lift serving all levels.

Glazing elements will be in a light finish to match the copper cladding. The front door facing the street will be in a matching metal finish. Parapet details will be finished in a header brick course.

Rear façade

The façade at the rear is similarly composed of brickwork and metal cladding. At ground floor the home benefits from wide sliding doors to the rear. Walls are clad in a light brick (stretcher bond). Deep set windows/doors provide shading to occupants to aid passive environmental design on the south facing facade. At first and second floor windows are carefully arranged and obscured by perforated brick and vertical metal louvres which add further layering to the facade. Identical to the front, glazing is in a light finish.

The 1st/2nd floor flat roof will have a green sedum roof which supports LP15. This roof is for maintenance access only (and should be conditioned that it will not be utilised as a balcony space).

As per the sustainability statement, solar PV panels are set on 2nd floor roof level which also houses the ASHP equipment.

Hidden guttering will be utilised. Aluminium hoppers and rainwater pipes will be used on the side elevations.

Refer to landscape section for materials specification.

SECTION 7 | APPEARANCE (CONT.)

THE PROPOSAL



VIEW FROM HAMPTON ROAD, LOOKING EAST
The proposal is obscured.

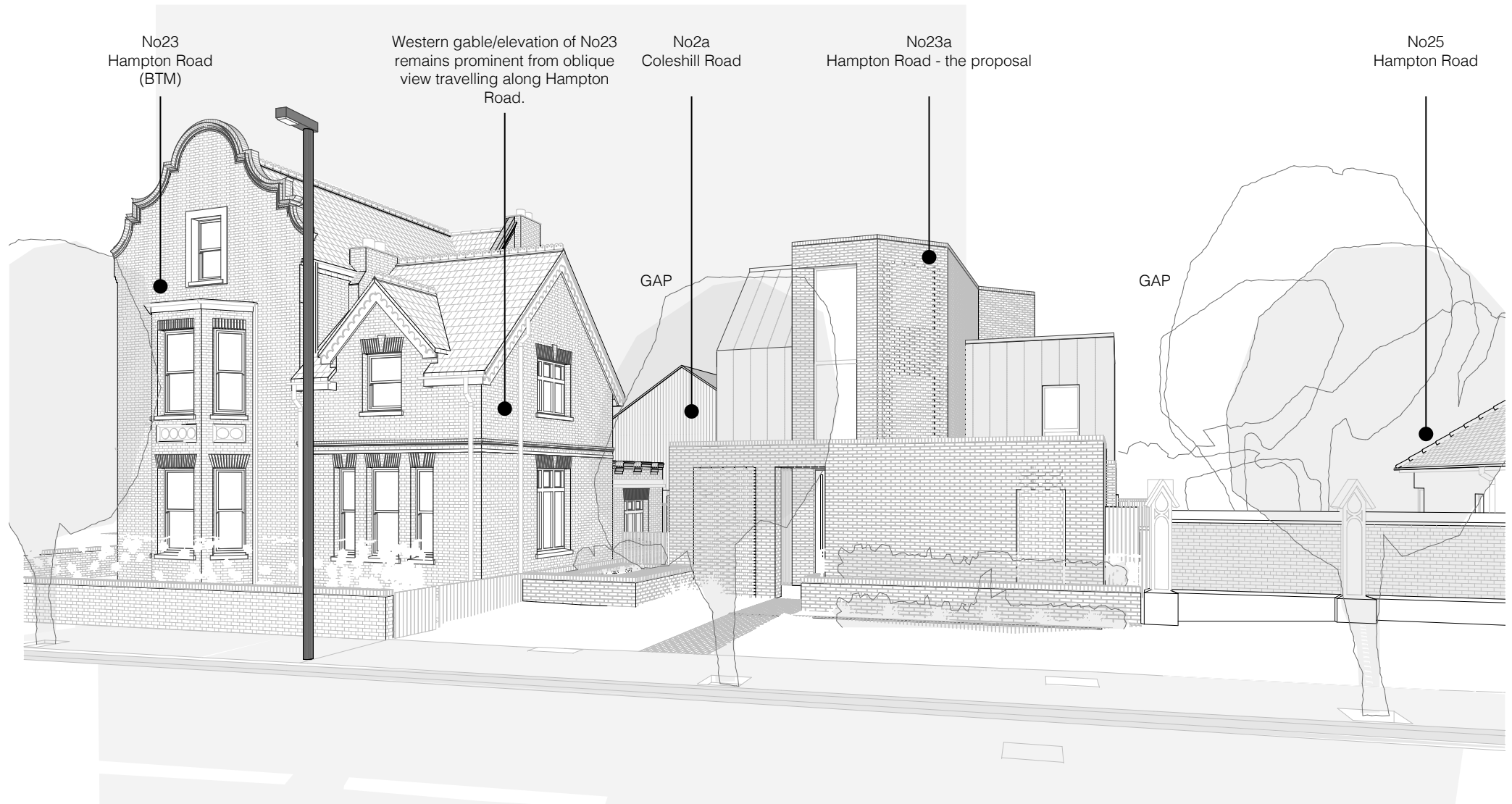
SECTION 7 | APPEARANCE (CONT.)
THE PROPOSAL



VIEW FROM HAMPTON ROAD, LOOKING EAST
The proposal emerges into view with the western elevation of No23 remaining in view.

SECTION 7 | APPEARANCE (CONT.)

THE PROPOSAL



VIEW FROM HAMPTON ROAD, LOOKING SOUTH EAST

SECTION 7 | APPEARANCE (CONT.)

THE PROPOSAL



VIEW FROM HAMPTON ROAD, LOOKING WEST

SECTION 7 | APPEARANCE (CONT.)

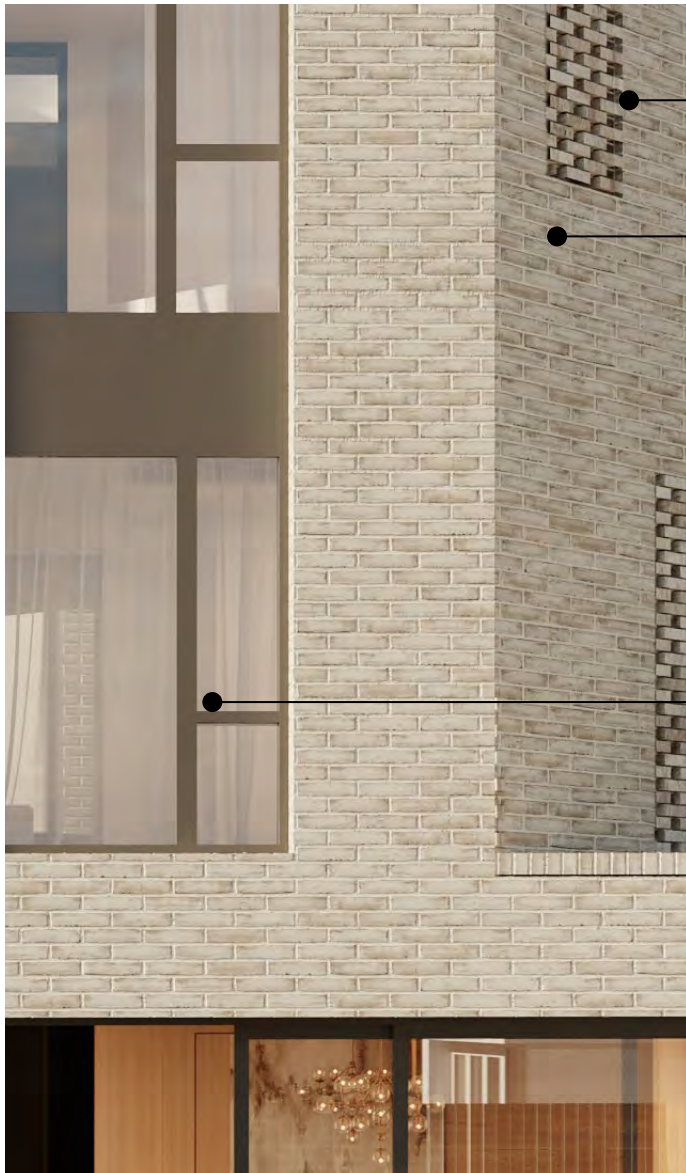
THE PROPOSAL



VIEW FROM COLESHILL ROAD, LOOKING NORTH WEST

ELEVATION COMPOSITION

THE PROPOSAL



Perforated brickwork within first/second floor control views to and from the proposal

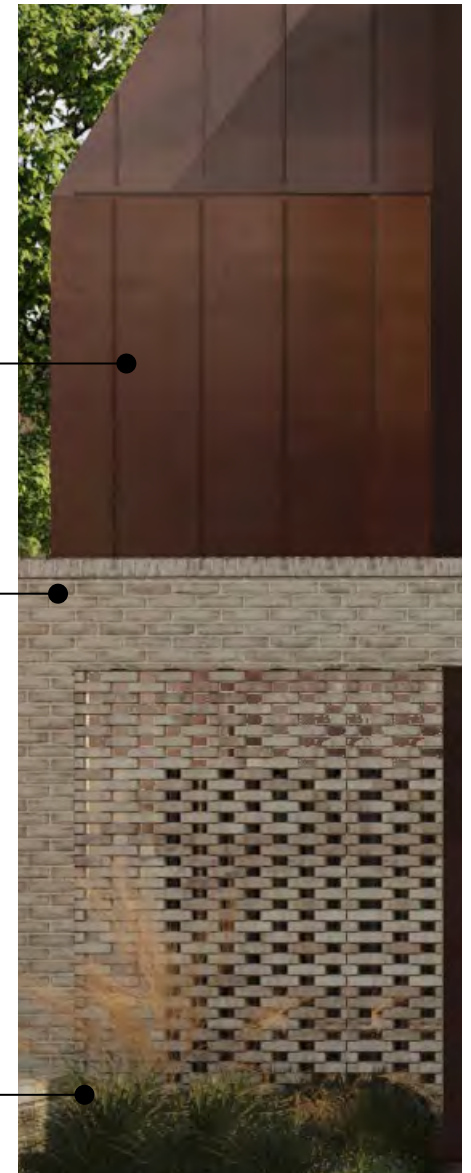
Light facing brickwork which mediates between the deep red of No23, and the whites found on No25 (brick choice to be conditioned by Officer)

Red metal cladding which mediates between the deep red of No23, and the whites found on No25

Brick header course to parapet level; the height informed by the brick motif to No23

Light colour window frames to match metal cladding.

Planted garden to ensure arboreal feel to front and rear spaces and ensure streetscape appeal



PRECEDENT IMAGERY | ARCHITECTURE
THE PROPOSAL



Copper cladding; responding to the red tonality of the neighbouring buildings.



Metal cladding set above a brick ground level; found on Church Lane near Teddington High Street.



Perforated brickwork to protect views to and from the internal spaces, with deep set glazing below.

SECTION 8 | SUSTAINABILITY

THE PROPOSAL

A key feature of the proposals are the sustainable credentials of the scheme. Note, the scheme is supplemented by a energy statement to satisfy Part L1A requirements for planning, as well as Policy LP22.

- This is supplemented by the Sustainable Design and Construction checklist SPD.
- At this stage of the design process, the scheme has been designed with 400mm thick external walls. This will allow for the implementation of passivehaus details, if desired.
- The home is proposed to be run from renewables (i.e no requirement for a gas boiler); an air source heat pump with PV panels.
- Water consumption will be maximum 110 litres per person, per day.
- As part of building regulations, once the detail drawings and specifications for the two proposed dwellings are available, SAP calculations will be commissioned to “minimum 35% further reduction in CO2 emissions, compared to Part L1A 2013 Building Regulations”. It will be exceeded by a considerable margin as described in the Planning Energy Statement.
- The flat roof elements at first/second floor will have a green sedum roof which will help to insulate the roof structure. In addition, this will encourage biodiversity in line with LP15 and G6 (London Plan).
- The scheme allows for cycle storage to the rear garden will assist in promoting sustainable transport.
- It is proposed 2no electric vehicle charging station will be installed within the driveway.
- With regard to LP10, air quality, the construction of the site will follow best practices for dust pollution such as covering skips. This is further supported in the Construction Method Statement.

SECTION 9 | FLOODING + DRAINAGE

THE PROPOSAL

Policy LP21 ‘Flood Risk and Sustainable Drainage’ advocates that all development is done in a way which is responsible. The site lies in flood zone 1 (the lowest risk zone).

- A FRA is submitted with the application.
- This report should be read in conjunction with the SUDS report by Geosmart.
- The above should also be considered and read in conjunction with the basement impact assessment.

SECTION 10 | FIRE SAFETY

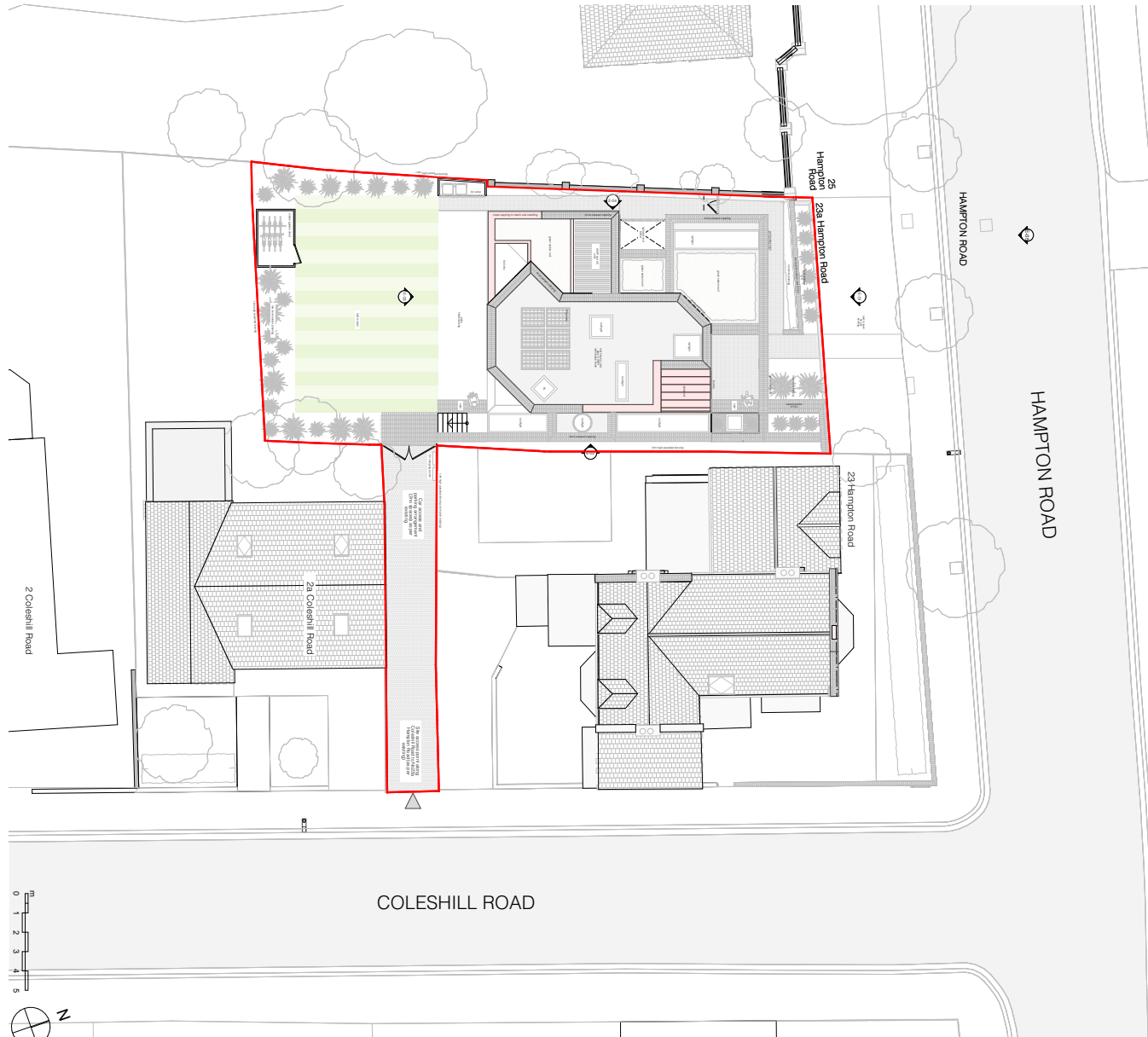
As per Policy D12 of the London Plan (2021), the scheme will comply with Building Regulations and the application is accompanied by a fire safety strategy undertaken by Tim Gates, Pentrevion Fire.

SECTION 11 | AFFORDABLE HOUSING + CIL

THE PROPOSAL

Policy LP36 regards Affordable Housing and the application is submitted with a Viability Statement completed by ET Planning.

LANDSCAPE PLAN NTS @A4



SECTION 12 | LANDSCAPING

THE PROPOSAL

The site has a substantial rear garden area that predominately faces south. This area is flanked by mature tree screening.

The scheme proposals will retain the arboreal feel of the property with a significant rear garden:

- 166m² rear garden
- 70m² front garden
- 48m² driveway
- total = ~285m²

A tree report and accompanying surveys are submitted as part of the application to seek to satisfy LP16.

Rear gardens

A mature rear garden is bordered by a number of trees, which provide significant and valuable screening between the site and adjoining properties.

A permeable patio area extends 2.5m from the ground floor living spaces. These areas are orientated towards the south and are accessed from the main living areas. The rear gardens will otherwise be laid to lawn, with substantial border planting to the boundaries and under the canopy of the retained trees.

It is proposed that green intensive/sedum roofs are utilised on the flat roof areas at first and second floor which will further contribute to the natural character of the site and further support LP15.

In the rear garden, there is cycle parking provision with sufficient space to comply with Policy T5 of the London Plan '21 within a garden shed. Spaces for bins (2x 240l, food bin) have been allowed for at the side of the

SECTION 13 | ACCESS + TRANSPORT

THE PROPOSAL

property within a designated bin store.

The driveway accessed from Coleshill Road will be resurfaced for further visual appeal in a stone sett. The parking arrangement will remain as per the existing condition.

Front garden

The front garden facing Hampton Road will be generously planted with small low level boundary walls to help ascertain a defensive line to the street. It is envisaged the arboreal feel will be enhanced when considered against the existing condition.

Trees

A tree survey and report accompanies this application.

PEA/Bat activity

A PEA appraisal and bat activity survey accompany this application.

Access

The home will front onto the Hampton Road with the front door easily visible and accessible. As per LP 35 (E), the front door has level, step free, access to meet M4(2) of the Building Regulations. The home has a disabled accessible WC on the ground floor.

In addition, whilst not for the purposes of Part M compliance, the home will have an internal lift to ensure long term access for occupants to all levels.

Transport

Parking arrangements remain unchanged from the pre-existing condition. There are no parking provisions fronting onto Hampton Road. Parking spaces (2no) are accessed from Coleshill Road remain as per condition. The parking strategy is commensurate with the properties within the street and vicinity and this will ensure there is no overspill.

It is envisaged that the current arrangements will be unchanged for bin collection. Bins will be bought out to the front garden on collection day by the occupants along Hampton Road.

In addition, the application is supplemented by a Transport statement undertaken by Motion.

SECTION 14 | SUMMARY

THE PROPOSAL

As set out in this design and access statement, the proposal has emerged from a rigorous process of assessment, involvement, evaluation and design; referencing and evolving the character of the special context.

The scheme has referenced relevant planning policy including the local plan as well as the NPPF. The scheme proposals have been carefully developed over an extended period of time to deliver a replacement family home of quality and character that will contribute to and enhance the setting.

The client is fully committed to delivering and living in a building that is crafted, unique and commensurate with its setting. The clients - long term residents of Teddington - seek to ensure the long term guardianship of the site.

The scheme proposals seek to attain a high standard of design while ensuring that it is compatible with the scale and character of the surrounding existing and historic development as well as being designed and constructed to a high environmental standard.



FLETCHER CRANE
ARCHITECTS

44 Union Street | Kingston upon Thames | Surrey | KT1 1RP
tel. - 020 8977 4693 | www.fletchercranearchitects.com